

CITY OF KYLE

PLANNING & ZONING COMMISSION REGULAR MEETING



Kyle City Hall, 100 W. Center Street, Kyle, TX 78640
The public can watch remotely at: Spectrum 10;
<https://www.cityofkyle.com/kyletv/kyle-10-live>. One or more members of the governing body may participate in the meeting by videoconference pursuant to Section 551.127, Texas Government Code, provided that a quorum of the governing body will be present at Kyle City Hall.

Notice is hereby given that the Planning and Zoning Commission of the City of Kyle, Texas will meet at 6:30 PM on February 8, 2022, at Kyle City Hall, 100 W. Center Street, Kyle, TX 78640, for the purpose of discussing the following agenda.

NOTE: There may be a quorum of the City Council of Kyle, Texas present at the meeting who may participate in the discussion. No official action will be taken by the City Council members in attendance.

Posted this 3rd day of February 2022, prior to 6:30 p.m.

1. Call Meeting To Order

2. Roll Call

3. Minutes

A.Planning and Zoning Commission Meeting Minutes for January 11, 2022 (Regular Meeting) and January 18, 2022 (Special Called Meeting).

4. Citizen Comments

A.Citizen Comment Period. The Planning and Zoning Commission welcomes comments from Citizens early in the agenda of regular meetings. Speakers are provided with an opportunity to speak during this time period on any agenda item or any other matter concerning city business, and they must observe the three-minute time limit. Members of the public that wish to provide citizen comment have the following options:

- In-Person at Kyle City Hall, 100 W. Center Street

5. Executive Session

A.Executive Session pursuant to Texas Local Government Code section 551.071

Consultation with Attorney regarding procedural matters related to:

- A request to rezone approximately 8.32 acres of land from Retail Service District 'RS' to Mixed-Use Development 'MXD' for property located at Kyle Marketplace Sec. 2 Lot A & 19.48 acres of land from Retail Service District 'RS' to Mixed-Use District 'MXD' for property located at Kyle Marketplace Sec. 2 Block F, in Hays County, Texas. (CSW KC II, LLC - Z-21-0089)
- A request to rezone approximately 5.13 acres of land from 'A' Agriculture to 'W' Warehouse District for property located at 1351 Bunton Creek Rd, in Hays County, Texas. (Abel & Linda Tenorio - Z-21-0093)
- A request to construct an approximately 880 square foot free standing building with walk up and drive-thru service located at 20325 IH-35 within the I-35 zoning overlay district. (Dutch Bros. Coffee - Conditional Use Permit - CUP-21-0041)
- A request to construct an approximately 5,031 square foot free standing building and site plan for property located at 2325 Kohler's Crossing within the I-35 zoning overlay district. (Midas Automotive Experts - Conditional Use Permit - CUP-21-0045)
- A request to construct an approximately 43,803 square foot office/warehouse building and site plan located at 250 Gateway Blvd. within the I-35 zoning overlay district. (Hays Logistics - Conditional Use Permit - CUP-22-0048)
- A request for a Conditional Use Permit for the purposes of allowing a height increase for future buildings located at 24801 IH-35 (Ord. No. 1161, Sec. 53-1047(12)). (Alliance Industrial Company - CUP-22-0046)
- Amendment to Sec. 53-1230 (Zoning), to restrict certain uses, and amend the associated zoning use chart.

B.Reconvene into open session.

6. Consent

A.Crosswinds Subdivision Phase Five - Final Plat (SUB-21-0200) 43.296 acres; 211 residential lots, 2 drainage, sidewalk, access and public utility lots for property located on the southwest corner of Crosswinds Parkway and Goforth Road.

Staff Proposal to P&Z: Approve the final plat.

B.Opal Ranch Subdivision - Preliminary Plan (SUB-21-0214) 17.18 acres; 64 residential lots, 1 detention lot and 5 private open space and drainage easement located at 1001 S. Sledge Street..

Staff Proposal to P&Z: Approve the preliminary plan.

C.Yarrington Industrial Subdivision - Final Plat (SUB-21-0219) 110.923 acres; 4 commercial lots for property located at 24801 IH-35.

Staff Proposal to P&Z: Approve the final plat.

7. Zoning

A.Consider a request to rezone approximately 8.32 acres of land from Retail Service District 'RS' to Mixed-Use Development 'MXD' for property located at Kyle Marketplace Sec. 2 Lot A & 19.48 acres of land from Retail Service District 'RS' to Mixed-Use District 'MXD' for property located at Kyle Marketplace Sec. 2 Block F, in Hays County, Texas. (CSW KC II, LLC. - Z-21-0089)

- Public Hearing
- Recommendation to City Council

B.Consider a request to rezone approximately 5.13 acres of land from 'A' Agriculture to 'W' Warehouse District for property located at 1351 Bunton Creek Rd, in Hays County, Texas. (Abel and Linda Tenorio - Z-21-0093)

- Public Hearing
- Recommendation to City Council

8. Consider and Possible Action

A.Consider a request to construct an approximately 880 square foot free standing building with walk up and drive-thru service located at 20325 IH-35 within the I-35 zoning overlay district. (Dutch Bros. Coffee - Conditional Use Permit - CUP-21-0041)

B.Consider a request to construct an approximately 5,031 square foot free standing building and site plan for property located at 2325 Kohler's Crossing within the I-35 zoning overlay district. (Midas Automotive Experts - Conditional Use Permit - CUP-21-0045)

C.Consider a request to construct an approximately 43,803 square foot office/warehouse building and site plan located at 250 Gateway Blvd. within the I-35 zoning overlay district. (Hays Logistics - Conditional Use Permit - CUP-22-0048)

D.Consider a request for a Conditional Use Permit for the purposes of allowing a height increase for future buildings located at 24801 IH-35 (Ord. No. 1161, Sec. 53-1047(12)). (Alliance Industrial Company - CUP-22-0046)

- Public Hearing
- Recommendation to City Council

E. Consider an amendment to Sec. 53-1230 (Zoning), to restrict certain uses, and amend the associated zoning use chart.

- Public Hearing
- Recommendation to City Council

9. General Discussion

A.Discussion only regarding Planning and Zoning Commission request for future agenda

items.

10. Staff Report

A. Staff Report by William Atkinson, Senior Planner.

11. Adjournment



CITY OF KYLE, TEXAS

Minutes

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Planning and Zoning Commission Meeting Minutes for January 11, 2022 (Regular Meeting) and January 18, 2022 (Special Called Meeting).

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Minutes - 2022 0111
- ☐ Minutes - 2022 0118 - Special Called Meeting

REGULAR CALLED MEETING OF THE PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission of the City of Kyle, Texas met in a regular meeting on January 11, 2022, at 6:30 P.M. with the following people present:

Chairman, Alex Guerra
Vice-Chair, Megan McCall
Commissioner, Patricia Snidow
Commissioner, Matt Chase
Assistant City Manager, Amber Lewis
Senior City Planner, William Atkinson
Planning Technician, Debbie A. Guerra

CALL MEETING TO ORDER

Acting Chair Guerra called the meeting to order at 6:30 P.M.

ROLL CALL OF COMMISSION

Acting Chair Guerra called for a roll call. Commissioner James was absent.

NOMINATION(s) AND ELECTION(s) OF CHAIR AND VICE-CHAIR.

Commission Snidow nominated Commissioner Guerra for Chairman. All votes aye. Motion carried.

Commission Snidow nominated Commissioner McCall for Vice-Chair. All votes aye. Motion carried.

MINUTES

PLANNING AND ZONING COMMISSION MINUTES – DECEMBER 14, 2021 (REGULAR MEETING).

Commissioner Chase moved to approve the minutes. Vice-Chair McCall seconds the motion. All votes aye. Motion carried.

CITIZENS COMMENTS

Acting Chair Guerra opened the citizens comment period at 6:32 P.M. and called for comments on items not on the agenda or posted for public hearing. Council Member Dex Ellison addressed the Commission to congratulate Chairman Guerra and Vice-Chair McCall. Amber Lewis, Assistant City Manager introduced herself to the Commission. Council Member Ellison also thanked the Commission for their service and stated he is looking forward to a joint work session with P&Z and Council in the near future. Chairman Guerra closed the citizens comment period at 6:37 P.M.

PUBLIC HEARING

THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE, TEXAS, WILL HOLD TWO PUBLIC HEARINGS FOR THE PURPOSE OF RECEIVING TESTIMONY, COMMENTS, AND WRITTEN EVIDENCE FROM THE PUBLIC REGARDING A COMPREHENSIVE PLAN AMENDMENT TO AMEND APPROXIMATELY 535-ACRES OF LAND FROM ‘FARM DISTRICT’ TO EAST FM 150 EMPLOYMENT DISTRICT’ AND 42-ACRES OF LAND TO THE ‘REGIONAL NODE’ FOR CERTAIN PARCELS LOCATED NORTHWEST OF THE INTERSECTION OF SH-21 AND E. FM 150. (CITY OF KYLE)

Acting Chair Guerra opened the public hearing at 6:33 P.M. and called for comments. There were no comments. Acting Chair Guerra closed the public hearing at 6:33 P.M.

No action taken.

CONSENT

CROSSWINDS SUBDIVISION PHASES 6A & 6B – PRELIMINARY PLAN (SUB-21-0203) 67.035 ACRES; 207 RESIDENTIAL LOTS, 1 COMMERCIAL LOT, 3 SIDEWALK EASEMENTS & P.U.E. LOTS, 2 SIDEWALK EASEMENTS, ACCESS EASEMENT & P.U.E. LOT, 2 GREENBELT, DRAINAGE EASEMENT & P.U.E. LOTS, 3 DRAINAGE EASEMENTS, SIDEWALK EASEMENT, ACCESS EASEMENT & P.U.E. LOTS, AND 1 DRAINAGE EASEMENT & P.U.E. LOT FOR PROPERTY LOCATED SOUTH OF WINDY HILL ROAD, ADJACENT TO EXISTING CROSSWINDS PHASE 1.

EMMA PARK SUBDIVISION – PRELIMINARY PLAN (SUB-21-0210) 63.92 ACRES; 162 RESIDENTIAL DUPLEX LOTS, 4 DRAINAGE LOTS, AND AN OPEN SPACE LOT LOCATED WITHIN THE 1300 BLOCK OF HILLSIDE TERRACE.

Commissioner Chase moved to approve the consent agenda. Commissioner Snidow seconds the motion. All votes aye. Motion carried.

ZONING

CONSIDER A REQUEST BY SEAN RATTERREE OF CTC RESIDENTIAL LLC (Z-21-0091) TO REZONE APPROXIMATELY 15,542 ACRES OF LAND TO ‘PUD MXD’ FOR PROPERTY LOCATED AT 5839 KYLE PARKWAY, IN HAYS COUNTY, TEXAS.

Chairman Guerra opened the public hearing at 6:38 P.M. and called for comments. There were no comments. Chairman Guerra closed the public hearing at 6:39 P.M.

Commissioner Chase moved to approve the request. Commission Snidow seconds the motion. All votes aye. Motion carried.

CONSIDER A REQUEST BY THE CITY OF KYLE (Z-21-0092) TO REZONE APPROXIMATELY 45.5 ACRES OF LAND FROM ‘RS’ TO ‘PUD’ (RS – 19 ACRES, MXD – 26.5 ACRES) FOR PROPERTY LOCATED AT 20139 IH-35, IN HAYS COUNTY, TEXAS.

Chairman Guerra opened the public hearing at 6:38 P.M. and called for comments. There were no comments. Chairman Guerra closed the public hearing at 6:39 P.M.

Chairman Guerra moved to approve the request. Commissioner Chase seconds the motion. Chairman Guerra resends the motion to add a restriction of a carwash. Commissioner Chase seconds the. Commissioners McCall and Guerra vote aye. Commissioners Snidow and Chase votes nay. Motion failed.

CONSIDER AND POSSIBLE ACTION

CONSIDER A REQUEST TO CONSTRUCT AN APPROXIMATELY 160,000 SQUARE FOOT COSTCO, FUEL CANOPY AND SITE PLAN FOR PROPERTY LOCATED AT 18962 IH-35 WITHIN THE I-35 OVERLAY DISTRICT. (COSTCO – CONDITIONAL USE PERMIT – CUP-21-0042)

Commissioner Chase moved to approve the request. Commissioner Snidow seconds the motion. All votes aye. Motion carried.

CONSIDER A REQUEST TO CONSTRUCT AN APPROXIMATELY 4,000 SQUARE FOOT (TORCHY'S FREE STANDING UNIT AND DRIVE THRU), AN APPROXIMATELY 10,500 SQUARE FOOT (RETAIL #3 BUILDING) AND APPROXIMATELY 9,100 SQUARE FOOT (RETAIL #4 BUILDING) FOR PROPERTY LOCATED AT 19100 IH-35 WITHIN THE I-35 OVERLAY DISTRICT. (TORCHY'S, RETAIL #3 AND RETAIL #4 – CONDITIONAL USE PERMIT – CUP-21-0044)

Commissioner Snidow moved to approve the request. Vice-Chair McCall seconds the motion. All votes aye. Motion carried.

CONSIDER A COMPREHENSIVE PLAN AMENDMENT TO ATTEND APPROXIMATELY 535 ACRES OF LAND FROM 'FARM DISTRICT' TO 'EAST FM 150 EMPLOYMENT DISTRICT' AND 42 ACRES OF LAND TO THE 'REGIONAL NODE' FOR CERTAIN PARCELS LOCATED NORTHWEST OF THE INTERSECTION OF SH-21 AND E. FM 150 (CITY OF KYLE).

Chairman Guerra opened the public hearing at 8:05 P.M. and called for comments. There were no comments. Chairman Guerra closed the public hearing at 8:05 P.M.

Commissioner Chase moved to approve as written. Chairman Guerra seconds the motion. Commissioner Chase resend the motion. Chairman Guerra seconds the motion.

Commissioner Chase amended the motion to approve a Regional Node at the northwest corner at the intersection of SH-21 and E. FM 150. Commissioner Snidow seconds the motion. All votes aye. Motion carried.

Commissioner Chase moved to approve a Comprehensive Plan amendment for 535 acres from Farm District to Employment District. Chairman Guerra seconds the motion. Commissioner Snidow moved to amend the motion to have the development scaled appropriately to the surrounding areas. Chairman Guerra seconds the motion. Commissioners Snidow, Guerra and Chase votes aye. Vice-Chair McCall votes nay. Motion carried.

CONSIDER AN AMENDMENT TO CHAPTER 41 (SUBDIVISION) OF THE CITY OF KYLE, CODE OF ORDINANCES. THE FOLLOWING SECTIONS WILL BE CONSIDERED: SEC. 41-1 DEFINITIONS (MUNICIPAL UTILITY EASEMENT); SEC. 41-137 STREETS, SEC. 41-139 – CROSSWALKS, SEC. 41-143 SIDEWALKS & SEC. 41-146 STREETLIGHTS FOR THE PURPOSE OF ADDING REQUIREMENTS FOR THE CITY-WIDE TRAIL SYSTEM.

Chairman Guerra opened the public hearing at 8:58 P.M. and called for comments. There were no comments. Chairman Guerra closed the public hearing at 8:58 P.M.

Commissioner Chase moved to approve. Commissioner Snidow seconds the motion. All votes aye. Motion carried.

CONSIDER AN AMENDMENT TO CHAPTER 53 (ZONING) OF THE CITY OF KYLE CODE OF ORDINANCES. THE FOLLOWING SECTIONS WILL BE CONSIDERED; SEC. 53-33 (n)(4) PARKING, SEC. 53-892 DISTRICTS AND BOUNDARIES, ADDING SEC. 53-900, AND AMENDING EXHIBIT A, PLUM CREEK PLANNED UNIT DEVELOPMENT, ART. II, SECTION 1, FOR THE PURPOSE OF ADDING REQUIREMENTS FOR THE CITY-WIDE TRAIL SYSTEM.

Chairman Guerra opened the public hearing at 9:13 P.M. and called for comments. There were no comments. Chairman Guerra closed the public hearing at 9:13 P.M.

Commissioner Chase moved to approve. Commissioner Snidow seconds the motion. Commissioner Chase amended motion to have a provision not to exceed 26 golf cart spaces. Chairman Guerra seconds the amendment. All votes aye. Motion carried.

STAFF REPORT

STAFF REPORT BY WILLIAM ATKINSON, CITY PLANNER.

- A Special Called meeting will be held on Wednesday, January 19th.
- Update relating to P&Z vacancies.
- Final City Planner interviews.

ADJOURN

With no further business to discuss, Commissioner Chase moved to adjourn. Vice-Chair McCall seconds the motion. All votes' aye. Motion carried.

The Planning and Zoning Commission regular called meeting adjourned at 9:46 P.M.

Prepared by: Debbie A. Guerra

Chairman Alex Guerra

SPECIAL CALLED MEETING OF THE PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission of the City of Kyle, Texas met in a special meeting on January 18, 2022, at 6:00 P.M. with the following people present:

Chairman, Alex Guerra
Vice-Chair, Megan McCall
Commissioner, Patricia Snidow
Commissioner, Brandon James
Commissioner, Matt Chase
Assistant City Manager, Amber Lewis
Senior City Planner, William Atkinson
Planning Technician, Debbie A. Guerra

CALL MEETING TO ORDER

Chairman Guerra called the meeting to order at 6:02 P.M.

ROLL CALL OF COMMISSION

Chairman Guerra called for a roll call. No one was absent.

CITIZENS COMMENTS

Acting Chair Guerra opened the citizens comment period at 6:02 P.M. and called for comments on items not on the agenda or posted for public hearing. There were no comments. Chairman Guerra closed the citizens comment period at 6:02 P.M.

CONSENT

KALTERRA ADDITION LOTS 1-5 – FINAL PLAT (SUB-21-0222) 6.506 ACRES; 5 COMMERCIAL LOTS LOCATED AT 2600 KYLE CROSSING.

SHADOW CREEK PHASE 1 SECTION 5, BLOCK A, LOT B, COMMERCIAL ADDITION – REPLAT (SUB-21-0165) 7.785 ACRES; 2 COMMERCIAL LOTS LOCATED WITHIN THE 1700 BLOCK OF WINDY HILL ROAD.

Commissioner Chase moved to approve the consent agenda. Commissioner Snidow seconds the motion. All votes aye. Motion carried.

EXECUTIVE SESSION

EXECUTIVE SESSION PURSUANT TO TEXAS LOCAL GOVERNMENT CODE SECTION 551.071 CONSULTATION WITH ATTORNEY REGARDING PROCEDURAL MATTERS RELATED TO A REQUEST BY THE CITY OF KYLE. (Z-21-0092) TO REZONE APPROXIMATELY 45.5 ACRES OF LAND FROM ‘RS’ TO ‘PUD’ (RS – 19 ACRES, MXD – 26.5 ACRES) FOR PROPERTY LOCATED AT 20139 IH-35, IN HAYS COUNTY, TEXAS.

P&Z Commissions convened into Executive Session at 6:04 P.M.

P&Z Commission reconvened into open session at 6:22 P.M.

CONSIDER AND POSSIBLE ACTION

CONSIDER A REQUEST BY THE CITY OF KYLE, (Z-21-0092) TO REZONE APPROXIMATELY 45.5 ACRES OF LAND FROM ‘RS’ TO ‘PUD’ (RS-19 ACRES, MXD-26.5 ACRES) FOR PROPERTY LOCATED AT 20139 IH-35, IN HAYS COUNTY, TEXAS.

Commissioner Chase moved to approve a requirement that all commercial in the mixed-use multi-story L Section. Commissioner James seconds the motion. Commissioners Snidow, McCall, Guerra vote aye. Commissioners Chase and James vote nay. Veronica Rivera with the Knight Law Firm stated that the person making the motion needs to vote aye.

Commissioner Snidow restated the motioned to approve with the condition that the commercial area on the ground floor (L section) will be all commercial and not live work. Also, that there will be no carwashes in the RS zoning. Vice-Chair McCall seconds the motion. Commissioners Snidow, McCall, Guerra vote aye. Commissioners Chase and James vote nay.

GENERAL DISCUSSION

Commissioner Snidow mentioned she would like to see code revisions related to crosswalk texture, and M-2 / M-3 zoning districts.

ADJOURN

With no further business to discuss, Commissioner Chase moved to adjourn. Commissioner James seconds the motion. All votes aye. Motion carried.

The Planning and Zoning Commission special called meeting adjourned at 6:29 P.M.

Prepared by: Debbie A. Guerra

Chairman Alex Guerra



CITY OF KYLE, TEXAS

Citizen Comment Information

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Citizen Comment Period. The Planning and Zoning Commission welcomes comments from Citizens early in the agenda of regular meetings. Speakers are provided with an opportunity to speak during this time period on any agenda item or any other matter concerning city business, and they must observe the three-minute time limit. Members of the public that wish to provide citizen comment have the following options:

- In-Person at Kyle City Hall, 100 W. Center Street

Other Information: N/A

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Executive Session

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Executive Session pursuant to Texas Local Government Code section 551.071
Consultation with Attorney regarding procedural matters related to:

- A request to rezone approximately 8.32 acres of land from Retail Service District 'RS' to Mixed-Use Development 'MXD' for property located at Kyle Marketplace Sec. 2 Lot A & 19.48 acres of land from Retail Service District 'RS' to Mixed-Use District 'MXD' for property located at Kyle Marketplace Sec. 2 Block F, in Hays County, Texas. (CSW KC II, LLC - Z-21-0089)
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- A request for a Conditional Use Permit for the purposes of allowing a height increase for future buildings located at 24801 IH-35 (Ord. No. 1161, Sec. 53-1047(12)). (Alliance Industrial Company - CUP-22-0046)
- Amendment to Sec. 53-1230 (Zoning), to restrict certain uses, and amend the associated zoning use chart.

Other Information: N/A

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Reconvene into open session.

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Reconvene into open session.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Crosswinds Subdivision Phase Five - Final Plat (SUB-21-0200)

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Crosswinds Subdivision Phase Five - Final Plat (SUB-21-0200) 43.296 acres; 211 residential lots, 2 drainage, sidewalk, access and public utility lots for property located on the southwest corner of Crosswinds Parkway and Goforth Road.

Staff Proposal to P&Z: Approve the final plat.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

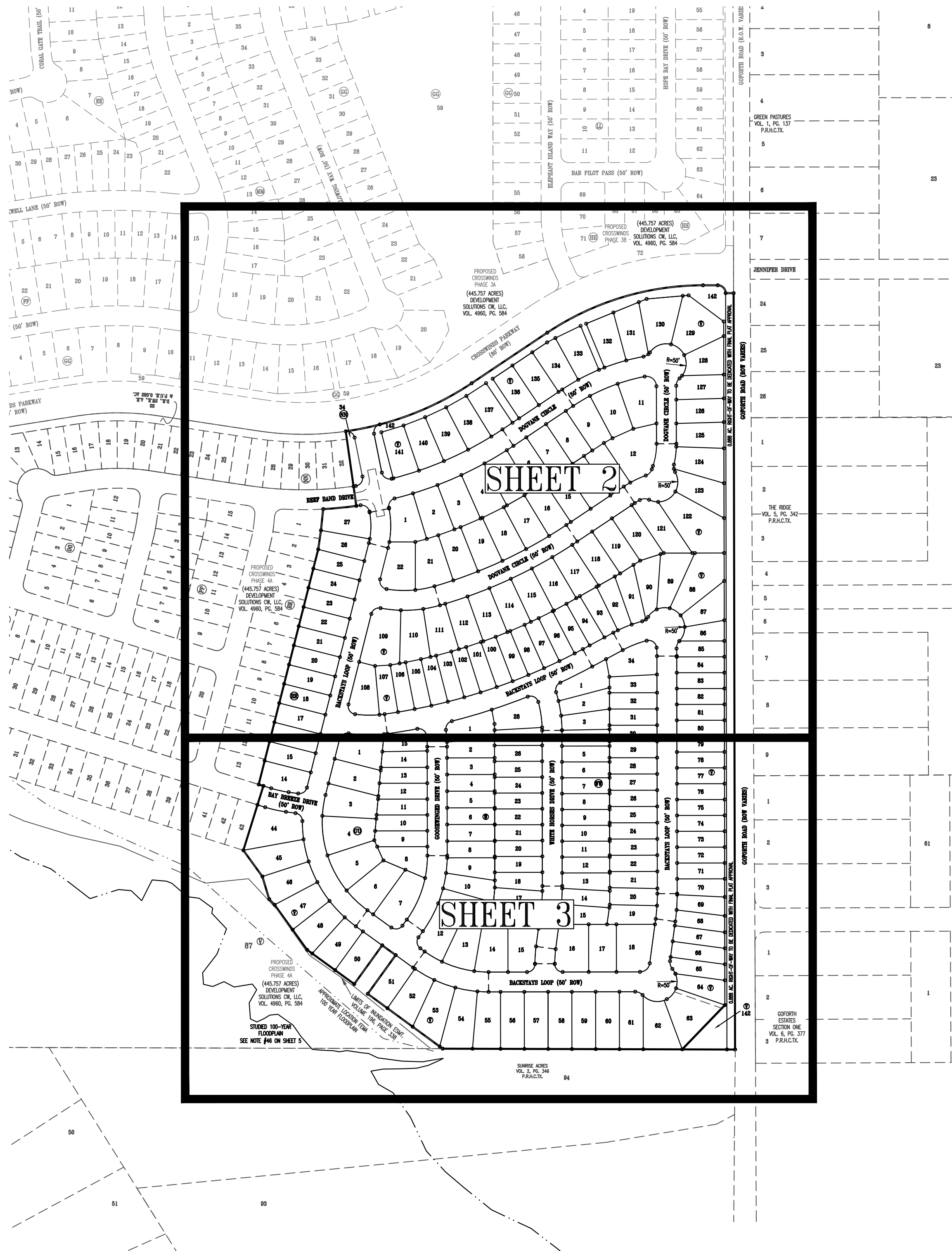
ATTACHMENTS:

Description

- ☐ Final Plat
- ☐ Hays County 1445 Approval Letter

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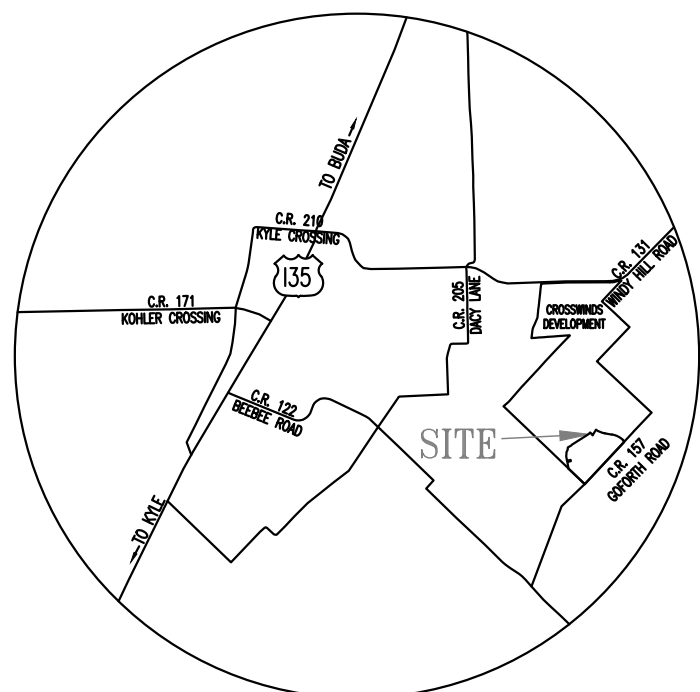
OVERALL LAYOUT




Carlson, Brigrance & Doering, Inc.
 FIRM ID #E3791 ♦ REG. # 10024900
 Civil Engineering ♦ Surveying
 5501 West William Cannon ♦ Austin, Texas 78749
 Phone No. (512) 280-5160 ♦ Fax No. (512) 280-5165

J: \AC3D\5334\Survey\PLAT - CROSSWINDS PHASE 5

CROSSWINDS PHASE FIVE



VICINITY MAP
NOT TO SCALE

OWNER: DEVELOPMENT SOLUTIONS CW. LLC.
12222 MERIT DRIVE, SUITE 1020
DALLAS, TX 75251
(972) 960-2777
(972) 960-2660 FAX

ENGINEER & SURVEYOR:
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TEXAS 78749
(512) 280-5160 PHONE
(512) 280-5165 FAX

DATE: OCTOBER 29, 2021
ACREAGE: 43.296 ACRES

SURVEY: SAMUEL LITTLE SURVEY NO. 8,
ABSTRACT NO. 286,
HAYS COUNTY, TEXAS
F.E.M.A. MAP NO. 48209C0290F
NO. 48209C0293F
HAYS COUNTY, TEXAS DATED SEPTEMBER 2, 2005

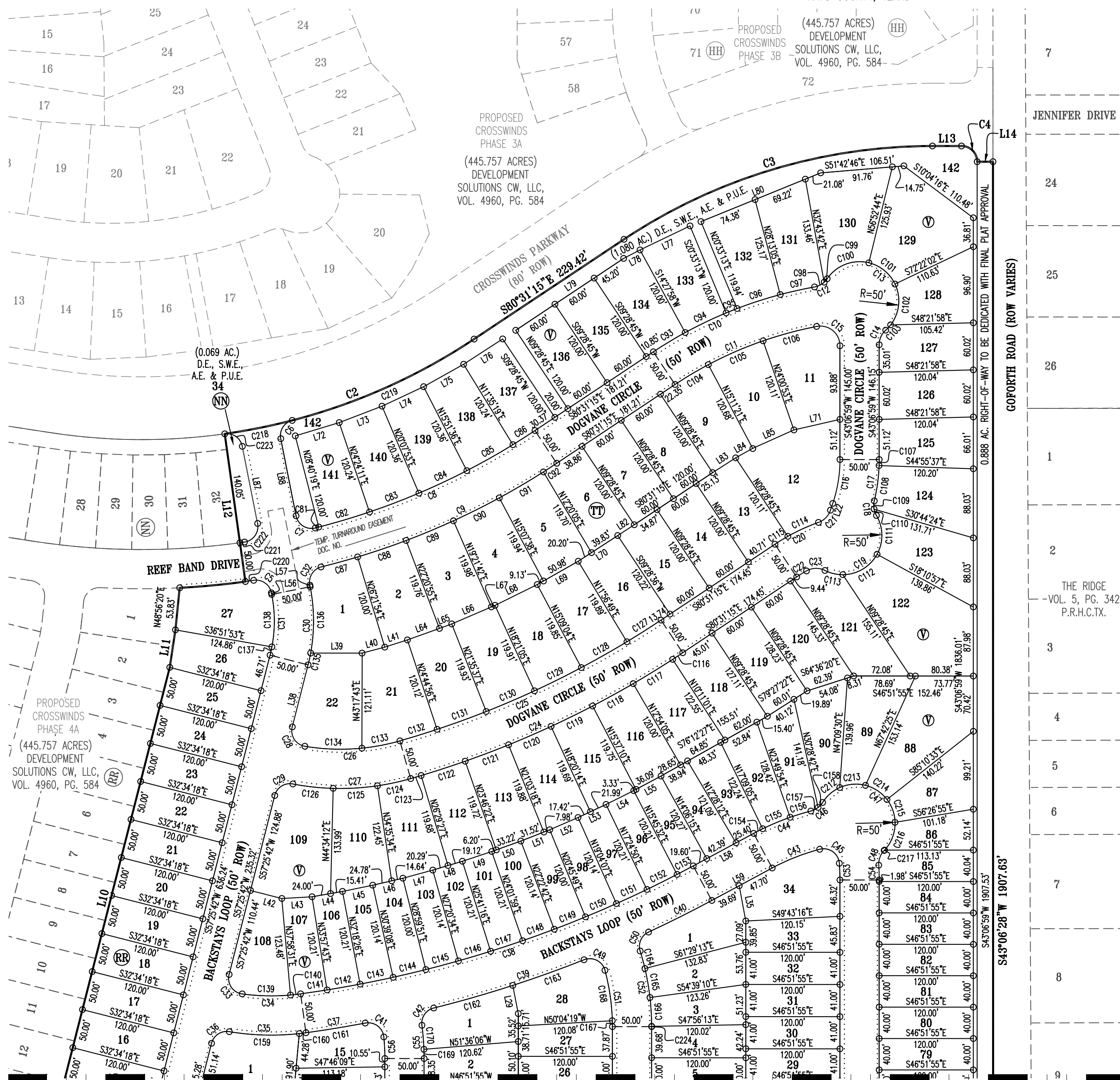
SINGLE FAMILY LOTS 211
DRAINAGE, SIDEWALK, ACCESS &
PUBLIC UTILITY LOTS 2
NUMBER OF BLOCKS 7

LEGEND

- 1/2" IRON ROD FOUND
(UNLESS OTHERWISE NOTED)
- 1/2" CAPPED IRON ROD SET
(UNLESS OTHERWISE NOTED)
- 25 LOT NUMBER
- Ⓟ BLOCK DESIGNATION
- 4' SIDEWALK
- 100 YEAR FEMA FLOOD PLAIN

SCALE: 1" = 100'

O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS,
HAYS COUNTY, TEXAS
P.R.H.C.TX. PLAT RECORDS,
HAYS COUNTY, TEXAS



MATCHLINE SHEET 3

RIGHT-OF-WAY LINEAR FOOTAGE

BACKSTAYS LOOP	50' R.O.W.	3,869' LOCAL
REEF BAND DRIVE	50' R.O.W.	53' LOCAL
DOGVANE CIRCLE	50' R.O.W.	1924' LOCAL
GOOSEWING DRIVE	50' R.O.W.	606' LOCAL
BAY BREEZE DRIVE	50' R.O.W.	136' LOCAL
WHITE HORSES DRIVE	50' R.O.W.	765' LOCAL
TOTAL	ROW=9.379 AC.	7,353'

SHEET NO. 2 OF 6

Carlson, Brigance & Doering, Inc.

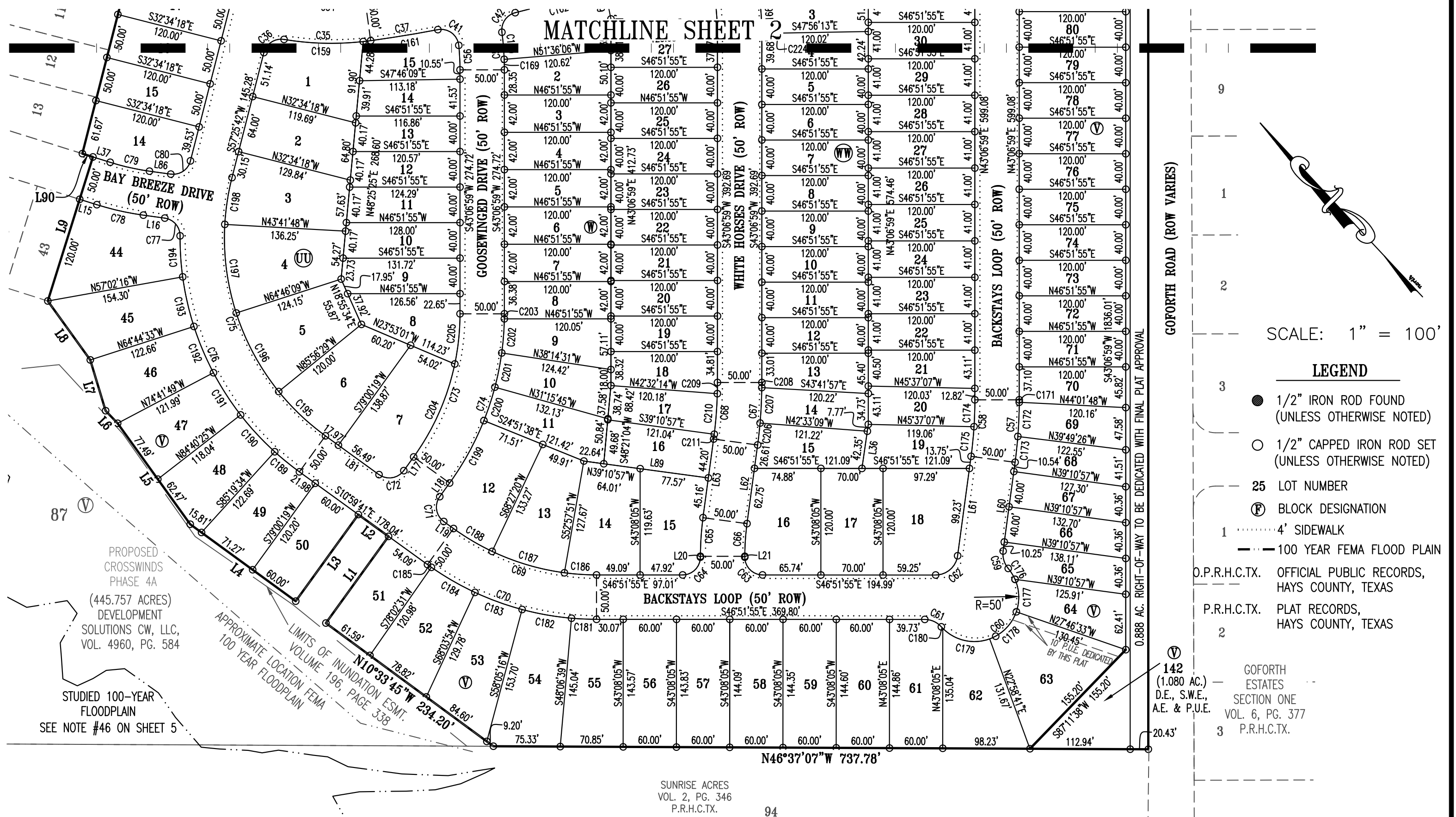
FIRM ID #F3791 REG. # 10024900

Civil Engineering 5501 West William Cannon
Phone No. (512) 280-5160

Surveying Austin, Texas 78749
Fax No. (512) 280-5165

J:\AC3D\5334\Survey\PLAT - CROSSWINDS PHASE 5

CROSSWINDS PHASE FIVE



DEVELOPMENT AGREEMENT LOT SCHEDULE [PER 1.01(a) & (e)]

40' LOTS				40' LOTS				50' LOTS				60' LOTS				60' LOTS			
BLK.	LOT	S.F.		BLK.	LOT	S.F.		BLK.	LOT	S.F.		BLK.	LOT	S.F.		BLK.	LOT	S.F.	
V	108	7,901		V	1	7,202		RR	14	7,362		V	141	7,583		TT	1	8,755	
V	107	5,214		V	2	5,416		RR	15	6,000		V	140	7,599		TT	2	8,325	
V	106	4,951		V	3	5,040		RR	16	6,000		V	139	7,602		TT	3	8,201	
V	105	4,950		V	4	5,040		RR	17	6,000		V	138	7,599		TT	4	8,362	
V	104	4,945		V	5	5,040		RR	18	6,000		V	137	7,595		TT	5	8,178	
V	103	4,945		V	6	5,040		RR	19	6,000		V	136	7,200		TT	6	7,420	
V	102	4,950		V	7	5,040		RR	20	6,000		V	135	7,200		TT	7	7,200	
V	101	4,951		V	8	5,040		RR	21	6,000		V	134	7,640		TT	8	7,200	
V	100	4,950		V	9	5,806		RR	22	6,000		V	133	7,669		TT	9	7,910	
V	99	4,950		V	10	6,045		RR	23	6,000		V	132	8,048		TT	10	8,105	
V	98	4,940		V	11	6,469		RR	24	6,000		V	131	8,231		TT	11	9,599	
V	97	4,950						RR	25	6,000		V	130	10,455		TT	12	12,438	
V	96	4,951		V	16	5,956		RR	26	6,477		V	129	12,275		TT	13	7,193	
V	95	4,950		V	17	5,112		RR	27	8,417		V	128	7,310		TT	14	7,200	
V	94	4,906		V	18	5,142						V	127	7,079		TT	15	7,203	
V	93	5,267		V	19	4,800						V	126	7,202		TT	16	7,533	
V	92	5,638		V	20	4,800						V	125	7,489		TT	17	7,625	
V	91	6,140		V	21	4,800						V	124	8,912		TT	18	7,615	
V	90	7,002		V	22	4,800						V	123	8,678		TT	19	7,622	
V	89	8,260		V	23	4,800						V	122	15,326		TT	20	7,616	
V	88	12,105		V	24	4,800						V	121	9,460		TT	21	9,555	
V	87	7,325		V	25	4,800						V	120	8,207		TT	22	9,579	
V	86	4,127		V	26	4,800						V	119	7,660					
V	85	4,778		V	27	5,048						V	118	7,623		UU	1	8,726	
V	84	4,800		V	28	8,142						V	117	7,494		UU	2	7,985	
V	83	4,800										V	116	7,415		UU	3	9,449	
V	82	4,800		WW	1	7,614						V	115	7,409		UU	4	10,144	
V	81	4,800		WW	2	7,550						V	114	7,417		UU	5	9,702	
V	80	4,800		WW	3	5,344						V	113	7,413		UU	6	9,619	
V	79	4,800		WW	4	4,916						V	112	7,409		UU	7	10,268	
V	78	4,800		WW	5	4,800						V	111	7,924					
V	77	4,800		WW	6	4,800						V	110	8,622		W	12	9,461	
V	76	4,800		WW	7	4,800						V	109	12,216		W	13	8,894	
V	75	4,800		WW	8	4,800						V	63	11,586		W	14	9,254	
V	74	4,800		WW	9	4,800						V	62	9,337		W	15	8,041	
V	73	4,800		WW	10	4,800						V	61	8,636		WW	16	9,758	
V	72	4,800		WW	11	4,800						V	60	8,684		WW	17	8,400	
V	71	4,800		WW	12	4,800						V	59	8,668		WW	18	10,606	
V	70	5,141		WW	13	5,049						V	58	8,653					
V	69	5,200		WW	14	4,891						V	57	8,637					
V	68	5,047		WW	15	5,731						V	56	8,632					
V	67	5,200										V	55	9,279					
V	66	5,416		WW	19	5,822						V	54	10,500					
V	65	5,435		WW	20	5,163						V	53	9,662					
V	64	6,030		WW	21	5,017						V	52	8,373					
UU	8	6,602		WW	22	4,920						V	51	7,309					
UU	9	5,270		WW	23	4,920						V	50	7,217					
UU	10	5,195		WW	24	4,920						V	49	7,784					
UU	11	5,046		WW	25	4,920						V	48	8,264					
UU	12	4,897		WW	26	4,920						V	47	8,467					
UU	13	4,749		WW	27	4,920						V	46	8,492					
UU	14	4,672		WW	28	4,920						V	45	9,138					
UU	15	5,548		WW	29	4,920						V	44	11,418					
				WW	30	4,920													
				WW	31	4,920													
				WW	32	4,920													
				WW	33	5,141													
				WW	34	8,976													

LOT SUMMARY			
WIDTH	PHASE 5	% OF PHASE 5	% OF TOTAL
40'	108	51%	7.2%
50'	14	7%	0.9%
60'	89	42%	5.9%
TOTAL	211	100%	14%

1500 LOTS - MAXIMUM ALLOWED

SHEET NO. 3 OF 6

Carlson, Brigrance & Doering, Inc.

FIRM ID #F3791 REG. # 10024900

Civil Engineering
5501 West William Cannon
Phone No. (512) 280-5160

Surveying
Austin, Texas 78749
Fax No. (512) 280-5165

J:\AC3D\5334\Survey\PLAT - CROSSWINDS PHASE 5

CROSSWINDS PHASE FIVE

Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C2	342.86	765.00	S67°40'53"E	339.99	174.36	25°40'44"
C3	416.72	710.00	S63°42'24"E	410.77	214.56	33°37'43"
C4	31.42	20.00	S01°53'16"E	28.29	20.00	90°00'31"
C5	30.49	20.00	N11°48'01"W	27.62	19.10	87°21'17"
C6	30.27	20.00	S75°14'00"W	27.46	18.88	86°42'46"
C7	32.43	20.00	S14°34'49"E	28.99	21.04	92°54'53"
C8	307.74	905.00	S70°46'45"E	306.26	155.37	19°29'00"
C9	329.23	955.00	S70°38'41"E	327.61	166.27	19°45'09"
C10	222.98	545.00	N68°48'00"W	221.43	113.07	23°26'31"
C11	196.22	495.00	N69°09'53"W	194.94	99.42	22°42'44"
C12	19.77	25.00	S79°44'10"E	19.26	10.44	45°18'52"
C13	169.03	50.00	N05°32'37"W	99.29	416.24	193°41'58"
C14	21.03	25.00	S67°12'41"W	20.41	11.18	48°11'23"
C15	44.04	25.00	N07°20'46"W	38.56	30.29	100°55'30"
C16	56.92	175.00	N52°26'06"E	56.67	28.72	18°38'14"
C17	53.18	225.00	N49°53'15"E	53.06	26.71	13°32'31"
C18	19.24	25.00	S34°36'32"W	18.77	10.13	44°05'57"
C19	128.56	50.00	N86°13'17"E	95.96	170.57	147°19'27"
C20	62.19	255.00	N73°32'02"W	62.04	31.25	13°58'26"
C21	22.56	25.00	N87°36'12"E	21.80	12.11	51°41'59"
C22	14.65	205.00	N78°28'27"W	14.64	7.33	4°05'36"
C23	24.57	25.00	N48°16'19"W	23.59	13.38	56°18'39"
C24	383.55	1245.00	S71°41'43"E	382.03	193.30	17°39'04"
C25	368.14	1195.00	S71°41'43"E	366.69	185.54	17°39'04"
C26	122.31	275.00	S50°07'43"E	121.30	62.18	25°28'56"
C27	151.68	325.00	S49°29'58"E	150.31	77.25	26°44'26"
C28	33.10	20.00	S10°01'14"W	29.45	21.76	94°48'58"
C29	30.17	20.00	N79°21'01"W	27.39	18.80	86°26'32"
C30	100.34	225.00	N44°39'10"E	99.51	51.02	25°33'05"
C31	67.26	175.00	N42°53'14"E	66.84	34.05	22°01'13"
C32	30.49	20.00	S75°33'16"W	27.62	19.10	87°21'17"
C33	33.72	20.00	S09°07'51"W	29.86	22.45	96°35'44"
C34	74.67	275.00	S46°56'44"E	74.44	37.57	15°33'26"
C35	98.03	325.00	S46°04'58"E	97.66	49.39	17°16'57"
C36	29.72	20.00	N80°00'24"W	27.06	18.37	85°07'48"
C37	76.61	1535.00	S56°09'14"E	76.60	38.31	2°51'34"
C38	529.13	1485.00	S64°55'55"E	526.33	267.40	20°24'55"
C39	201.37	1535.00	S64°40'30"E	201.23	100.83	7°30'59"
C40	90.15	1535.00	S73°27'25"E	90.14	45.09	3°21'54"
C41	33.14	20.00	N10°06'26"W	29.48	21.81	94°57'11"
C42	29.13	20.00	S77°21'37"W	26.62	17.83	83°26'44"
C43	65.17	275.00	N68°21'03"W	65.01	32.74	13°34'39"
C44	78.53	325.00	N68°13'01"W	78.34	39.46	13°50'42"
C45	34.99	20.00	N11°26'17"W	30.70	23.94	100°14'53"
C46	18.95	25.00	S83°00'38"E	18.50	9.96	43°25'55"
C47	167.20	50.00	N08°55'40"W	99.49	492.35	191°35'50"
C48	20.54	25.00	S63°20'15"W	19.96	10.89	47°04'00"
C49	33.66	20.00	N20°13'17"W	29.82	22.38	96°25'25"
C50	28.75	20.00	S67°02'52"W	26.34	17.50	82°21'21"
C51	72.60	275.00	N35°33'12"E	72.39	36.51	15°07'34"
C52	97.83	325.00	N34°29'35"E	97.46	49.29	17°14'48"
C53	21.26	275.00	N40°54'04"E	21.26	10.64	4°25'50"
C54	18.79	325.00	N41°27'37"E	18.79	9.40	3°18'45"
C55	42.42	325.00	N39°22'37"E	42.39	21.24	7°28'44"
C56	27.58	275.00	N40°14'34"E	27.57	13.80	5°44'49"
C57	70.57	525.00	N46°58'01"E	70.51	35.34	7°42'04"
C58	63.85	475.00	N46°58'01"E	63.80	31.97	7°42'04"
C59	21.03	25.00	S26°43'22"W	20.41	11.18	48°11'23"
C60	155.94	50.00	S88°01'26"E	99.99	4395.22	178°41'47"
C61	21.03	25.00	N22°46'14"W	20.41	11.18	48°11'23"
C62	35.92	25.00	S88°01'26"E	32.91	21.85	82°19'02"
C63	31.42	20.00	S01°51'55"E	28.28	20.00	90°00'00"
C64	31.42	20.00	N88°08'05"E	28.28	20.00	90°00'00"
C65	43.58	325.00	S46°58'34"W	43.55	21.82	7°40'58"
C66	36.88	275.00	S46°58'34"W	36.85	18.47	7°40'58"
C67	70.57	525.00	N46°58'01"E	70.51	35.34	7°42'04"
C68	63.85	475.00	N46°58'01"E	63.80	31.97	7°42'04"
C69	172.17	275.00	S28°55'48"E	169.37	89.01	35°52'14"
C70	203.47	325.00	S28°55'48"E	200.16	105.19	35°52'14"
C71	31.42	20.00	S34°00'19"W	28.28	20.00	90°00'00"
C72	31.42	20.00	S55°59'41"E	28.28	20.00	90°00'00"
C73	172.25	275.00	N61°03'39"E	169.45	89.06	35°53'20"
C74	203.57	325.00	N61°03'39"E	200.26	105.25	35°53'20"
C75	328.41	275.00	S23°13'01"W	309.24	186.97	68°25'23"
C76	309.34	325.00	S16°16'23"W	297.80	167.51	54°32'07"

Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C77	28.80	20.00	N02°17'16"E	26.38	17.54	82°30'19"
C78	53.69	325.00	S34°13'55"E	53.63	26.91	9°27'56"
C79	45.43	275.00	S34°13'55"E	45.38	22.77	9°27'56"
C80	29.18	20.00	S80°46'05"E	26.66	17.88	83°36'24"
C81	4.59	905.00	S61°10'58"E	4.59	2.29	0°17'25"
C82	67.43	905.00	S63°27'45"E	67.42	33.73	4°16'09"
C83	67.47	905.00	S67°43'58"E	67.45	33.75	4°16'17"
C84	67.47	905.00	S72°00'15"E	67.45	33.75	4°16'17"
C85	67.47	905.00	S76°16'33"E	67.45	33.75	4°16'17"
C86	33.32	905.00	S79°27'58"E	33.32	16.66	2°06'34"
C87	47.78	955.00	S62°12'06"E	47.78	23.90	2°52'00"
C88	65.32	955.00	S65°35'41"E	65.31	32.67	3°55'09"
C89	65.34	955.00	S69°30'51"E	65.32	32.68	3°55'12"
C90	65.33	955.00	S73°26'02"E	65.32	32.68	3°55'10"
C91	65.33	955.00	S77°21'12"E	65.32	32.68	3°55'10"
C92	20.13	955.00	S79°55'01"E	20.13	10.07	1°12'28"
C93	47.44	545.00	N78°01'38"W	47.42	23.73	4°59'14"
C94	57.90	545.00	N72°29'24"W	57.88	28.98	6°05'15"
C95	15.00	545.00	N68°39'28"W	15.00	7.50	1°34'38"
C96	57.90	545.00	N64°49'32"W	57.87	28.98	6°05'14"
C97	44.74	545.00	N59°25'50"W	44.72	22.38	4°42'11"
C98	13.93	25.02	S73°02'29"E	13.75	7.15	31°53'53"
C99	5.84	25.00	N84°18'05"E	5.83	2.93	13°23'22"
C100	60.45	50.00	N67°45'26"W	56.84	34.54	69°16'20"
C101	44.29	50.00	N07°44'39"W	42.86	23.72	50°45'14"
C102	55.06	50.00	N49°10'43"E	52.32	30.69	63°05'29"
C103	9.23	50.00	N86°00'55"E	9.22	4.63	10°34'55"
C104	49.33	495.00	N77°39'57"W	49.31	24.69	5°42'36"
C105	76.25	495.00	N70°23'53"W	76.17	38.20	8°49'33"
C106	70.64	495.00	N61°53'49"W	70.58	35.38	8°10'35"
C107	7.68	225.00	N44°05'41"E	7.68	3.84	1°57'24"
C108	45.50	225.00	N50°51'57"E	45.42	22.83	11°35'07"
C109	10.59	25.00	S44°31'07"W	10.51	5.38	24°16'47"
C110	8.65	25.00	S22°28'08"W	8.60	4.37	19°49'10"
C111	51.71	50.00	N42°11'18"E	49.44	28.44	59°15'30"
C112	53.26	50.00	S77°39'59"E	50.78	29.47	61°01'56"
C113	23.59	50.00	S33°38'01"E	23.37	12.02	27°02'02"
C114	42.89	255.00	N71°21'55"W	42.84	21.49	9°38'12"
C115	19.30	255.00	N78°21'08"W	19.30	9.66	4°20'15"
C116	15.31	1245.00	S80°10'07"E	15.31	7.65	0°42'16"
C117	59.06	1245.00	S78°27'27"E	59.05	29.53	2°43'04"
C118	59.06	1245.00	S75°44'23"E	59.05	29.53	2°43'04"
C119	59.06	1245.00	S73°01'18"E	59.05	29.53	2°43'04"
C120	59.06	1245.00	S70°18'14"E	59.05	29.53	2°43'04"
C121	59.06	1245.00	S67°35'10"E	59.05	29.53	2°43'04"
C122	59.06	1245.00	S64°52'06"E	59.05	29.53	2°43'04"
C123	13.89	1245.00	S63°11'22"E	13.89	6.95	0°38'22"
C124	43.33	325.00	S59°03'02"E	43.30	21.70	7°38'19"
C125	56.56	325.00	S50°14'46"E	56.48	28.35	9°58'14"
C126	51.80	325.00	S40°41'42"E	51.74	25.95	9°07'54"
C127	51.47	1195.00	S79°17'13"E	51.47	25.74	2°28'04"
C128	66.83	1195.00	S76°27'04"E	66.82	33.42	3°12'15"
C129	66.73	1195.00	S73°14'58"E	66.72	33.37	3°11'57"
C130	66.82	1195.00	S70°02'52"E	66.81	33.42	3°12'14"
C131	66.64	1195.00	S66°50'55"E	66.63	33.33	3°11'42"
C132	49.66	1195.00	S64°03'38"E	49.66	24.84	2°22'52"
C133	49.32	275.00	S57°43'54"E	49.26	24.73	10°16'35"
C134	72.98	275.00	S44°59'26"E	72.77	36.71	15°12'21"
C135	15.38	225.00	N55°28'14"E	15.37	7.69	3°54'57"
C136	84.96	225.00	N42°41'41"E	84.46	42.99	21°38'08"
C137	10.79	175.00	N55°39'46"E	10.78	5.39	3°31'52"
C138	67.26	175.00	N42°53'14"E	66.84	34.05	22°01'13"
C139	61.71	275.00	S45°35'45"E	61.58	30.99	12°51'27"
C140	12.96	275.00	S53°22'28"E	12.96	6.48	2°41'59"
C141	34.05	1485.00	S55°22'52"E	34.05	17.03	1°18'50"
C142	42.89	1485.00	S56°51'56"E	42.89	21.45	1°39'17"
C143	42.89	1485.00	S58°31'13"E	42.89	21.45	1°39'17"
C144	42.89	1485.00	S60°10'30"E	42.89	21.45	1°39'17"
C145	42.89	1485.00	S61°49'48"E	42.89	21.45	1°39'17"
C146	42.89	1485.00	S63°29'05"E	42.89	21.45	1°39'17"
C147	42.89	1485.00	S65°08'22"E	42.89	21.45	1°39'17"
C148	42.89	1485.00	S66°47'40"E	42.89	21.45	1°39'17"
C149	42.89	1485.00	S68°26'57"E	42.89	21.45	1°39'17"
C150	42.89	1485.00	S70°06'14"E	42.89	21.45	1°39'17"
C151	42.89	1485.00	S71°45'32"E	42.89	21.45	1°39'17"

Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C152	42.89	1485.00	S73°24'49"E	42.89	21.45	1°39'17"
C153	23.29	1485.00	S74°41'25"E	23.29	11.64	0°53'55"
C154	12.99	325.00	N73°59'39"W	12.99	6.50	2°17'27"
C155	37.89	325.00	N69°30'31"W	37.87	18.97	6°40'49"
C156	27.65	325.00	N63°43'53"W	27.64	13.83	4°52'26"
C157	10.41	25.00	S73°13'29"E	10.34	5.28	2°51'37"
C158	8.54	25.00	N85°03'33"E	8.50	4.31	19°34'18"
C159	89.49	325.00	S45°19'49"E	89.21	45.03	15°46'39"
C160	8.54	325.00	S53°58'18"E	8.54	4.27	1°30'19"
C161	76.61	1535.00	S56°09'14"E	76.60	38.31	2°51'34"
C162	104.87	1535.00	S62°52'26"E	104.85	52.45	3°54'51"
C163	96.51	1535.00	S66°37'56"E	96.49	48.27	3°36'08"
C164	23.15	325.00	N27°54'37"E	23.14	11.58	4°04'52"
C165	37.50	325.00	N33°15'24"E	37.48	18.77	6°36'42"
C166	36.86	325.00	N39°48'41"E	36.84	18.45	6°29'53"
C167	7.56	275.00	N42°19'46"E	7.56	3.78	1°34'27"
C168	65.04	275.00	N34°45'59"E	64.89	32.67	13°33'06"
C169	11.79	325.00	N42°04'37"E	11.79	5.90	2°04'45"
C170	30.63	318.29	N38°20'15"E	30.62	15.33	5°30'49"
C171	2.78	525.00	N43°16'05"E	2.78	1.39	0°18'11"
C172	38.54	525.00	N45°31'21"E	38.53	19.28	4°12'22"
C173	29.25	525.00	N49°13'18"E	29.24	14.63	3°11'31"
C174	30.29	475.00	N44°56'36"E	30.29	15.15	3°39'14"
C175	33.55	475.00	N48°47'38"E	33.55	16.78	4°02'50"
C176	14.53	50.00	N10°57'07"E	14.48	7.32	16°38'52"
C177	37.48	50.00	N40°45'00"E	36.61	19.67	42°56'54"
C178	44.29	50.00	N87°36'04"E	42.86	23.72	50°45'14"
C179	57.25	50.00	S34°13'12"E	54.17	32.22	65°36'13"
C180	2.39	50.00	S00°02'49"E	2.39	1.20	2°44'34"
C181	28.23	325.00	S44°22'38"E	28.22	14.12	4°58'34"
C182	56.59	325.00	S36°54'02"E	56.52	28.37	9°58'38"
C183	56.59	325.00	S28°55'25"E	56.52	28.37	9°58'38"
C184	56.59	325.00	S16°56'47"E	56.52	28.37	9°58'38"
C185	5.46	325.00	S11°28'35"E	5.46	2.73	0°57'48"
C186	36.24	275.00	S43°05'23"E	36.22	18.15	7°33'04"
C187	85.29	275.00	S30°25'46"E	84.95	42.99	17°46'12"
C188	50.64	275.00	S16°16'10"E	50.56	25.39	10°32'59"
C189	35.85	325.00	S07°50'03"E	35.84	17.95	6°19'15"
C190	56.59	325.00	S00°18'53"W	56.52	28.37	9°58'38"
C191	56.59	325.00	S10°17'30"W	56.52	28.37	9°58'38"
C192	56.59	325.00	S20°16'08"W	56.52	28.37	9°58'38"
C193	57.39	325.00	S39°18'57"W	57.31	28.77	10°07'01"
C194	46.32	325.00	S39°27'27"W	46.28	23.20	8°09'58"
C195	72.73	275.00	S03°25'05"E	72.52	36.58	15°09'11"
C196	101.14	275.00	S14°41'41"W	100.57	51.15	21°04'21"
C197	101.14	275.00	S35°46'01"W	100.57	51.15	21°04'21"
C198	53.40	275.00	S51°51'57"W	53.31	26.78	11°07'31"
C199	80.38	325.00	N71°55'11"E	80.18	40.40	14°10'16"
C200	39.65	325.00	N61°20'21"E	39.62	19.85	6°59'24"
C201	39.32	325.00	N54°22'40"E	39.30	19.69	6°55'58"
C202	38.59	325.00	N47°30'35"E	38.57	19.32	6°48'13"
C203	5.62	325.00	N43°36'44"E	5.62	2.81	0°59'30"
C204	115.31	275.00	N66°59'33"E	114.47	58.52	24°01'31"
C205	56.94	275.00	N49°02'53"E	56.84	28.57	11°51'49"
C206	24.81	525.00	N49°27'50"E	24.80	12.41	2°42'26"
C207	40.01	525.00	N45°55'38"E	40.00	20.01	4°21'59"
C208	5.75	525.00	N43°25'49"E	5.75	2.88	0°37'39"
C209	12.57	475.00	N43°52'29"E	12.57	6.29	1°30'59"
C210	45.83	475.00	N47°23'49"E	45.81	22.93	5°31'42"
C211	5.44	475.00	N50°29'22"E	5.44	2.72	0°39'23"
C212	29.37	50.00	N87°53'51"W	28.95	15.12	33°39'28"
C213	33.49	50.00	N51°52'49"W	32.87	17.40	38°22'36"
C214	33.49	50.00	N13°30'10"W	32.87	17.40	38°22'42"
C215	31.40	50.00	N23°40'45"E	30.89	16.24	35°59'08"
C216	38.69	50.00	N63°50'24"E	37.73	20.37	44°20'16"
C217	0.75	50.00	N86°26'22"E	0.75	0.38	0°01'40"
C218	87.70	765.00	S58°07'34"E	87.65	43.90	6°34'05"
C219	255.16	765.00	S70°57'56"E	253.98	128.78	19°06'38"
C220	10.61	955.00	S55°09'33"E	10.61	5.31	0°38'12"
C221	5.81	905.00	S55°01'29"E	5.81	2.90	0°22'03"
C222	32.43	20.00	N78°20'03"E	28.99	21.04	92°54'53"
C223	30.21	20.00	N11°23'46"W	27.42	18.83	86°32'57"
C224	0.32	325.00	N43°05'18"E	0.32	0.16	0°03'21"

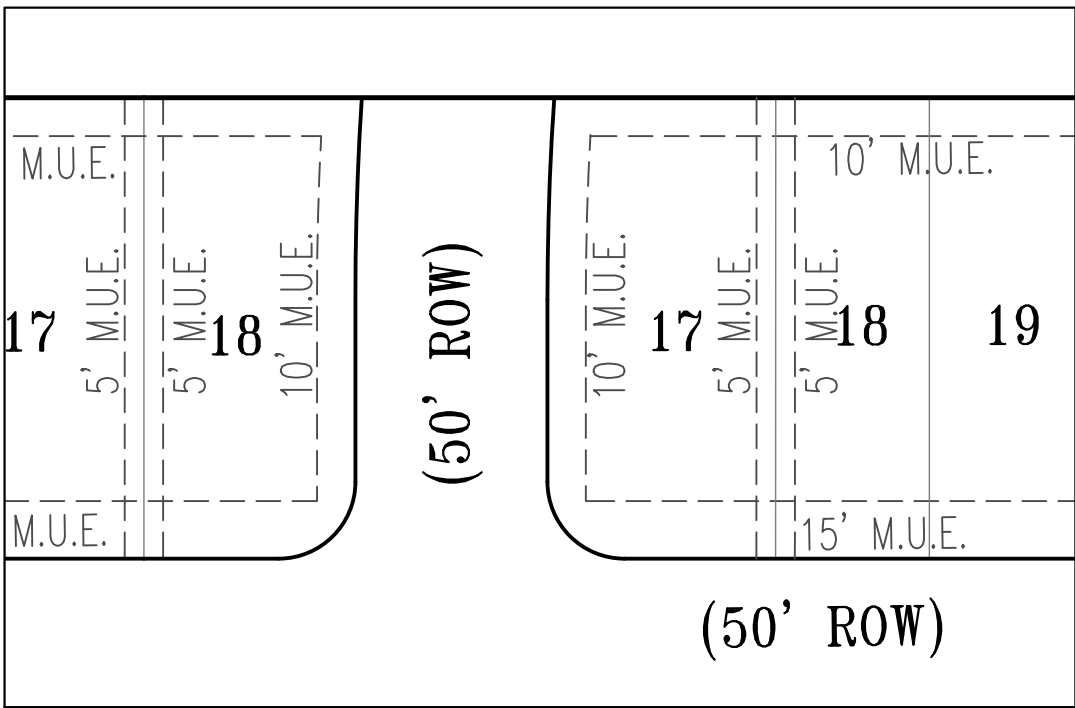
CROSSWINDS PHASE FIVE

FINAL PLAT NOTES:

1. THIS FINAL PLAT IS LOCATED WITHIN THE EXTRA TERRITORIAL JURISDICTION (ETJ) OF THE CITY OF KYLE.
2. THIS PROJECT IS LOCATED IN THE BRUSHY CREEK – PLUM CREEK SUB WATERSHED.
3. NO PORTION OF THIS PRELIMINARY PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE OR CONTRIBUTING ZONE.
4. THIS PLAT IS LOCATED WITHIN THE BOUNDARY OF THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT.
5. WATER SERVICE WILL BE PROVIDED TO EACH LOT FROM THE CITY OF KYLE.
6. ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE CITY OF KYLE.
7. ELECTRIC SERVICE WILL BE PROVIDED BY THE PEDERNALES ELECTRIC COOPERATIVE.
8. TELEPHONE SERVICE WILL BE PROVIDED BY SPECTRUM.
9. ORGANIZED GAS SERVICE MAY BE PROVIDED.
10. MINIMUM FRONT SETBACK SHALL BE TWENTY (20') FEET.
11. MINIMUM REAR SETBACK SHALL BE TWENTY FEET (20') FEET.
12. MINIMUM SIDE AND INTERIOR SIDE SETBACKS SHALL BE FIVE (5') FEET.
13. MINIMUM SIDE SETBACK ADJACENT TO A PUBLIC STREET SHALL BE TEN (10') FEET.
14. A 15' MUNICIPAL UTILITY EASEMENT (M.U.E.) SHALL BE LOCATED ALONG THE FRONT OF EACH LOT ADJACENT TO THE R.O.W., A 10' M.U.E. ALONG SIDE YARDS ADJACENT TO THE ROW AND A 10' M.U.E. ALONG REAR PROPERTY LINES.
15. ALL STREETS SHALL BE DESIGNED AS IN ACCORDANCE WITH APPLICABLE CITY OF KYLE AND HAYS COUNTY DEVELOPMENT REGULATIONS AND DEDICATED AS PUBLIC R.O.W. AT FINAL PLATTING.
16. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED COMMUNITY WATER SYSTEM.
17. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED ORGANIZED WASTEWATER SYSTEM.
18. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF KYLE CODE OF ORDINANCES. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE KYLE WATER UTILITY. THE UTILITY CONSTRUCTION MUST BE INSPECTED BY THE CITY OF KYLE.
19. PRIOR TO CONSTRUCTION ON ANY LOT IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF KYLE FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT OF EXISTING CONDITIONS.
20. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.
21. NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF KYLE.
22. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND TO PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE COUNTY ROADWAY RIGHT-OF-WAY HAS BEEN ISSUED UNDER AND (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENTS FOR DRIVEWAYS AS SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
23. ALL ROADWAYS WILL BE PUBLICLY DEDICATED AND MAINTAINED.
24. DRAINAGE EASEMENTS SHALL REMAIN OPEN AND FREE OF OBSTRUCTIONS.
25. EROSION/SEDIMENTATION CONTROLS ARE REQUIRED ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION.
26. PUBLIC SIDEWALKS BUILT TO THE CITY OF KYLE STANDARDS, ARE REQUIRED ALONG BOTH SIDES OF ALL STREETS, INCLUDING CROSSWINDS PARKWAY, WHICH SHALL HAVE A 10 CONCRETE SIDEWALK ON ONE SIDE AND A 5' DECOMPOSED GRANITE ON THE OPPOSITE SIDE. ALL THE OTHER STREETS SHALL HAVE 4' CONCRETE SIDEWALKS EACH SIDE.
27. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF GOFORTH ROAD. THIS INCLUDES EXISTING STREETS ADJACENT TO THE PROPOSED SUBDIVISION, WHERE SIDEWALKS DO NOT ALREADY EXIST OR ARE IN NEED OF REPLACEMENT. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED (ORD. #439, ARTICLE V, SEC. 10). SIDEWALKS TO BE MAINTAINED BY THE CROSSWINDS MUNICIPAL UTILITY DISTRICT.
28. THE CITY OF KYLE HAS THE RIGHT TO PRUNE AND REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR.
29. THE OWNER/DEVELOPER OF THIS SUBDIVISION SHALL PROVIDE THE ELECTRIC COMPANY THAT SHALL SERVICE THIS SUBDIVISION WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH THE CITY OF KYLE CODE OF ORDINANCES.
30. THE OWNER SHALL BE RESPONSIBLE FOR ANY INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT.
31. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO THE DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
32. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF KYLE AND HAYS COUNTY.
33. PARKLAND REQUIREMENTS ARE SATISFIED THROUGH THE CROSSWINDS MUNICIPAL UTILITY DISTRICT.
34. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
35. THIS FINAL PLAT IS LOCATED WITHIN ESD #5.
36. THE OWNER/DEVELOPER IS ADVISED TO OBTAIN APPROVAL FOR ANY NEEDED LICENSE AGREEMENTS PRIOR TO APPROVAL OF THE CONSTRUCTION PLANS. OTHER SPECIAL OR NONSTANDARD TREATMENTS OF THE R.O.W. MAY ALSO REQUIRE A LICENSE AGREEMENT.
37. APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATION FROM THE CITY OF KYLE'S CODE OF ORDINANCES IN THE FINAL PLAT, CONSTRUCTION PLAN OR SITE PLAN STAGE, UNLESS SUCH DEVIATIONS HAVE BEEN SPECIFICALLY REQUESTED IN WRITING AND SUBSEQUENTLY APPROVED IN WRITING BY THE CITY. SUCH APPROVALS DO NOT RELIEVE THE ENGINEER OF THE OBLIGATION TO MODIFY THE DESIGN OF THE PROJECT IF IT DOES NOT MEET ALL OTHER CITY OF KYLE'S REGULATIONS OR IF IT IS SUBSEQUENTLY DETERMINED THAT THE DESIGN WOULD ADVERSELY IMPACT THE PUBLIC'S SAFETY, HEALTH, WELFARE OR PROPERTY.
38. LOT 57, BLOCK "SS" AND LOT 22, BLOCK "TT" ARE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION OR HIS OR HERS ASSIGNS.
39. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF KYLE. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
40. THE LANDOWNER SHALL BE RESPONSIBLE FOR PROVIDING THE SUBDIVISION INFRASTRUCTURE, INCLUDING WATER AND WASTEWATER UTILITY IMPROVEMENTS, OFFSITE MAIN EXTENSION AND SYSTEM UPGRADES.
41. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND SIMILAR LINES SHALL BE UNDERGROUND.
42. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
43. POST-DEVELOPMENT CONDITIONS RUNOFF RATE SHALL BE NO GREATER THAN THE PRE-DEVELOPED CONDITION FOR 2, 5, 10, 25, AND 100 YEAR STORM EVENTS. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
44. ALL MAILBOXES LOCATED IN THE RIGHT-OF-WAY SHALL BE OF AN APPROVED TxDOT OR FHWA APPROVED DESIGN.
45. POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST. THIS REQUIREMENT IS UNDER THE TPDES GENERAL PERMIT TXR040000 PART III, SECTION B.
46. THE PROPOSED 100-YR FLOODPLAIN BOUNDARY PER ATLAS 14 SHOWN ON THE PLAT WAS DETERMINED BY A STUDY PREPARED BY CARLSON, BRIGANCE & DOERING, INC., DATED MARCH 5, 2020. THE FEMA 100-YR FLOODPLAIN SHOWN ON THE PLAT WAS TAKEN FROM THE FEMA FIRM No. 48209C0290F & 48209C0293F, EFFECTIVE SEPTEMBER 2, 2005. THE MINIMUM FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAT WERE DETERMINED BY ADDING ONE (1) FOOT TO EITHER THE BASE FLOOD ELEVATION OF THE PROPOSED 100-YR FLOODPLAIN BOUNDARY PER ATLAS 14, OR BY ADDING ONE (1) FOOT TO THE 100-YR WATER SURFACE ELEVATION OF THE WATER QUALITY/DETENTION POND DETERMINED BY A STUDY PREPARED BY CARLSON, BRIGANCE & DOERING, INC. DATED MARCH 5, 2020.

AREA TABLE	
AREA WITHIN SUBDIVISION	43.296 ACRES (1,885,991 sq. ft.)
AREA OF SINGLE FAMILY LOTS	32.768 ACRES (1,427,375 sq. ft.)
AREA WITHIN STREETS	9.379 ACRES

BLK.	LOT	S.F.	ACRES	BLK.	LOT	S.F.	ACRES	BLK.	LOT	S.F.	ACRES
V	142	47,057	1.080	V	69	5,200	0.119	W	1	7,202	0.165
V	141	7,583	0.174	V	68	5,047	0.116	W	2	5,416	0.124
V	140	7,599	0.174	V	67	5,200	0.119	W	3	5,040	0.116
V	139	7,602	0.175	V	66	5,416	0.124	W	4	5,040	0.116
V	138	7,599	0.174	V	65	5,435	0.124	W	5	5,040	0.116
V	137	7,395	0.170	V	64	5,030	0.138	W	6	5,040	0.116
V	136	7,200	0.165	V	63	11,586	0.266	W	7	5,040	0.116
V	135	7,200	0.165	V	62	9,337	0.214	W	8	5,040	0.116
V	134	7,640	0.175	V	61	8,636	0.198	W	9	5,806	0.133
V	133	7,669	0.176	V	60	8,684	0.198	W	10	6,045	0.139
V	132	8,048	0.185	V	59	8,668	0.198	W	11	6,469	0.149
V	131	8,231	0.189	V	58	8,653	0.198	W	12	9,461	0.217
V	130	10,455	0.240	V	57	8,637	0.198	W	13	8,894	0.204
V	129	12,275	0.282	V	56	8,632	0.198	W	14	9,254	0.212
V	128	7,310	0.168	V	55	9,279	0.213	W	15	8,041	0.185
V	127	7,079	0.163	V	54	10,500	0.241	W	16	5,956	0.137
V	126	7,202	0.165	V	53	9,662	0.221	W	17	5,112	0.117
V	125	7,489	0.172	V	52	8,373	0.192	W	18	5,142	0.118
V	124	8,912	0.205	V	51	7,309	0.167	W	19	4,800	0.110
V	123	8,678	0.200	V	50	7,217	0.165	W	20	4,800	0.110
V	122	15,326	0.352	V	49	7,784	0.178	W	21	4,800	0.110
V	121	9,460	0.217	V	48	8,264	0.189	W	22	4,800	0.110
V	120	8,207	0.188	V	47	8,467	0.194	W	23	4,800	0.110
V	119	7,660	0.176	V	46	8,492	0.194	W	24	4,800	0.110
V	118	7,623	0.175	V	45	9,138	0.209	W	25	4,800	0.110
V	117	7,494	0.172	V	44	11,418	0.262	W	26	4,800	0.110
V	116	7,415	0.170					W	27	5,048	0.116
V	115	7,409	0.170	TT	1	8,755	0.201	W	28	8,142	0.187
V	114	7,417	0.170	TT	2	8,325	0.191				
V	113	7,413	0.170	TT	3	8,201	0.188	WW	1	7,614	0.175
V	112	7,409	0.170	TT	4	8,362	0.192	WW	2	5,750	0.132
V	111	7,924	0.182	TT	5	8,178	0.188	WW	3	5,344	0.123
V	110	8,622	0.198	TT	6	7,420	0.170	WW	4	4,916	0.113
V	109	12,216	0.280	TT	7	7,200	0.165	WW	5	4,800	0.110
V	108	7,901	0.181	TT	8	7,200	0.165	WW	6	4,800	0.110
V	107	5,214	0.120	TT	9	7,910	0.182	WW	7	4,800	0.110
V	106	4,951	0.114	TT	10	8,105	0.186	WW	8	4,800	0.110
V	105	4,950	0.114	TT	11	9,595	0.220	WW	9	4,800	0.110
V	104	4,945	0.114	TT	12	12,438	0.286	WW	10	4,800	0.110
V	103	4,945	0.114	TT	13	7,193	0.165	WW	11	4,800	0.110
V	102	4,950	0.114	TT	14	7,200	0.165	WW	12	4,800	0.110
V	101	4,951	0.114	TT	15	7,203	0.165	WW	13	5,049	0.116
V	100	4,950	0.114	TT	16	7,533	0.173	WW	14	4,891	0.112
V	99	4,950	0.114	TT	17	7,825	0.175	WW	15	4,731	0.132
V	98	4,940	0.113	TT	18	7,615	0.175	WW	16	9,758	0.224
V	97	4,950	0.114	TT	19	7,822	0.175	WW	17	8,400	0.193
V	96	4,951	0.114	TT	20	7,616	0.175	WW	18	10,606	0.243
V	95	4,950	0.114	TT	21	9,555	0.219	WW	19	5,822	0.134
V	94	4,906	0.113	TT	22	9,579	0.220	WW	20	5,163	0.119
V	93	5,267	0.121					WW	21	5,017	0.115
V	92	5,638	0.129	UU	1	8,726	0.200	WW	22	4,920	0.113
V	91	6,140	0.141	UU	2	7,985	0.183	WW	23	4,920	0.113
V	90	7,002	0.161	UU	3	9,449	0.217	WW	24	4,920	0.113
V	89	8,260	0.190	UU	4	10,144	0.233	WW	25	4,920	0.113
V	88	12,105	0.278	UU	5	9,702	0.223	WW	26	4,920	0.113
V	87	7,325	0.168	UU	6	9,619	0.221	WW	27	4,920	0.113
V	86	4,127	0.095	UU	7	10,268	0.236	WW	28	4,920	0.113
V	85	4,778	0.110	UU	8	6,602	0.152	WW	29	4,920	0.113
V	84	4,800	0.110	UU	9	5,270	0.121	WW	30	4,920	0.113
V	83	4,800	0.110	UU	10	5,195	0.119	WW	31	4,920	0.113
V	82	4,800	0.110	UU	11	5,046	0.116	WW	32	4,920	0.113
V	81	4,800	0.110	UU	12	4,897	0.112	WW	33	5,141	0.118
V	80	4,800	0.110	UU	13	4,749	0.109	WW	34	8,976	0.206
V	79	4,800	0.110	UU	14	4,672	0.107				
V	78	4,800	0.110	UU	15	5,548	0.127	NN	34	3,025	0.069
V	77	4,800	0.110								
V	76	4,800	0.110	RR	14	7,362	0.169				
V	75	4,800	0.110	RR	15	6,000	0.138				
V	74	4,800	0.110	RR	16	6,000	0.138				
V	73	4,800	0.110	RR	17	6,000	0.138				
V	72	4,800	0.110	RR	18	6,000	0.138				
V	71	4,800	0.110	RR	19	6,000	0.138				
V	70	5,141	0.118	RR	20	6,000	0.138				
				RR	21	6,000	0.138				
				RR	22	6,000	0.138				
				RR	23	6,000	0.138				
				RR	24	6,000	0.138				
				RR	25	6,000	0.138				
				RR	26	6,477	0.149				
				RR	27	8,417	0.193				



M.U.E. DETAIL
SCALE 1" = 50'

SHEET NO. 5 OF 6

Carlson, Brigance & Doering, Inc.
FIRM ID #F3791 ♦ REG. # 10024900
Civil Engineering ♦ Surveying
5501 West William Cannon ♦ Austin, Texas 78749
Phone No. (512) 280-5160 ♦ Fax No. (512) 280-5165

J:\AC3D\5334\Survey\PLAT – CROSSWINDS PHASE 5

CROSSWINDS PHASE FIVE

STATE OF TEXAS
COUNTY OF HAYS
KNOW ALL MEN BY THESE PRESENTS:
THAT DEVELOPMENT SOLUTIONS CW, LLC, ACTING BY AND THROUGH ITS MANAGER, GREGORY L. RICH, OWNER OF 445.757 ACRES OF LAND OUT OF THE SAMUEL LITTLE SURVEY, NO. 8, A-286, IN HAYS COUNTY, TEXAS, AS CONVEYED BY SPECIAL WARRANTY DEED RECORDED IN VOLUME 4960, PAGE 584, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE A 43.296 ACRE PORTION OF SAID TRACT IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT TO BE KNOWN AS:

"CROSSWINDS PHASE FIVE"

IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN ON THIS PLAT.

WITNESS MY HAND THIS THE _____ DAY OF _____ A.D. 20____.

GREGORY L. RICH/ MANAGER
DEVELOPMENT SOLUTIONS CW, LLC
12222 MERIT DRIVE, SUITE 1020
DALLAS, TX 75251

STATE OF TEXAS }
COUNTY OF HAYS}

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE ON THIS DAY PERSONALLY APPEARED GREGORY L. RICH, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____ A.D. 20____

NOTARY PUBLIC, STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HAYS

KNOW ALL MEN BY THESE PRESENTS:

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATED TO USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, MUNICIPAL UTILITY EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED. I (WE) FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICE REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I (WE), MY (OUR) SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF DEDICATIONS OF EXACTIONS MADE HEREIN.

INTERNATIONAL BANK OF COMMERCE

STATE OF TEXAS }
COUNTY OF HAYS}

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____ A.D. 20____

NOTARY PUBLIC, STATE OF TEXAS

MY COMISSION EXPIRES:_____

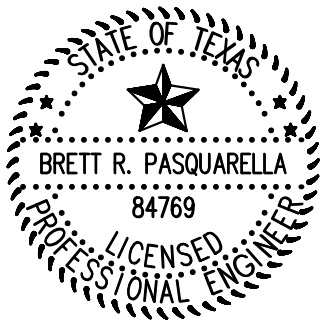
STATE OF TEXAS }
COUNTY OF TRAVIS }

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

DO HEREBY CERTIFY THAT NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED 100-YEAR FLOOD ZONE AREA, AS DELINEATED ON THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANELS 48209C 0290F AND 48209C 0293F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ADDITIONALLY, STORMWATER RUNOFF FROM THE 100 YEAR STORM EVENT SHALL BE CONTAINED WITHIN THE DRAINAGE FACILITIES TO BE LOCATED WITHIN THE RIGHTS-OF-WAY, AND /OR OPEN SPACE AND DRAINAGE EASEMENT LOTS.

BRETT R. PASQUARELLA, P.E. No. 84769
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON
AUSTIN, TEXAS 78749
(512) 280-5160

DATE

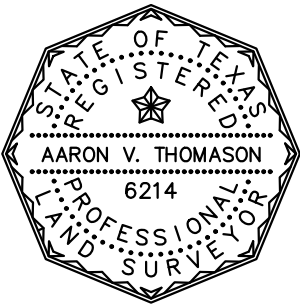


STATE OF TEXAS }
COUNTY OF TRAVIS }

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

SURVEYED BY: AARON V. THOMASON, R.P.L.S. #6214
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON
AUSTIN, TEXAS 78749
aaron@cbdeng.com

DATE



REVIEWED BY:

CITY ENGINEER, CITY OF KYLE

DATE

REVIEWED BY:

DIRECTOR OF PUBLIC WORKS, CITY OF KYLE

DATE

THIS FINAL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE, TEXAS, AND IS HEREBY APPROVED BY SUCH PLANNING AND ZONING COMMISSION.

DATED THIS _____ DAY OF _____, A.D. 20____.

CHAIRPERSON

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION, TO-WIT:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED.

MARCUS PACHECO, DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

ERIC VAN GAASBEEK, R.S., C.F.M.
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

STATE OF TEXAS
COUNTY OF HAYS

I, THE UNDERSIGNED, DIRECTOR OF HAYS COUNTY DEVELOPMENT SERVICES, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF KYLE FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF KYLE.

MARCUS PACHECO, DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

STATE OF TEXAS }
COUNTY OF HAYS }

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, A.D., AND DULY RECORDED ON THE _____

DAY OF _____, 20____ A.D., AT _____ O'CLOCK ____M., IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS IN INSTRUMENT NUMBER _____.

WITNESS MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____, A.D.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

SHEET NO. 6 OF 6

Carlson, Brigance & Doering, Inc.
FIRM ID #F3791 REG. # 10024900
Civil Engineering 5501 West William Cannon Phone No. (512) 280-5160
Surveying Austin, Texas 78749 Fax No. (512) 280-5165

J: \AC3D\5334\Survey\PLAT – CROSSWINDS PHASE 5



Hays County Development Services
P.O Box 1006 San Marcos TX 78667-1006
2171 Yarrington Road San Marcos TX 78666
512-393-2150 / www.hayscountytexas.com

February 1st, 2022

William Atkinson
City Planner
City of Kyle

Re: **Crosswinds, Ph 5, Final (PLN-1771-NP)**

Mr. Atkinson,

The Hays County Development Services staff has had an opportunity to review the aforementioned subdivision for compliance with Hays County subdivision and development regulations. Hays County staff has no further review comments at this time.

Pursuant to the Interlocal Cooperation Agreement between Hays County and the City of Kyle for subdivision regulation within the extraterritorial jurisdiction of the City of Kyle, please move forward with approval of the plat as submitted.

If you have any questions please let me know.

Regards,

Marcus Pacheco

Marcus Pacheco
Director
Hays County Development Services



CITY OF KYLE, TEXAS

Opal Ranch Subdivision - Preliminary Plan (SUB-21-0214)

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Opal Ranch Subdivision - Preliminary Plan (SUB-21-0214) 17.18 acres; 64 residential lots, 1 detention lot and 5 private open space and drainage easement located at 1001 S. Sledge Street..

Staff Proposal to P&Z: Approve the preliminary plan.

Other Information: See attached.

Legal Notes: N/A

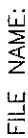
Budget Information: N/A

ATTACHMENTS:

Description

❏ Preliminary Plan

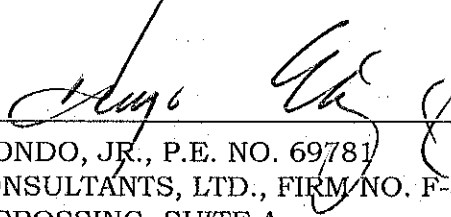
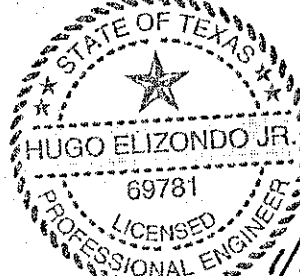
PLOTTING DATE:

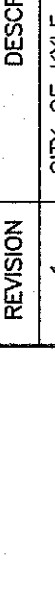


LOCATION MAP
1" = 1,000'

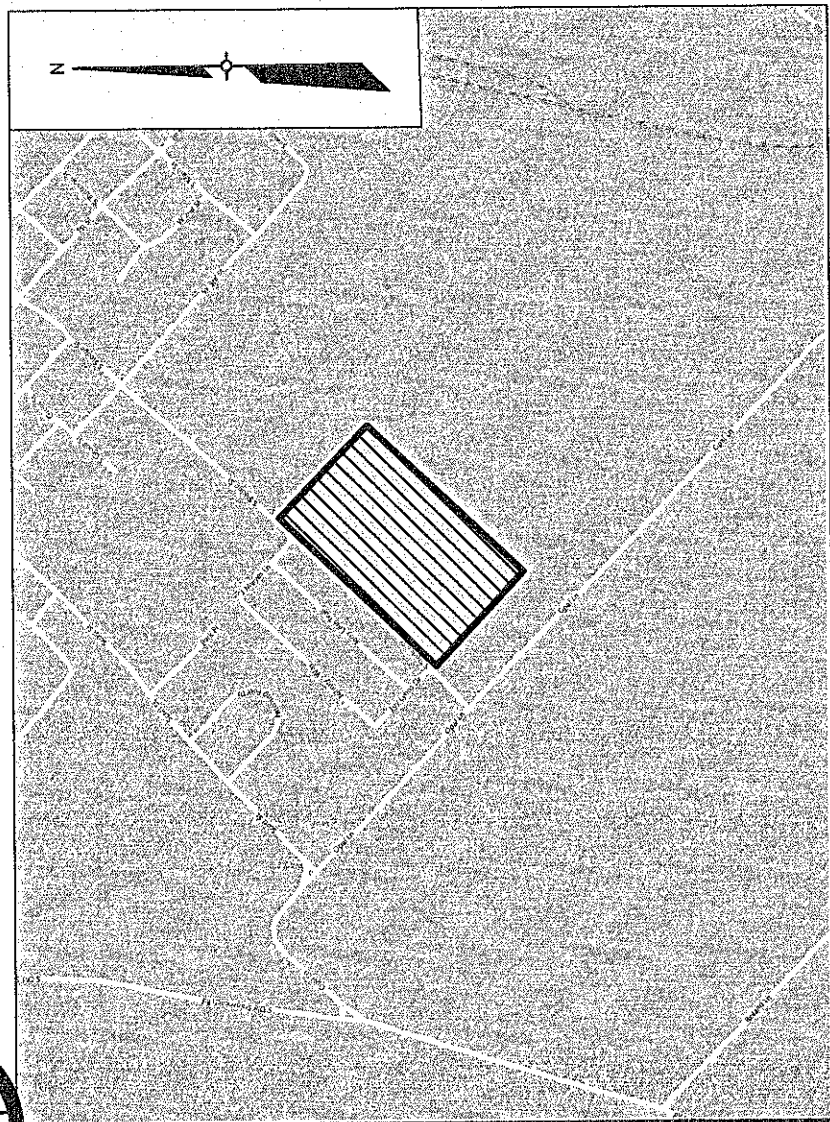
[illegible]

PROJECT DATA:	
<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;">SUBDIVISION PLAT NUMBER:</div> <div style="width: 60%;"></div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 40%;">SUBMITTAL DATE:</div> <div style="width: 60%;">SEPTEMBER, 2021</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 40%;">PROJECT ADDRESS:</div> <div style="width: 60%;">SOUTH SLEDGE STREET KYLE, TEXAS</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 40%;">ZONING:</div> <div style="width: 60%;">R-1-3</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 40%;">USE:</div> <div style="width: 60%;">SINGLE FAMILY RESIDENTIAL</div> </div>	
LEGAL DESCRIPTION:	
BEING A 17.18 ACRE TRACT OF LAND, OUT OF THE Z. HINTON SURVEY NO. 12, ABSTRACT NO. 220 SITUATED IN HAYS COUNTY, TEXAS, AS CONVEYED BY GENERAL WARRANTY DEED TO GEHAN HOMES I, LLC., AS RECORDED IN DOCUMENT NO. _____ OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.	
GENERAL NOTES:	
<ol style="list-style-type: none"> 1. THIS SITE IS LOCATED IN THE PLUM CREEK WATERSHED. 2. THIS SITE IS NOT LOCATED IN THE EDWARDS AQUIFER RECHARGE ZONE. 3. FLOOD PLAIN NOTE: A PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP #48209C 0385F, HAYS COUNTY, TEXAS, DATED 9/2/2005. 4. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. 5. WATER AND WASTEWATER SERVICE IS PROVIDED BY THE CITY OF KYLE. 6. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF KYLE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER. 7. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS. 8. APPROVAL OF THESE PLANS BY THE CITY OF KYLE INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY. 	
UTILITIES:	
<u>WATER AND WASTEWATER</u> CITY OF KYLE CONTACT: HARPER WILDER PHONE: (512) 262 3024 EMAIL: HWILDER@CITYOFKYLE.COM	<u>TELECOM</u> FRONTIER COMMUNICATIONS CONTACT: STEVE WOLFF (512) 863-2745 EMAIL: STEVE.WOLFF@FTR.COM
<u>ELECTRIC</u> PEDERNALES ELECTRIC CONTACT: RICKY HESS PHONE: (830) 992-5396 1810 FM 150 WEST P.O. BOX 100 KYLE, TX 78640	

SHEET INDEX:	
SHEET 1	COVER SHEET
SHEET 2	PRELIMINARY PLAT
SHEET 3	MASTER DRAINAGE PLAN
SHEET 4	UTILITY LAYOUT
OWNER/DEVELOPER:	
GEHAN HOMES BARTON CREEK PLAZA III 3815 SOUTH CAPITAL OF TEXAS HIGHWAY, SUITE 275 AUSTIN, TEXAS 78704	
CIVIL ENGINEER & PERMIT CONSULTANT	
HUGO ELIZONDO, JR., P.E. NO. 69781 CUATRO CONSULTANTS, LTD., FIRM NO. F-3524 3601 KYLE CROSSING, SUITE A KYLE, TEXAS 78640 (512) 312-5040, EXT. 1 (512) 565-9040 (M)	
SURVEYOR	
GEORGE E. LUCAS, R.P.L.S. NO. 4160 CELCO SURVEYING, FIRM REGISTRATION NO. 10193975 2205 STONECREST PATH NEW BRAUNFELS, TEXAS 78130 (512) 635-4857	
SUBMITTED BY:	
<div style="display: flex; justify-content: space-between; align-items: center;"><div style="width: 60%;"> HUGO ELIZONDO, JR., P.E. NO. 69781 CUATRO CONSULTANTS, LTD., FIRM NO. F-3524 3601 KYLE CROSSING, SUITE A KYLE, TEXAS 78640 (512) 312-5040, EXT. 1 (512) 565-9040 (M)</div><div style="width: 35%; text-align: center;"> DATE: _____</div></div>	
REVIEWED BY:	
<div style="display: flex; justify-content: space-between;"><div style="width: 60%;"><hr/><div style="padding: 5px;">GEHAN HOMES BARTON CREEK PLAZA III 3815 SOUTH CAPITAL OF TEXAS HIGHWAY, SUITE 275 AUSTIN, TEXAS 78704</div><hr/><div style="padding: 5px;">LEON BARBA P.E., CITY ENGINEER CITY OF KYLE, TEXAS</div><hr/><div style="padding: 5px;">HARPER WILDER, DIRECTOR OF PUBLIC WORKS CITY OF KYLE, TEXAS</div><hr/><div style="padding: 5px;">DEVELOPMENT PERMIT NUMBER</div></div><div style="width: 35%; text-align: center;"><div>DATE: _____</div><div>DATE: _____</div><div>DATE: _____</div><div>DATE: _____</div><div>DATE: _____</div></div></div>	

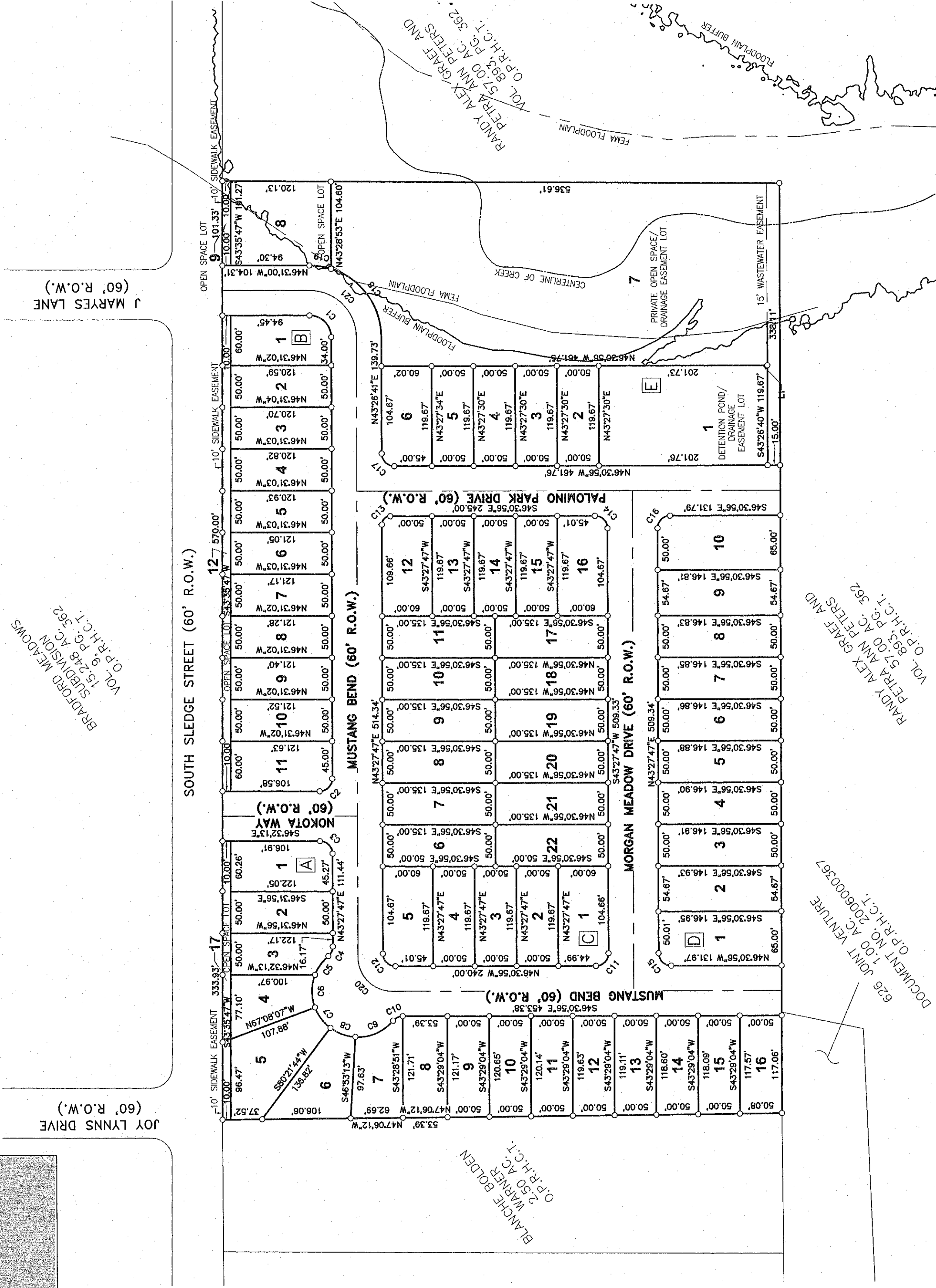
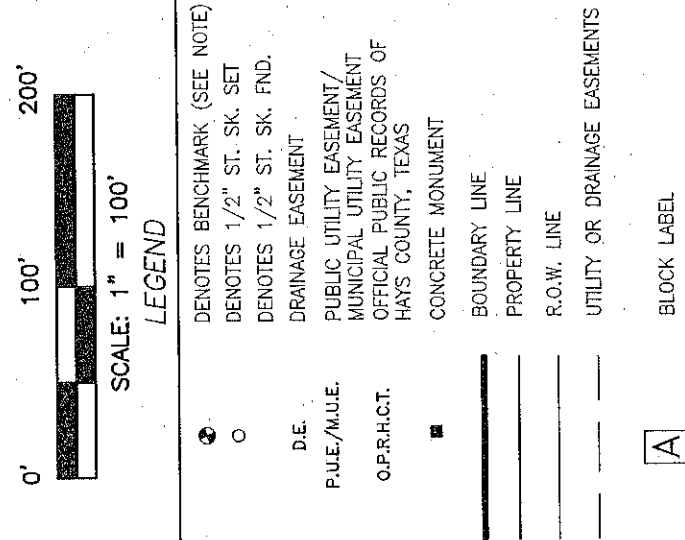
CLIENT: SHANNON BARKSDALE GEHAN HOMES, LLC. 3845 S. CAPITAL OF TEXAS HWY SUITE 275 KYLE, TEXAS 78640		OPAL RANCH SUBDIVISION KYLE, TEXAS 78640 HAYS COUNTY		 <p> Registration No. F-9324 3601 Kyle Crossing, Suite A, P.O. Box 612131-5999 Kyle, Texas 78640 e-mail: cuthbert@cuatrosconsultants.com </p>					
DATE: SEPTEMBER, 2021		REVISION 1		DESCRIPTION CITY OF KYLE COMMENTS PUBLIC WORKS DIRECTOR		BY: ARM/CDE		DATE: 11/09/21	
PROJECT: JOB # 21-279		DRAWING'S NAME: COVER SHEET							
DESIGN: CDE		CHECKED: HE-Jr.							
DRAWN: CDE		APPROVED: HE-Jr.							
SHEET: 1 OF 4									

PRELIMINARY PLAT OF
OPAL RANCH SUBDIVISION
17.18 ACRES
OUT OF THE Z. HINTON SURVEY NO. 12, ABSTRACT NO. 220
HAYS COUNTY, TEXAS



LOCATION MAP
SCALE = 1"=1,000'

NAME	ROAD TYPE	TRAVEL WAY	CURVE	SPEED
MUSTANG BEND DRIVE	60'	32'	STANDARD	30 MPH
MORGAN MEADOW DRIVE	60'	32'	STANDARD	30 MPH
NOKOTA WAY	60'	32'	STANDARD	30 MPH
PALOMINO PARK DRIVE	60'	32'	STANDARD	30 MPH



OWNERS NAMES:
GERAN HOMES
BARTON CREEK PLAZA III
3815 SOUTH CAPITAL OF TEXAS HIGHWAY, SUITE 275
AUSTIN, TEXAS 78704

SURVEYORS COMPANY NAME AND CONTACT INFORMATION:
GEORGE E. LUCAS
REGISTERED PROFESSIONAL SURVEYOR NO. 4160,
CELCO SURVEYING FIRM REGISTRATION NO. 10153975
2205 STONECREST PATH
NEW BRAUNFELS, TEXAS 78130

ENGINEERS COMPANY NAME AND CONTACT INFORMATION:
HUGO ELIZONDO, JR.
REGISTERED PROFESSIONAL ENGINEER NO. 68781
CUATRO CONSULTANTS, LTD., FIRM REGISTRATION NO. F-3524
3501 KYLE CROSSING, SUITE A
KYLE, TEXAS 78540

DATE: SEPTEMBER, 2021

AGGREGATE OF TOTAL SITE: 17.18 ACRES

TOTAL NUMBER OF BLOCKS: 5 BLOCKS (A,B,C,D,E)

TOTAL NUMBER OF LOTS: 70 LOTS TOTAL

- 64 - RESIDENTIAL
- 1 - DETENTION POND / DRAINAGE EASEMENT
- 5 - PRIVATE OPEN SPACE / DRAINAGE EASEMENT

SHEET 1 OF 3

PRELIMINARY PLAT OF
OPAL RANCH SUBDIVISION
17.18 ACRES
OUT OF THE Z. HINTON SURVEY NO. 12, ABSTRACT NO. 220
HAYS COUNTY, TEXAS

BLOCK A LOT TABLE		BLOCK A LOT TABLE	
Parcel #	Area	Parcel #	Area
1	7,303 SF	10	6,020 SF
2	6,106 SF	11	5,894 SF
3	5,762 SF	12	5,968 SF
4	5,772 SF	13	5,942 SF
5	9,346 SF	14	5,917 SF
6	7,191 SF	15	5,897 SF
7	6,322 SF	16	5,871 SF
8	6,483 SF	17	3,339 SF
9	6,045 SF		

BLOCK B LOT TABLE	
Parcel #	Area
1	7,066 SF
2	6,032 SF
3	6,038 SF
4	6,044 SF
5	6,050 SF
6	6,055 SF
7	6,061 SF
8	6,067 SF
9	6,073 SF
10	6,079 SF
11	7,253 SF
12	5,700 SF

BLOCK C LOT TABLE		BLOCK C LOT TABLE	
Parcel #	Area	Parcel #	Area
1	7,132 SF	12	7,132 SF
2	5,983 SF	13	5,983 SF
3	5,983 SF	14	5,983 SF
4	5,983 SF	15	5,983 SF
5	7,132 SF	16	7,132 SF
6	6,750 SF	17	6,750 SF
7	6,750 SF	18	6,750 SF
8	6,750 SF	19	6,750 SF
9	6,750 SF	20	6,750 SF
10	6,750 SF	21	6,750 SF
11	6,750 SF	22	6,750 SF

BLOCK D LOT TABLE	
Parcel #	Area
1	9,504 SF
2	8,033 SF
3	7,346 SF
4	7,345 SF
5	7,344 SF
6	7,344 SF
7	7,343 SF
8	7,342 SF
9	8,026 SF
10	9,494 SF

BLOCK E LOT TABLE	
Parcel #	Area
1	24,142 SF
2	5,983 SF
3	5,983 SF
4	5,983 SF
5	5,983 SF
6	7,132 SF
7	114,163 SF
8	12,168 SF
9	1,013 SF

CURVE #	RADIUS	ARC LENGTH	BEARING	CHORD LENGTH	TANGENT	DELTA
C1	26.01'	40.84'	S01°31'13"E	36.77'	26.00'	089°58'43"
C2	15.00'	23.71'	S88°50'09"W	21.35'	15.09'	090°00'06"
C3	15.00'	23.85'	S01°32'13"E	21.21'	14.98'	089°52'00"
C4	15.00'	13.09'	S68°27'35"W	12.65'	6.89'	049°59'41"
C5	55.00'	27.73'	S79°00'42"W	27.44'	14.17'	028°53'32"
C6	55.00'	40.03'	S43°42'55"W	39.15'	20.85'	041°42'03"
C7	55.00'	31.20'	S08°36'45"W	30.78'	16.03'	032°30'10"
C8	55.00'	32.13'	S28°22'32"E	31.68'	16.54'	037°28'31"
C9	55.00'	51.26'	S88°48'41"E	49.42'	27.66'	087°33'49"
C10	15.00'	13.09'	S71°30'52"E	12.68'	6.89'	049°59'27"
C11	15.00'	23.57'	S88°28'26"W	21.22'	15.01'	090°01'17"

CURVE #	RADIUS	ARC LENGTH	BEARING	CHORD LENGTH	TANGENT	DELTA
C12	15.00'	23.56'	N01°31'34"W	21.21'	14.99'	089°58'43"
C13	10.00'	15.71'	N88°28'26"E	14.14'	10.00'	090°01'17"
C14	15.00'	23.56'	S01°31'34"E	21.21'	14.99'	089°58'43"
C15	15.00'	23.56'	N01°31'34"W	21.21'	14.99'	089°58'43"
C16	15.00'	23.56'	N88°28'26"E	21.21'	14.99'	089°58'43"
C17	15.00'	23.56'	N07°16'20"E	101.51'	62.68'	072°20'04"
C18	86.00'	26.44'	N37°42'27"W	26.34'	13.33'	017°36'58"
C19	86.00'	64.39'	S01°31'34"E	57.87'	40.88'	089°58'43"
C20	41.00'	64.39'	S01°31'34"E	79.18'	55.88'	089°58'43"
C21	56.00'	87.94'	S01°31'34"E	79.18'	55.88'	089°58'43"

FOR REVIEW ONLY
DATE: 1-18-22

SHEET 2 OF 3

PRELIMINARY PLAT OF
OPAL RANCH SUBDIVISION
17.18 ACRES
OUT OF THE Z. HINTON SURVEY NO. 12, ABSTRACT NO. 220
HAYS COUNTY, TEXAS

STATE OF TEXAS:
COUNTY OF HAYS:
BEING A 17.18 ACRE TRACT OF LAND, OUT OF THE Z. HINTON SURVEY NO. 12, ABSTRACT NO. 220
SITUATED IN HAYS COUNTY, TEXAS, AS CONVEYED BY _____ OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY,
TEXAS.

WITNESS MY HAND THIS _____ DAY OF _____, 20____.

CHRIS LYNCH, VICE PRESIDENT OF LAND OPERATIONS
GEHAN HOMES I, INC.
TWO ADDISON CIRCL
15725 NORTH LAYNE PARKWAY, SUITE 300
ADDISON, TEXAS 75001

STATE OF TEXAS:
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS LYNCH, KNOWN
TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND
ACKNOWLEDGED HIS EXECUTION THEREOF FOR THE PURPOSE AND CONSIDERATION THEREIN
EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYOR:
STATE OF TEXAS
COUNTY OF HAYS:
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS,
HEREBY CERTIFY THAT I HAVE EXAMINED THE SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT
ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN HEREIN.

GEORGE E. LUCAS
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4180
CELCO SURVEYING, FIRM REGISTRATION NO.10193975
1000 WEST 11TH STREET, SUITE 100
NEW BRUNNELS, TEXAS 78130
OFFICE (512) 635-4857

ENGINEER:
STATE OF TEXAS
COUNTY OF HAYS:
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY
CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

HUGO ELIZABDO JR.
REGISTERED PROFESSIONAL ENGINEER NO. 89781
CUATRO CONSULTANTS, LTD., FIRM REGISTRATION NO. F-3524
3601 KYLE CROSSING, SUITE A
DALLAS, TEXAS 75244
OFFICE: (512) 312-5040

STATE OF TEXAS:
CITY OF KYLE:
RECOMMENDED AS ADMINISTRATIVELY COMPLETE:

CITY ENGINEER _____ DATE _____

DIRECTOR OF PUBLIC WORKS _____ DATE _____

PLAT NOTES:
1. ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48055, BASES
EFFECTIVE JANUARY 1, 2019, A PORTION OF THIS TRACT IS WITHIN THE 100 YEAR REGULATORY
FLOODPLAIN.
2. BASIS OF BEARING FOR THIS SURVEY IS THE TEXAS LAMBERT GRID, CENTRAL ZONE, NAD83.
3. THIS SUBDIVISION IS TO BE SERVED BY:
WATER, CITY OF KYLE
ELECTRIC, FIDERNALES ELECTRIC COOPERATIVE

4. UPON APPROVAL OF THIS PLAT BY THE PLANNING AND ZONING COMMISSION OF FILING AND
SUBSEQUENT ACCEPTANCE OF MAINTENANCE OF STREETS BY CITY OF KYLE, IT IS UNDERSTOOD THAT
PLACEMENT OF ANY AND ALL TRAFFIC CONTROL DEVICES, INCLUDING STOP SIGNS, STOP ARROWS,
OR OTHER TRAFFIC CONTROL DEVICES, BEING THE SOLE RESPONSIBILITY OF THE
DEVELOPER UNDER THE DIRECTION OF THE PLANNING AND ZONING COMMISSION AND/OR THE CITY
ENGINEER.

5. CITY OF KYLE ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE REPRESENTATIONS BY
OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, MAY CHANGE DEPENDING ON
SUBSEQUENT DEVELOPMENT.

6. EROSION/SEDIMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT,
INCLUDING CONSTRUCTION OF SINGLE AND/OR MULTI-FAMILY RESIDENCES.

7. NO STRUCTURES OR LAND USE THAT NEGATIVELY IMPACTS STORM WATER DRAINAGE OR STORM
WATER DETENTION SHALL BE PERMITTED IN AREAS DESIGNATED AS PONDS, DRAINAGE EASEMENTS OR
DETENTION AREAS. NO LAND DISTURBANCE ALLOWED BY HOMEOWNERS WITHIN DRAINAGE EASEMENT.

8. ALL DRAINAGE EASEMENTS SHALL BE FREE OF CONSTRUCTION OR ANY TYPE OF OBSTRUCTION
INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES, EXCEPT
AS APPROVED BY CITY OF KYLE.

9. PROPERTY OWNERS AND/OR HIS/HER ASSIGNS SHALL PROVIDE ACCESS TO DRAINAGE EASEMENTS AS
MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY CITY OF KYLE.

10. ALL CORNER LOTS WITHIN THIS DEVELOPMENT MAY ACCESS ONLY ONE STREET AND MUST TAKE
THEIR ACCESS FROM THE MINOR OF TWO STREETS.

11. PERMITS: ALL DRAINWAYS IN THIS SUBDIVISION MUST BE CONSTRUCTED TO FACILITATE DRAINAGE
INSTALLATION AND MAINTENANCE OF DRIVEWAYS IN ACCORDANCE WITH CITY OF KYLE SPECIFICATIONS,
WHICH MAY INCLUDE CURB, GUTTER, AND DRAINAGE INSTALLATION. A PERMIT MUST BE OBTAINED FROM CITY OF
KYLE PRIOR TO THE CREATION OF A DRIVEWAY.

12. PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE
CITY OF KYLE ORDINANCES, INCLUDING BUT NOT LIMITED TO, CITY OF KYLE 9-1-1
ADDRESSING ASSIGNMENTS, DRIVEWAYS/CULVERT, DEVELOPMENT, FLOODPLAIN AND ON-SITE SEWAGE
FACILITY. CITY PERMITS ARE OBTAINED AND ISSUED THROUGH THE CITY OF KYLE.

13. THE OWNER OF THIS SUBDIVISION, AND HIS/HER SUCCESSORS AND ASSIGNS, ASSUMES
RESPONSIBILITY FOR PLANS AND CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH
APPLICABLE REGULATIONS AND REQUIREMENTS OF CITY OF KYLE. THE OWNER SHALL BE RESPONSIBLE FOR
ALL NECESSARY CONSTRUCTION OF IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR THE COST OF
EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH REGULATIONS
AND REQUIREMENTS.

14. THIS SUBDIVISION LIES WITHIN THE CITY OF KYLE CITY LIMITS.

15. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER
DISTRIBUTION SYSTEM AND WASTEWATER COLLECTION FACILITIES.

16. DRAINAGE EASEMENTS AND STORM WATER DETENTION FACILITIES SHALL BE MAINTAINED BY THE HOA
OR PROPERTY OWNER. THE HOA OR PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE
AND MAINTAINING REGULATION WITHIN THESE EASEMENTS, INCLUDING REGRADE, SLOPE WORK, AND
CORRECTING BLOCKED OR DAMAGED CULVERTS. PROPERTY OWNER AND THEIR ASSIGNS SHALL
PROVIDE ACCESS TO ADJACENT PROPERTIES AS MAY BE NECESSARY AND SHALL NOT PROHIBIT
ACCESS BY CITY OF KYLE REPRESENTATIVES.

17. SITE IS LOCATED IN THE FLUM CREEK WATERSHED.

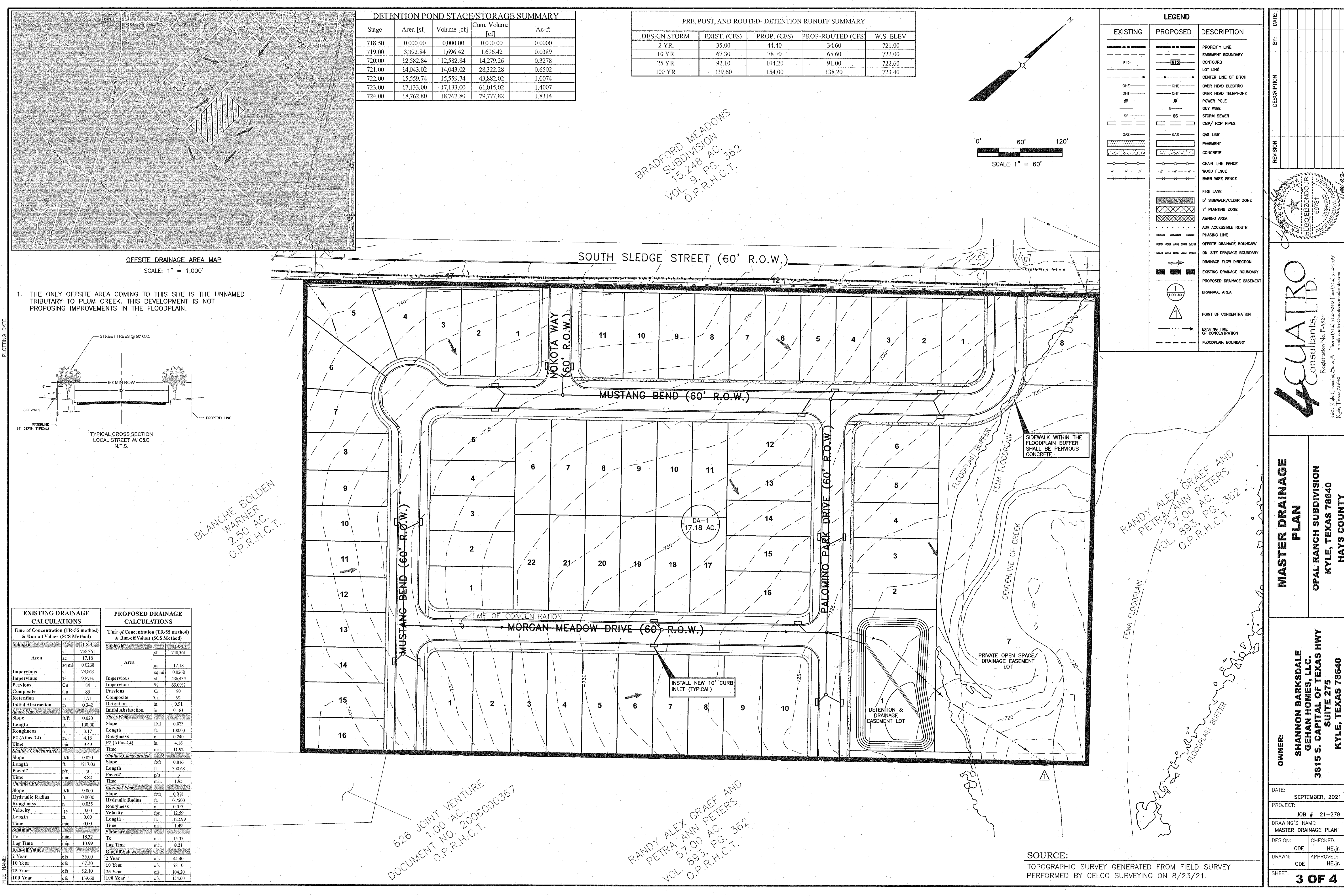
18. THE DEVELOPER, BUILDER, SELLER, OR AGENT SHALL INFORM, IN WRITING, EACH BUYER OF
SUBDIVISION LOTS OR PROPERTY LOCATED WITHIN FLOOD HAZARD AREAS THAT SUCH PROPERTY IS IN
AN IDENTIFIED HAZARD AREA.

19. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF S. SLEDGE STREET. THOSE
SIDEWALKS NOT ABUTTING A RESIDENTIAL COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED
WITHIN 10 FEET OF THE LOT LINE. SIDEWALKS ON DOUBLE FRONTAGE LOTS
SHALL BE INSTALLED WITHIN 10 FEET OF THE LOT LINE. SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED
WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED. SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST
CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II
ENTITIES.

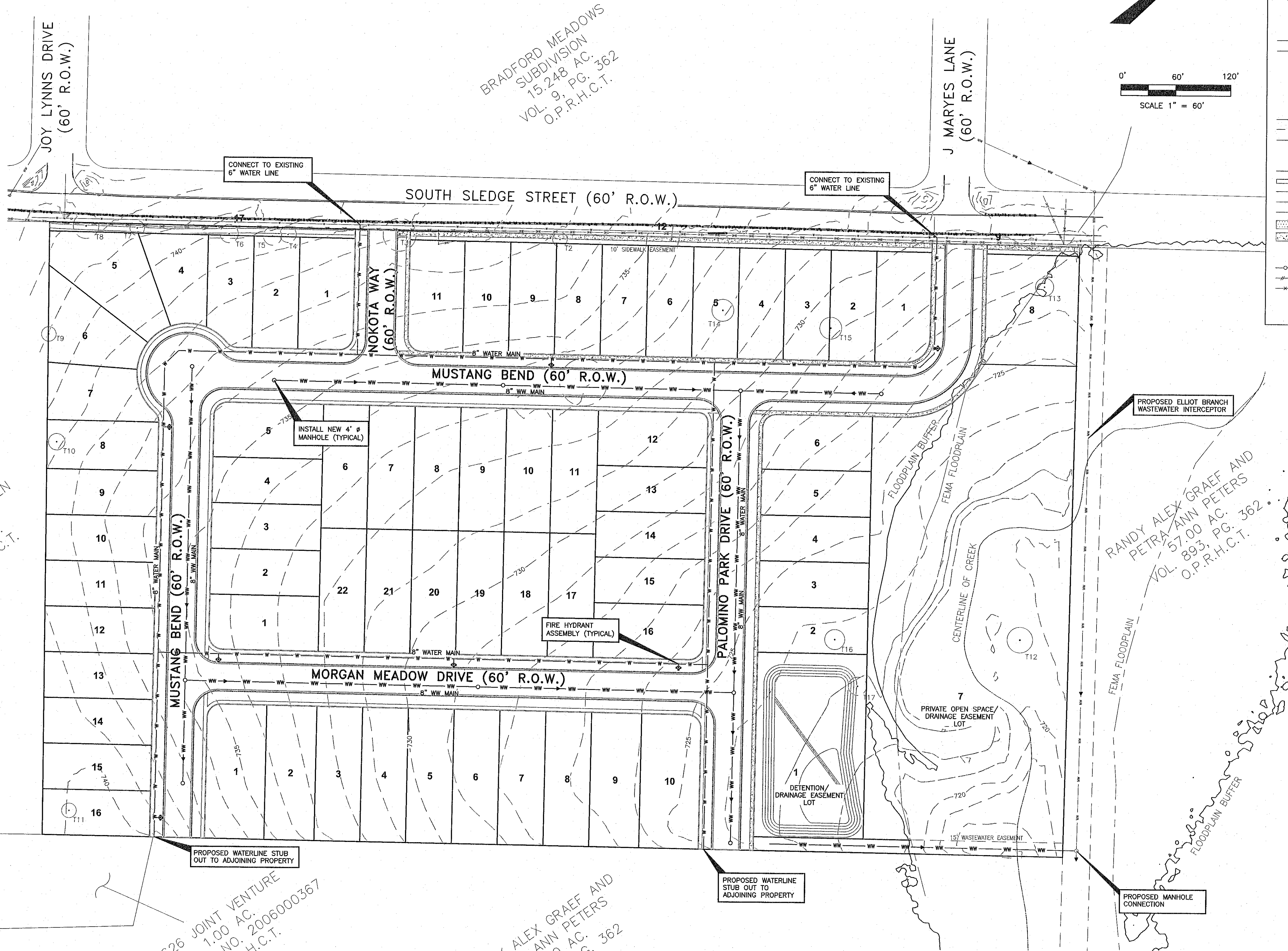
20. SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.

FOR REVIEW ONLY

DATE: 1-15-22



TAG #	TRUNK DIA.	TYPE
1	26" (M)	CEDAR ELM (R)
2	8"	HACKBERRY (R)
3	18" (M)	MESQUITE (R)
4	9"	CEDAR (R)
5	10"	CEDAR (R)
6	10"	CEDAR (R)
7	8"	PECAN (R)
8	14"	CHINABERRY (R)
9	8"	HACKBERRY
10	9"	HACKBERRY
11	8"	HACKBERRY
12	14" (M)	HUISACHE
13	10"	CEDAR
14	12"	LIVE OAK
15	12"	CHINESE TALLOW
16	11" (M)	HACKBERRY
17	10" (M)	HACKBERRY (R)



LEGEND		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT BOUNDARY
---	---	CONTOURS
---	---	LOT LINE
---	---	CENTER LINE OF DITCH
---	---	TELEPHONE LINE
---	---	WATER LINE
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	TRANSFORMER BOX
---	---	WASTEWATER LINE
---	---	FORCE MAIN
---	---	WASTEWATER MANHOLE
---	---	WASTEWATER CLEANOUT
---	---	WASTEWATER SERVICE
---	---	FLUSH VALVE
---	---	AIR RELEASE VALVE
---	---	OVER HEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	OVER HEAD TELEPHONE
---	---	POWER POLE
---	---	GUY WIRE
---	---	CMP/ RCP/ HDPE PIPES
---	---	AT&T LINE
---	---	FIBER OPTIC CABLE
---	---	GAS LINE
---	---	PAVEMENT
---	---	CONCRETE
---	---	LIGHT POLE
---	---	CHAIN LINK FENCE
---	---	WOOD FENCE
---	---	BARB WIRE FENCE
---	---	TRAFFIC FLOW
---	---	HANDICAP SPACE

DATE: 11/09/21	BY: ARM
DESCRIPTION: HYDRANT SCALE AND COLOR	REVISION: 1
CUATRO Consultants, Ltd. Registration No. F-5724 3601 Kyle Crossing, Suite A Phone: (912) 512-5040 Fax: (912) 312-5599 Kyle, Texas 78640 email: cuatro@cuatroconsultants.com	
UTILITY LAYOUT	OPAL RANCH SUBDIVISION
	KYLE, TEXAS 78640
	HAYS COUNTY
OWNER:	SHANNON BARKSDALE
	GEHAN HOMES, LLC.
	3815 S. CAPITAL OF TEXAS HWY
	SUITE 275
	KYLE, TEXAS 78640
DATE: SEPTEMBER, 2021	
PROJECT: JOB # 21-279	
DRAWING'S NAME: UTILITY LAYOUT	
DESIGN: CDE	CHECKED: HE, Jr.
DRAWN: CDE	APPROVED: HE, Jr.
SHEET: 4 OF 4	

626 JOINT VENTURE
1.00 AC.
DOCUMENT NO. 2006000367
O.P.R.H.C.T.

RANDY ALEX GRAEF AND
PETRA ANN PETERS
57.00 AC.
VOL. 893, PG. 362
O.P.R.H.C.T.



CITY OF KYLE, TEXAS

Yarrington Industrial Subdivision - Final Plat (SUB-21-0219)

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Yarrington Industrial Subdivision - Final Plat (SUB-21-0219) 110.923 acres; 4 commercial lots for property located at 24801 IH-35.

Staff Proposal to P&Z: Approve the final plat.

Other Information: See attached.

Legal Notes: N/A

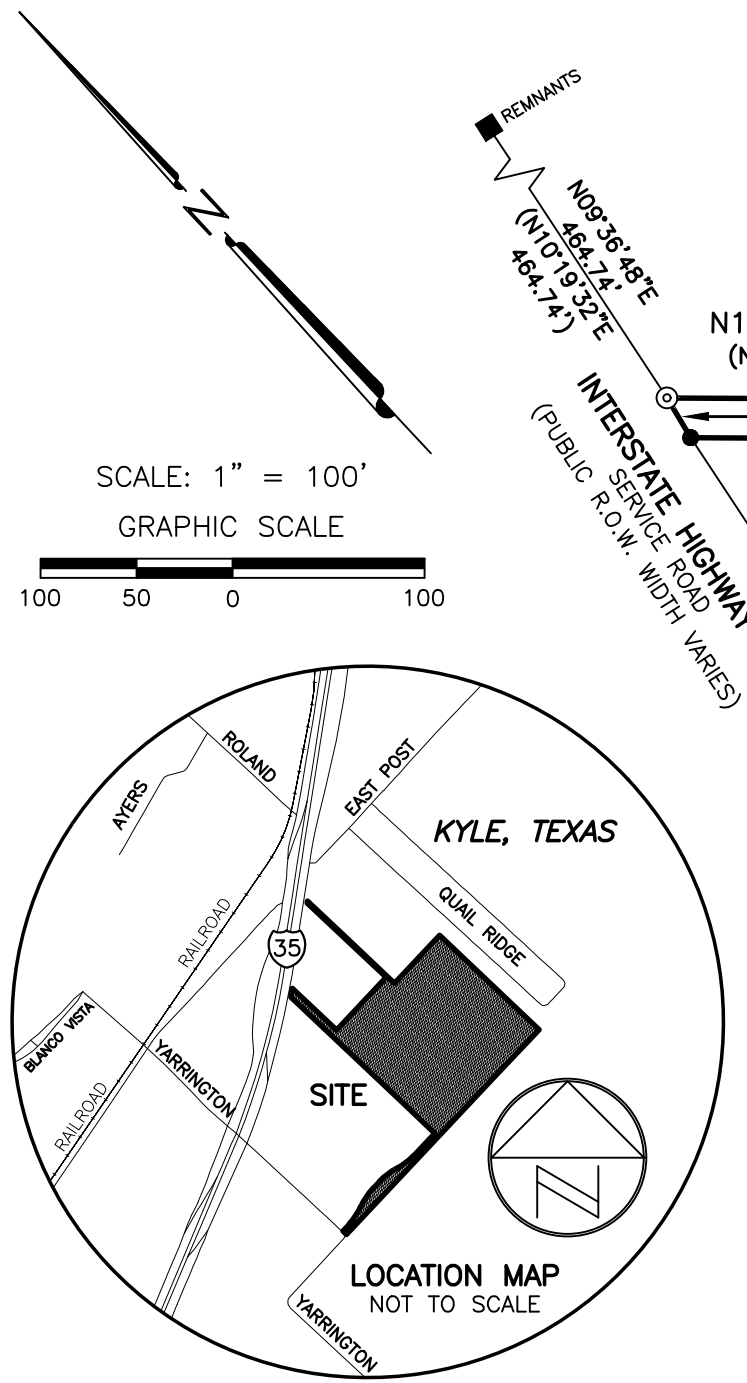
Budget Information: N/A

ATTACHMENTS:

Description

Final Plat

YARRINGTON INDUSTRIAL SUBDIVISION



SURVEYOR:
JOE BEN EARLY, JR., R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6016
EARLY LAND SURVEYING, LLC
P.O. BOX 92588
AUSTIN, TX 78709
512-202-8631
FIRM NO. 10194487

OWNERS:
YARRINGTON LOGISTICS OWNER, LP
820 GESSNER ROAD STE 1000
HOUSTON, TX 77024

ACREAGE: 110.923 ACRES
SURVEY: JAMES W. WILLIAMS SURVEY NO. 11, ABS. 473
NUMBER OF LOTS & PROPOSED USE: 4
DATE OF SURVEY: 9/22/21

ENGINEER:
BENJAMIN L. GREEN, P.E.
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS NO. _____
KIMLEY-HORN
2600 VIA FORTUNA, STE 300
AUSTIN, TX 78746
512-646-2243

- LEGEND
- 1/2" REBAR FOUND (OR AS NOTED)
 - 1/2" REBAR WITH "EARLY BOUNDARY" CAP SET
 - ⊙ 1/2" IRON PIPE FOUND (OR AS NOTED)
 - ⊙ ALUMINUM FENCE POST FOUND
 - REMNANTS OF A CONCRETE HIGHWAY MONUMENT FOUND
 - ▲ 60D NAIL WITH "BRYN" WASHER IN POST FOUND
 - 4" CEDAR FENCE POST FOUND
 - ⊕ CONTROL POINT/BENCHMARK LOCATION
 - M.U.E. MUNICIPAL UTILITY EASEMENT
 - W.W.E. WASTEWATER EASEMENT
 - W.L.E. WATERLINE EASEMENT
 - () RECORD INFORMATION

PROJECT NO.:
1006-019

DRAWING NO.:
1006-019-PL1

PLOT DATE:
1/10/22

PLOT SCALE:
1" = 100'

DRAWN BY:
MAW & JBE

SHEET
1 OF 5

EARLY
LAND SURVEYING
A LIMITED LIABILITY COMPANY

P.O. BOX 92588
AUSTIN, TX 78709
512-202-8631
TBPELS FIRM NO. 10194487

THIS IS A SURFACE DRAWING.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), SOUTH CENTRAL ZONE, BASED ON GPS OBSERVATIONS ON EARLY LAND SURVEYING CONTROL POINT "BM #1"

MAG NAIL WITH WASHER SET IN ASPHALT DRIVE APPROX. 886' SOUTHEAST OF A BILLBOARD LOCATED ALONG THE SOUTHEAST SIDE OF THE I-35 ACCESS ROAD FRONTING THE SUBJECT TRACT.

SURFACE COORDINATES:
N 13896783.07
E 2324889.93

TEXAS STATE PLANE COORDINATES:
N 13894976.73
E 2324587.74

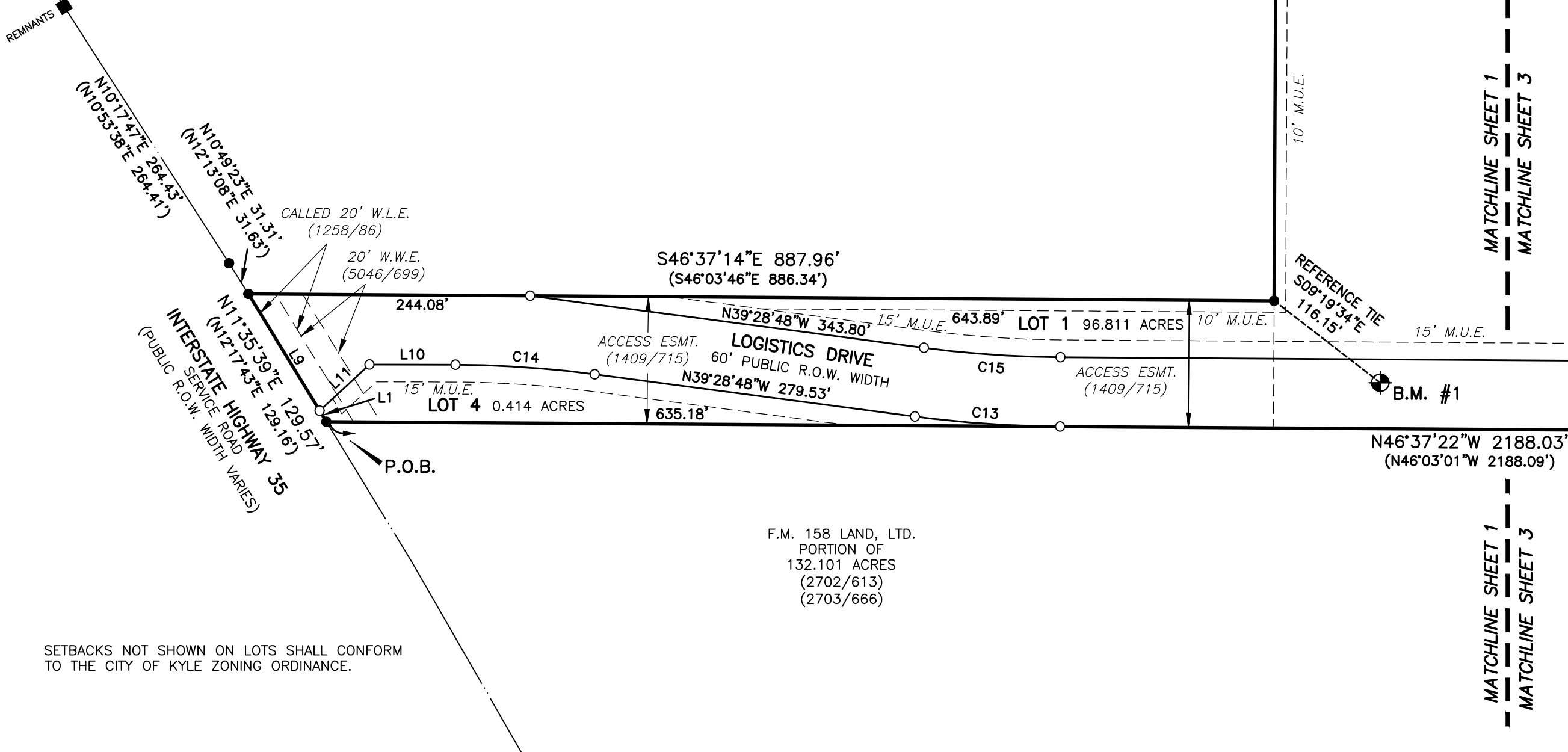
ELEVATION = 676.45'
VERTICAL DATUM: NAVD 88 (GEOID 12B)

COMBINED SCALE FACTOR = 0.999870017
(FOR SURFACE TO GRID CONVERSION)

INVERSE SCALE FACTOR = 1.000130
(FOR GRID TO SURFACE CONVERSION)

SCALED ABOUT 0.0
THETA ANGLE: 0°03'04"

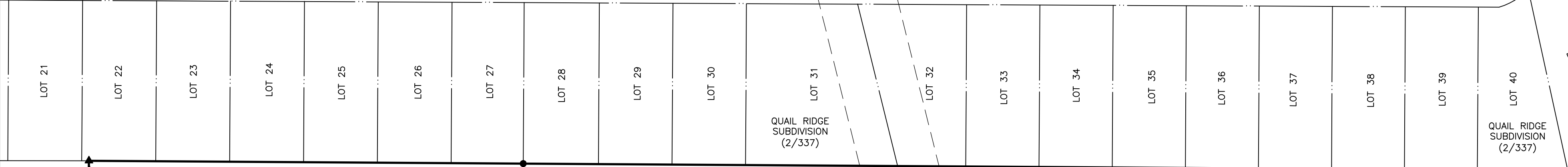
SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.



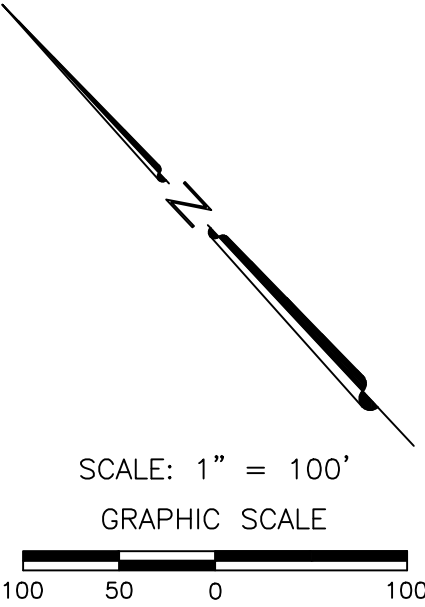
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YARRINGTON INDUSTRIAL SUBDIVISION

QUAIL RIDGE DRIVE



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SOUTH GOFORTH ROAD
70' PUBLIC R.O.W. WIDTH

F.M. 158 LAND, LTD.
468.288 ACRES
(2702/613)
(2703/666)

N43°22'08"E 981.99'

S43°22'08"W 981.92'
(S43°56'30"W 981.57')

SOUTH GOFORTH ROAD
70' PUBLIC R.O.W. WIDTH

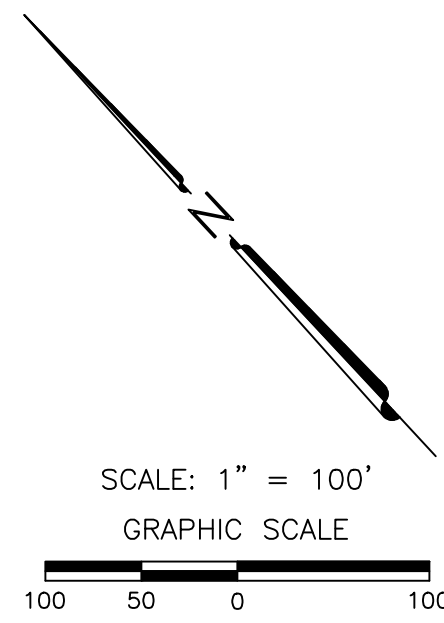
F.M. 158 LAND, LTD.
468.288 ACRES
(2702/613)
(2703/666)

PROJECT NO.: 1006-019	EARLY LAND SURVEYING <i>A LIMITED LIABILITY COMPANY</i>
DRAWING NO.: 1006-019-PL1	
PLOT DATE: 1/10/22	
PLOT SCALE: 1" = 100'	
DRAWN BY: MAW & JBE	P.O. BOX 92588 AUSTIN, TX 78709 512-202-8631 TBPELS FIRM NO. 10194487
SHEET 2 OF 5	

YARRINGTON INDUSTRIAL SUBDIVISION

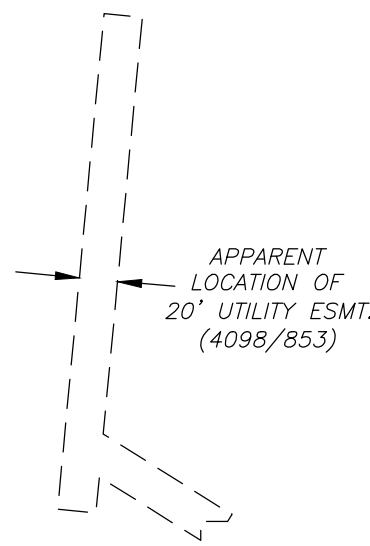
MATCHLINE SHEET 2
MATCHLINE SHEET 3

MATCHLINE SHEET 2
MATCHLINE SHEET 3



LOT 1
96.811 ACRES

LOT 1
96.811 ACRES



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LOGISTICS DRIVE
60' PUBLIC R.O.W. WIDTH 10.779 ACRES

LOGISTICS DRIVE 60' PUBLIC R.O.W. WIDTH

LOT 2
1.116 ACRES

N46°37'22"W 2188.03'
(N46°03'01"W 2188.09')

N46°37'22"W 714.12'

PROJECT NO.: 1006-019	EARLY LAND SURVEYING <i>A LIMITED LIABILITY COMPANY</i>
DRAWING NO.: 1006-019-PL1	
PLOT DATE: 1/10/22	
PLOT SCALE: 1" = 100'	
DRAWN BY: MAW & JBE	
SHEET 3 OF 5	P.O. BOX 92588 AUSTIN, TX 78709 512-202-8631 TBPELS FIRM NO. 10194487

F.M. 158 LAND, LTD.
PORTION OF
132.101 ACRES
(2702/613)
(2703/666)

F.M. 158 LAND, LTD.
PORTION OF
132.101 ACRES
(2702/613)
(2703/666)

F.M. 158 LAND, LTD.
468.288 ACRES
(2702/613)
(2703/666)

SOUTH GOFORTH ROAD
70' PUBLIC R.O.W. WIDTH

S43°16'02"W 1627.96'

SOUTH GOFORTH ROAD
70' PUBLIC R.O.W. WIDTH

F.M. 158 LAND, LTD.
468.288 ACRES
(2702/613)
(2703/666)

15' M.U.E.

15' M.U.E.

15' M.U.E.

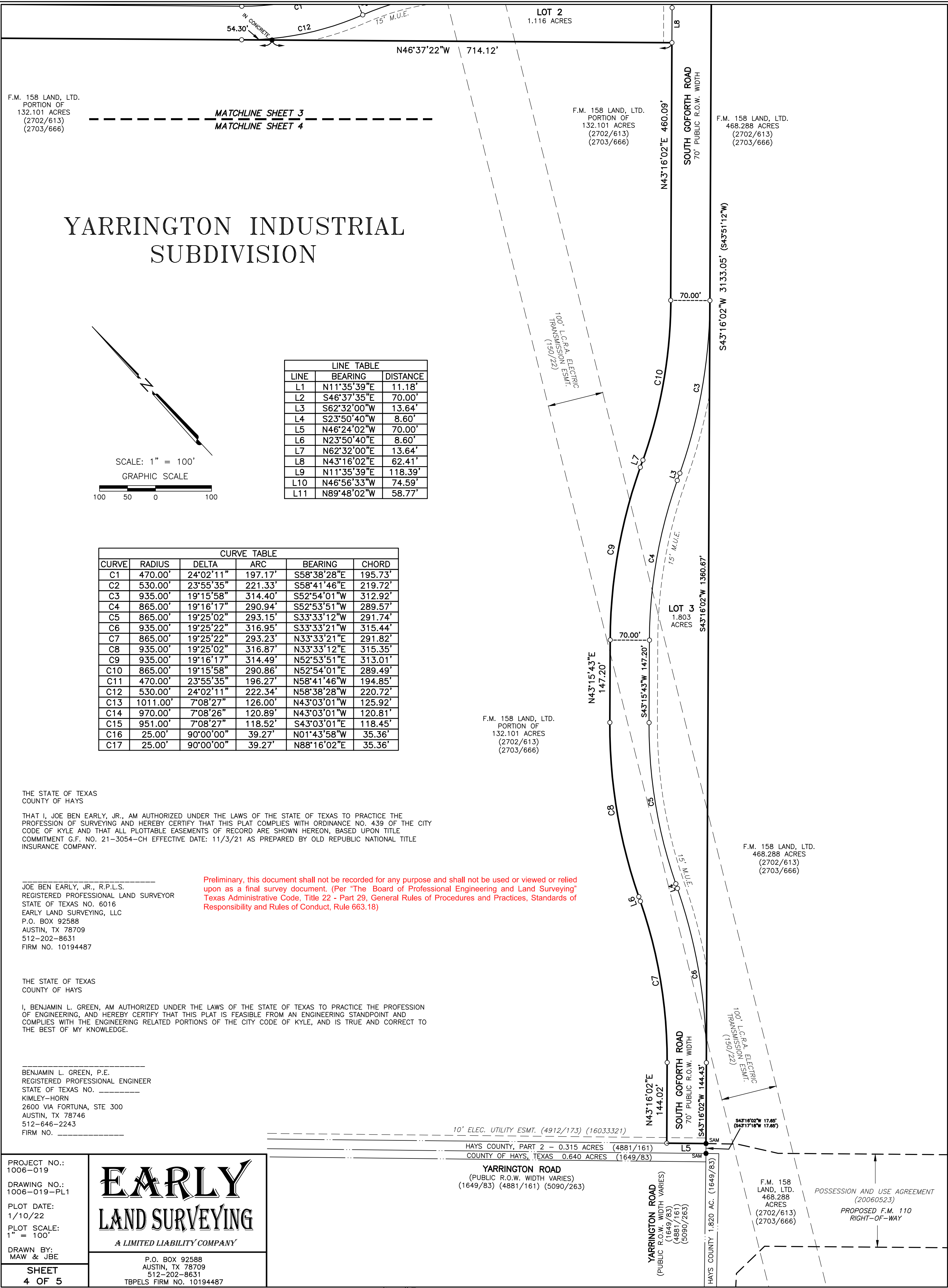
N43°16'02"E 460.09'

70.00' 5/8"

100' L.C.R.A. ELECTRIC
TRANSMISSION ESMT.
(150/22)

100' L.C.R.A. ELECTRIC
TRANSMISSION ESMT.
(150/22)

MATCHLINE SHEET 3
MATCHLINE SHEET 4



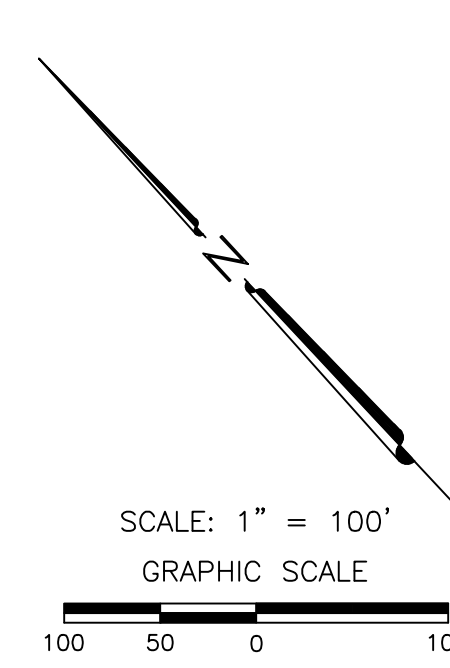
F.M. 158 LAND, LTD.
PORTION OF
132.101 ACRES
(2702/613)
(2703/666)

MATCHLINE SHEET 3
MATCHLINE SHEET 4

F.M. 158 LAND, LTD.
PORTION OF
132.101 ACRES
(2702/613)
(2703/666)

F.M. 158 LAND, LTD.
468.288 ACRES
(2702/613)
(2703/666)

YARRINGTON INDUSTRIAL SUBDIVISION



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N11°35'39"E	11.18'
L2	S46°37'35"E	70.00'
L3	S62°32'00"W	13.64'
L4	S23°50'40"W	8.60'
L5	N46°24'02"W	70.00'
L6	N23°50'40"E	8.60'
L7	N62°32'00"E	13.64'
L8	N43°16'02"E	62.41'
L9	N11°35'39"E	118.39'
L10	N46°56'33"W	74.59'
L11	N89°48'02"W	58.77'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	470.00'	24°02'11"	197.17'	S58°38'28"E	195.73'
C2	530.00'	23°55'35"	221.33'	S58°41'46"E	219.72'
C3	935.00'	19°15'58"	314.40'	S52°54'01"W	312.92'
C4	865.00'	19°16'17"	290.94'	S52°53'51"W	289.57'
C5	865.00'	19°25'02"	293.15'	S33°33'12"W	291.74'
C6	935.00'	19°25'22"	316.95'	S33°33'21"W	315.44'
C7	865.00'	19°25'22"	293.23'	N33°33'21"E	291.82'
C8	935.00'	19°25'02"	316.87'	N33°33'12"E	315.35'
C9	935.00'	19°16'17"	314.49'	N52°53'51"E	313.01'
C10	865.00'	19°15'58"	290.86'	N52°54'01"E	289.49'
C11	470.00'	23°55'35"	196.27'	N58°41'46"W	194.85'
C12	530.00'	24°02'11"	222.34'	N58°38'28"W	220.72'
C13	1011.00'	7°08'27"	126.00'	N43°03'01"W	125.92'
C14	970.00'	7°08'26"	120.89'	N43°03'01"W	120.81'
C15	951.00'	7°08'27"	118.52'	S43°03'01"E	118.45'
C16	25.00'	90°00'00"	39.27'	N01°43'58"W	35.36'
C17	25.00'	90°00'00"	39.27'	N88°16'02"E	35.36'

THE STATE OF TEXAS
COUNTY OF HAYS

THAT I, JOE BEN EARLY, JR., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH ORDINANCE NO. 439 OF THE CITY CODE OF KYLE AND THAT ALL PLOTTABLE EASEMENTS OF RECORD ARE SHOWN HEREON, BASED UPON TITLE COMMITMENT G.F. NO. 21-3054-CH EFFECTIVE DATE: 11/3/21 AS PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

JOE BEN EARLY, JR., R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6016
EARLY LAND SURVEYING, LLC
P.O. BOX 92588
AUSTIN, TX 78709
512-202-8631
FIRM NO. 10194487

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THE STATE OF TEXAS
COUNTY OF HAYS

I, BENJAMIN L. GREEN, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF THE CITY CODE OF KYLE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

BENJAMIN L. GREEN, P.E.
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS NO. _____
KIMLEY-HORN
2600 VIA FORTUNA, STE 300
AUSTIN, TX 78746
512-646-2243
FIRM NO. _____

PROJECT NO.:
1006-019
DRAWING NO.:
1006-019-PL1
PLOT DATE:
1/10/22
PLOT SCALE:
1" = 100'
DRAWN BY:
MAW & JBE
SHEET
4 OF 5

EARLY
LAND SURVEYING
A LIMITED LIABILITY COMPANY

P.O. BOX 92588
AUSTIN, TX 78709
512-202-8631
TBPELS FIRM NO. 10194487

HAYS COUNTY, PART 2 - 0.315 ACRES (4881/161)
COUNTY OF HAYS, TEXAS 0.640 ACRES (1649/83)
YARRINGTON ROAD
(PUBLIC R.O.W. WIDTH VARIES)
(1649/83) (4881/161) (5090/263)

YARRINGTON ROAD
(PUBLIC R.O.W. WIDTH VARIES)
(1649/83) (4881/161) (5090/263)

F.M. 158 LAND, LTD.
468.288 ACRES
(2702/613)
(2703/666)

POSSESSION AND USE AGREEMENT
(20060523)
PROPOSED F.M. 110
RIGHT-OF-WAY

YARRINGTON INDUSTRIAL SUBDIVISION

STATE OF TEXAS
COUNTY OF HAYS
KNOW ALL MEN BY THE PRESENTS:

THAT, YARRINGTON LOGISTICS OWNER, LP, OWNER OF ALL OF A 110.923 ACRE TRACT RECORDED IN DOCUMENT NO. 21067404 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE SAID 110.923 ACRES IN THE JAMES W. WILLIAMS SURVEY NO. 11, ABSTRACT NO. 473 IN HAYS COUNTY, TEXAS, IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS:

YARRINGTON INDUSTRIAL SUBDIVISION

SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE PUBLIC USE OF THE STREETS AND EASEMENTS SHOWN OR NOTED HEREON.

WITNESS MY HAND THIS ____ DAY OF _____, 20____.

BY:-----
ITS:-----

YARRINGTON LOGISTICS OWNER, LP
820 GESSNER ROAD STE 1000
HOUSTON, TX 77024

STATE OF TEXAS:
COUNTY OF HAYS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY

PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES ON:

METES AND BOUNDS DESCRIPTION:

A DESCRIPTION OF 110.923 ACRES (APPROXIMATELY 4,831,825 SQ. FT.) IN THE JAMES W. WILLIAMS SURVEY NO. 11, ABSTRACT NO. 473, BEING ALL OF A 110.923 ACRE TRACT DESCRIBED IN DOCUMENT NO. 21067404 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; SAID 110.923 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2" rebar found in the east right-of-way line of Interstate Highway 35 (public right-of-way width varies), being the westernmost southwest corner of the said 110.923 acre tract, being the northernmost corner of a 132.101 acre tract described in Volume 2702, Page 613 and Volume 2703, Page 666 of the Deed Records of Hays County, Texas;

THENCE North 11°35'39" East with the east right-of-way line of Interstate Highway 35, and the west line of the said 110.923 acre tract, a distance of 129.57 feet to a 1/2" rebar found for a corner of the said 110.923 acre tract, being the westernmost corner of a 19.50 acre tract described in Volume 3949, Page 613 of the Deed Records of Hays County, Texas, from which a 1/2" rebar found in the east right-of-way line of Interstate Highway 35 and the west line of the said 19.50 acre tract, bears North 10°49'23" East, a distance of 31.31 feet;

THENCE with the common line of the said 110.923 acre tract and the said 19.50 acre tract, the following two (2) courses and distances:
1. South 46°37'14" East, a distance of 887.96 feet to a 1/2" rebar found for a corner of the 110.923 acre tract, being the southernmost corner of the said 19.50 acre tract;
2. North 43°16'17" East, a distance of 750.12 feet to a 1/2" rebar found for a corner of the 110.923 acre tract, being the easternmost corner of the said 19.50 acre tract, being also the southernmost corner of Lot 5, Edwards Business Park, a subdivision of record in Volume 9, Page 197 of the Plat Records of Hays County, Texas;

THENCE North 43°16'17" East with a northwest line of the said 110.923 acre tract, being the southeast line of said Lot 5, a distance of 307.91 feet to a 1/2" rebar found for a corner of the said 110.923 acre tract, being the easternmost corner of said Lot 5;

THENCE North 46°41'04" West with a southwest line of the said 110.923 acre tract, being the northeast line of Lots 1-5 of said Edwards Business Park, a distance of 1587.84 feet to a 1/2" rebar found in the east right-of-way line of Interstate Highway 35, being a western corner of the said 110.923 acre tract, being also the northernmost corner of said Lot 1;

THENCE North 12°27'06" East with the east right-of-way line of Interstate Highway 35 and a west line of the said 110.923 acre tract, a distance of 24.04 feet to an aluminum fence post found for the northernmost corner of the said 110.923 acre tract, from which the remnants of a concrete highway monument found in the east right-of-way line of Interstate Highway 35, bears North 09°36'48" East, a distance of 464.74 feet;

THENCE with the perimeter of the said 110.923 acre tract, the following three (3) courses and distances:
1. South 46°43'04" East, a distance of 857.87 feet to a 4" cedar fence post found;
2. South 46°36'40" East, a distance of 888.49 feet to a 1" iron pipe found;
3. North 43°17'48" East, a distance of 961.51 feet to a 60d nail with "Bryn" washer in a post found for a northern corner of the said 110.923 acre tract, being in the southwest line of Lot 22, of Quail Ridge Subdivision, a subdivision of record in Volume 2, Page 337 of the Plat Records of Hays County, Texas;

THENCE South 46°37'35" East with the northeast line of the said 110.923 acre tract, being the southwest line of Lots 22-41 of said Quail Ridge Subdivision, passing a 1/2" rebar found for the southernmost corner of said Lot 27 and the westernmost corner of said Lot 28 at a distance of 565.10 feet and continuing for a total distance of 2007.19 feet to a 1/2" iron pipe found for the easternmost corner of the said 110.923 acre tract, being the southernmost corner of Lot 41 of said Quail Ridge Subdivision, being also in the northwest line of a 468.288 acre tract described in Volume 2702, Page 613 of the Deed Records of Hays County, Texas;

THENCE with the southeast line of the said 110.923 acre tract and the northwest line of the said 468.288 acre tract, the following two (2) courses and distances:
1. South 43°22'08" West, a distance of 981.92 feet to a 5/8" rebar found, being the easternmost corner of the said 132.101 acre tract;
2. South 43°16'02" West, a distance of 3133.05 feet to a 1/2" rebar with "SAM" cap found for an angle point in the northeast right-of-way line of Yarrington Road (public right-of-way width varies) as described in Volume 1649, Page 83, Volume 4881, Page 161 and Volume 5090, Page 263, all of the Deed Records of Hays County, Texas, being in the southeast line of the said 110.923 acre tract, being also in the northwest line of the said 468.288 acre tract;

THENCE North 46°24'02" West with the northeast right-of-way line of Yarrington Road and a southwest line of the said 110.923 acre tract, crossing the said 132.101 acre tract, a distance of 70.00 feet to a 1/2" rebar with "Early Boundary" cap set;

THENCE with a northwest line of the said 110.923 acre tract and crossing the said 132.101 acre tract, the following ten (10) courses and distances:
1. North 43°16'02" East, a distance of 144.02 feet to a 1/2" rebar with "Early Boundary" cap set;
2. With a curve to the left, having a radius of 865.00 feet, a delta angle of 19°25'22", an arc length of 293.23 feet, and a chord which bears North 33°33'21" East, a distance of 291.82 feet to a 1/2" rebar with "Early Boundary" cap set;
3. North 23°50'40" East, a distance of 8.60 feet to a 1/2" rebar with "Early Boundary" cap set;
4. With a curve to the right, having a radius of 935.00 feet, a delta angle of 19°25'02", an arc length of 316.87 feet, and a chord which bears North 33°33'12" East, a distance of 315.35 feet to a 1/2" rebar with "Early Boundary" cap set;
5. North 43°15'43" East, a distance of 147.20 feet to a 1/2" rebar with "Early Boundary" cap set;
6. With a curve to the right, having a radius of 935.00 feet, a delta angle of 19°16'17", an arc length of 314.49 feet, and a chord which bears North 52°53'51" East, a distance of 313.01 feet to a 1/2" rebar with "Early Boundary" cap set;
7. North 62°32'00" East, a distance of 13.64 feet to a 1/2" rebar with "Early Boundary" cap set;
8. With a curve to the left, having a radius of 865.00 feet, a delta angle of 19°15'58", an arc length of 290.86 feet, and a chord which bears North 52°54'01" East, a distance of 289.49 feet to a 1/2" rebar with "Early Boundary" cap set;
9. North 43°16'02" East, a distance of 460.09 feet to a 1/2" rebar with "Early Boundary" cap set for a corner of the said 110.923 acre tract;
10. North 46°37'22" West, a distance of 714.12 feet to a 1/2" rebar in concrete found;

THENCE North 46°37'22" West, with a southwest line of the said 110.923 acre tract, being a northeast line of the said 132.101 acre tract, a distance of 2188.03 feet to the POINT OF BEGINNING, containing 110.923 acres of land, more or less.

PLAT NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY LIMITS OF THE CITY OF KYLE.
2. EDWARDS AQUIFER NOTE: THIS SUBDIVISION DOES NOT LIE WITH IN THE BOUNDARIES OF THE RECHARGE ZONE OR THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER.
3. HAZARD NOTE: NO PORTION OF THIS SUBDIVISION IS WITHIN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FEDERAL FLOOD ADMINISTRATION FIRM PANEL NOS. 48209C0385F AND 48209C0405F, DATED SEPTEMBER 2, 2005, FOR HAYS COUNTY, TEXAS.
4. PLAT INFORMATION:
TOTAL AREA NUMBER OF LOTS = 4
NUMBER OF LOTS 10 ACRES OR LARGER = 1
NUMBER OF LOTS 5 ACRES TO 10 ACRES = 0
NUMBER OF LOTS 2 ACRES TO 5 ACRES = 0
NUMBER OF LOTS 1 ACRE TO 2 ACRES = 2
NUMBER OF LOTS 1 ACRE OR SMALLER = 1
5. UTILITY INFORMATION
WATER: CITY OF KYLE
SEWER: CITY OF KYLE
ELECTRICITY: PEDERNALES ELECTRIC COOPERATIVE, INC.
TELEPHONE: FRONTIER COMMUNICATIONS, AT&T, AND/OR SPECTRUM
6. THIS SUBDIVISION IS LOCATED IN THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT.
7. OBSTRUCTIONS ARE PROHIBITED IN DRAINAGE EASEMENTS.
8. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF _____. THESE SIDEWALKS SHALL BE IN PLACE ONCE THE ADJOINING ROADWAYS ARE IMPROVED TO CURB AND GUTTER STATUS. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ORE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED.
9. BY THIS PLAT, THERE IS HEREBY ESTABLISHED A TEN FEET (10') WIDE PEC UTILITY EASEMENT ON ALL EXISTING ELECTRIC FACILITIES.
10. DRIVEWAYS SHALL COMPLY WITH CHAPTER 712 OF HAYS COUNTY DEVELOPMENT REGULATIONS, AND BE PERMITTED THROUGH THE TRANSPORTATION DEPARTMENT OF HAYS COUNTY UNDER CHAPTER 751.
11. ALL CULVERTS, WHEN REQUIRED SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARD, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 705, SUBCHAPTER 8.03.
12. MAIL BOXES PLACED WITHIN ROW SHALL BE OF ON APPROVED TXDOT OR FHWA DESIGN, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUB CHAPTER 2.01.
13. CONTACT HAYS COUNTY DEVELOPMENT SERVICES FOR FINISH FLOOR ELEVATIONS BEFORE BUILDING ON EACH LOT.
14. THIS SUBDIVISION IS LOCATED WITHIN THE HAYS COUNTY ESD NO. 5.
15. SIDEWALKS WILL BE MAINTAINED BY THE ADJOINING LOT OWNER.
16. MAINTENANCE OF EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY AND/OR HOME OWNERS ASSOCIATIONS.
17. PERMANENT AND STABLE MONUMENTATION WAS FOUND OR SET FOR ALL CORNERS ON THE OUTER BOUNDARY OF THIS PLAT. UPON COMPLETION OF UTILITY INSTALLATIONS AND STREET CONSTRUCTION OR AS THE CITY ENGINEER MAY REQUIRE, PROPERTY CORNERS WILL BE SET WITH 1/2" IRON PIN WITH PLASTIC STAMPED CAP WHERE PRACTICAL. OTHERWISE A MONUMENT THAT IS PERMANENT AND STABLE WILL BE USED.
18. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOTS IN THIS SUBDIVISION, SITE DEVELOPMENT PERMITS AND BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF KYLE.
19. NO PORTION OF THIS PROPERTY IS WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
20. A 15-FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET ROW, A 5-FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL SIDE LOT LINES AND A 10-FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL REAR LOT LINES.

REVIEWED BY: _____
LEON BARBA, CITY ENGINEER DATE

HARPER WILDER, DIR. OF PUBLIC WORKS DATE

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE, TEXAS, AND IS HEREBY APPROVED BY THE PLANNING AND ZONING COMMISSION. DATED THIS _____ DAY OF _____, 20____.

PLANNING & ZONING COMMISSION CHAIRPERSON

STATE OF TEXAS:
COUNTY OF HAYS:

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE

_____ DAY OF _____, A.D. 20____, AT _____ O'CLOCK _____M., IN

THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN INSTRUMENT NUMBER _____.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, A.D. 20____.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

EARLY
LAND SURVEYING
A LIMITED LIABILITY COMPANY

P.O. BOX 92588
AUSTIN, TX 78709
512-202-8631
TBPELS FIRM NO. 10194487

PROJECT NO.:
1006-019
DRAWING NO.:
1006-019-PL1
PLOT DATE:
1/10/22
PLOT SCALE:
1" = 100'
DRAWN BY:
MAW & JBE

SHEET
5 OF 5



CITY OF KYLE, TEXAS

CSW KC II, LLC. - Zoning (Z-21-0089)

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Consider a request to rezone approximately 8.32 acres of land from Retail Service District 'RS' to Mixed-Use Development 'MXD' for property located at Kyle Marketplace Sec. 2 Lot A & 19.48 acres of land from Retail Service District 'RS' to Mixed-Use District 'MXD' for property located at Kyle Marketplace Sec. 2 Block F, in Hays County, Texas. (CSW KC II, LLC. - Z-21-0089)

- Public Hearing
- Recommendation to City Council

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

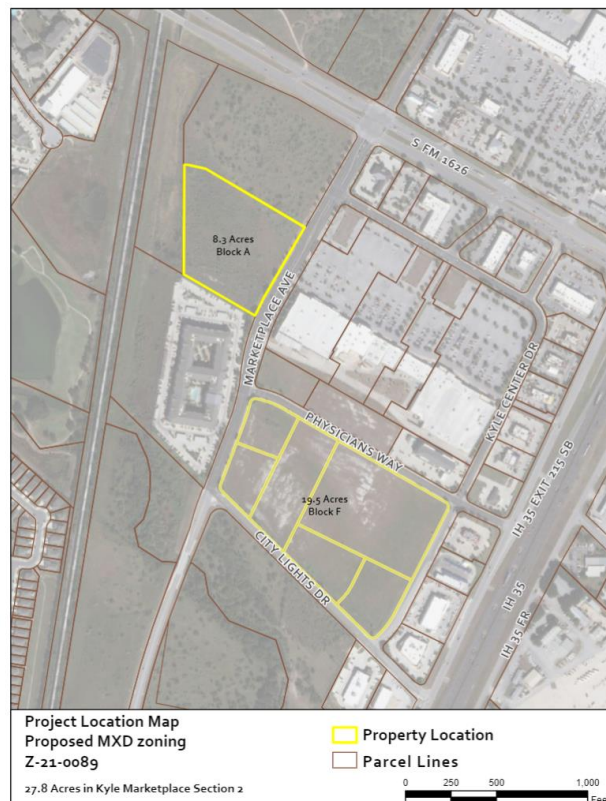
ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Summary Letter
- ☐ Deed
- ☐ Landowner Authorization Letter
- ☐ Franchise Tax Account Status
- ☐ Letter in favor of request

Property Location	West of Marketplace Avenue & South of Physician's Way
Owner	CSW KC II, LLC 1703 W. 5 th St., Ste. 850 Austin, TX 78703
Agent	Travis Sawvell Executive Vice President JLL 1703 W. 5 th St., Ste. 850 Austin, TX 78703
Request	Rezone Approximately 8.32 Acres From Retail Service District 'RS' to Mixed-Use Development 'MXD' & 19.48 acres of land from Retail Service District 'RS' to Mixed-Use District 'MXD'

Vicinity Map



Site Description

The site proposed to be rezoned, are two undeveloped areas created as part of the Kyle Marketplace Section 2 commercial development (i.e. Target shopping center). The total area requesting to be rezoned is approximately 27.8-acres, which 19.5-acres encompassing the block behind Target & Kohls, and the 8.3-acres west and adjacent to Marketplace Avenue, just north of the Oaks of Marketplace apartments (R-3-3) and west of Kohl's.



Existing Zoning

RS (Retail Services)

Sec. 53-480. – Permitted Uses

This district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety,

department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in [section 53-1230](#).

(Ord. No. 438, § 45(a), 11-24-2003)

Requested Zoning

PUD MXD (Planned Unit Development, Mixed-Use

Sec. 53-674. - Purpose and findings.

The mixed-use district (MXD) is generally intended to further and promote the tenants of the cities' master plans and comprehensive plan. The district is a commercial zoning classification that requires a vertical mix of commercial and residential uses within the same building(s) on multiple floors. The district is intended to accommodate a physical pattern of development often found in high traffic activity areas, along major streets and especially at intersections of major thoroughfares, and in neighborhood commercial areas of older cities. The district, where appropriately located, will accommodate mixed-use buildings with activity center retail, service, and other commercial uses on the ground and lower floor(s), and residential units above those nonresidential space(s); as well as encourage development that exhibits the physical design characteristics of pedestrian-oriented, store front-style shopping; and promote the health and well-being of residents by encouraging physical activity and greater social interaction.

([Ord. No. 978](#), § 2(Exh. A), 11-21-2017)

Conditions of the Zoning Ordinance

Sec. 53-1205 Amendments

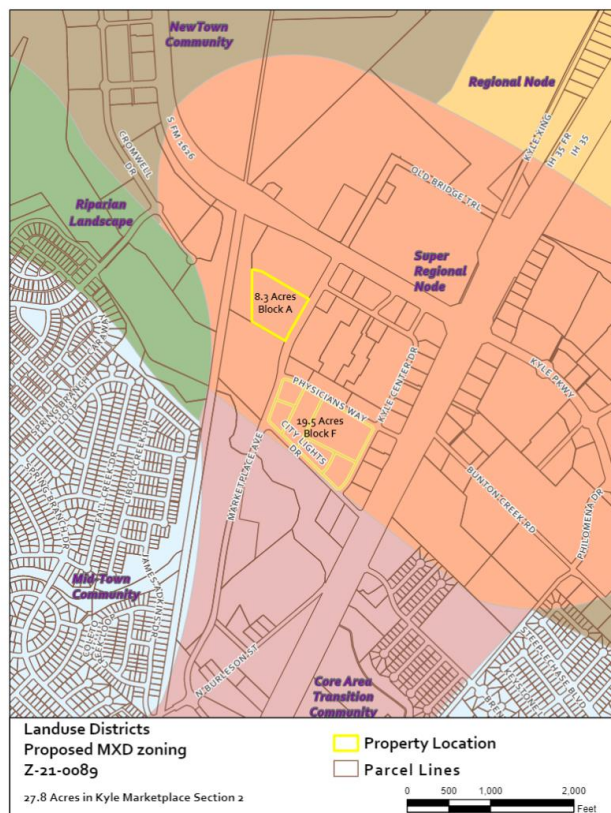
(d)

Referral of amendment to planning and zoning commission. Upon its own motion, a request by the planning and zoning commission, or the receipt of an

administratively complete petition and application to zone or rezone a lot, tract or parcel of land, which petition and application has been examined and approved as to form by the city manager, shall be referred to the planning and zoning commission for consideration, public hearing, and recommendation to the city council. The council may not enact a rezoning amendment until the planning and zoning commission has held a public hearing and made its recommendation to the city council, or has made a final vote on the matter without obtaining a majority, on the zoning or rezoning of the property.

(e)

Action by the planning and zoning commission. The planning and zoning commission shall cause such study and review to be made as advisable and required, shall give public notice and hold a public hearing as provided by state law, and shall recommend to the council such action as the planning and zoning commission deems proper...



Comprehensive Plan Text

The subject site is located within the “Super Regional Node” district. The “MXD” zoning district is a recommended district in both the “Super Regional Node” district.

Super Regional Node

Recommended: E, HS, R-3-2, R-3-3, R/S, **MXD**, O/I

Conditional: ----

‘Character’: The Super Regional Node should contain large-scale institutional, commercial, retail, and where appropriate, high density multifamily land uses to create the highest classification activity center in Kyle. The Seton Medical Center should serve as the key distinguishing employment component, serving as the primary institutional use in the district upon which support enterprises can base their business locations. The Super Regional Node is in the early stages of development, and care should be taken to ensure that as development processes, it is in keeping with the character and intent outlined below for this Node. Seton Hospital serves as a regional attractor and, in large part, alongside destination retail and business services, defines the Super Regional Node. Associated health providers and goods and service providers should be attracted to this area and encouraged to create a diverse commercial and employment center. The aggregation of commercial square footage in this Node creates a significant commercial destination that will be visible to regional travelers along the I-35 corridor. This proximity to highway infrastructure results in the rare instance of a district primarily designed to be automobile oriented, with patrons arriving and inter-locating primarily by car. The commercial focus of this Node should be on acting as an economic activity center, generating much needed real estate, sales and hotel occupancy tax revenue for the city while fulfilling the retail and service needs of patrons from a targeted distance of no less than 10-15 mile away. Additionally, ancillary entertainment uses, such as movie theaters or bowling alleys, may be appropriate in this Node. This Node should serve as a destination for Kyle, attracting people due to the hospital and/or commercial offerings, and encouraging them to extend their stay due to unique and diverse uses and connections to other areas of Kyle.

‘Intent’: The purpose of the Super Regional Node is to capture employment opportunities and create a commercial destination within Kyle. Situated at the intersection of I-35 and Texas State Highway 1626, these high classification roadways are best suited to bring in out-of-region patrons with the least impact to Kyle’s local street network. This Node should take advantage of the medical center and of I-35

traffic to increase Kyle's competitiveness in the surrounding region. Existing employment opportunities should be referenced when targeting complimentary commercial uses and opportunities for increased value capture. Due to the concentration and diversity of uses in this Node, appropriate land use transitions to adjacent Communities is critical. The anchor of the Super Regional Node should be employment and they daytime population created by those positions, and the Super Regional Node should have the highest level of development intensity of all Nodes.

Analysis

The subject property is located on approximately 27.8-acres and zoned "RS" (Retail Services). This site is currently undeveloped, and within the "Super Regional Node" land use district. Both blocks are platted lots in the Kyle Marketplace Section 2 subdivision, with Marketplace Avenue being the primary north/side divider. The 8.3-acre section will be subdivided out of the total 19.2 acre parcel, and the 19.5-acre tract behind Target will be replatted to account for future development on the block.

The Super Regional Node is the land use district associated with the 27.8-acres. The Super Regional Node is the area of town that is expected to be the highest density and have the highest intensity of uses in Kyle. Its Super Regional status is intentionally designed to draw citizens from all over Central Texas. Large scale businesses such as Seton Hospital, HEB Plus, Target, etc. reflect the intent of the area. The MXD zoning district is recommended in this land use district, and high density, vertical mixed use development is also required with the MXD zoning district.

The MXD zoning district is one that requires all buildings to be designed as vertical mixed use (ground floor commercial with multifamily units on the second floor and above. The buildings are required to be built within a certain distance to the street, activated the street network, for pedestrians to patronize said businesses. Street parking is required, with street trees, wider sidewalks and associated ancillary improvements to better account for the pedestrian area. Parking for the apartments is internal to the site (behind the buildings).

The existing street network creates a functional classification for the project, and mirrors traditional lot & block patterns to create a higher density, urban pattern. Water and wastewater will adequately serve the site, and stormwater controls are in place with the existing improvements.

Recommendation

The site has sufficient utilities, road infrastructure, and supports the Comprehensive Plan. Staff supports the request and asks the Planning & Zoning Commission to provide a recommendation vote in support of the zoning request.



9/23/2021

Re: Update to Owner's Summary Request Letter dated September 2, 2021 for the Rezone of CSW KC II, LLC

To whom it may concern,

CSW KC II, LLC (CSW) submitted for the rezoning of Kyle Marketplace Section 2, Lot 1, 1B, 1C, 2, 3, & 4, consisting of 19.4861 acres on September 2, 2021. CSW will need to update this application to include an additional 8.32 acres from Lot 2 of Block "A" of Kyle Marketplace Section 2. CSW intends to replat Lot 2 of Block "A", and the 8.32 acres as shown in **Exhibit A** will be a separate parcel. The current tract belongs to parent parcel R130277 of Hays County Appraisal District's property ID.

In addition, the original application was a request for use change from RS to R-3-3. CSW is requesting this application to be updated to read the use change from RS to MXD.

The revised rezone request application now totals 27.8061 acres request for the land to be rezoned to allow multi-family mixed use development (MXD).

Sincerely,

A handwritten signature in blue ink, appearing to be "KH", with a long horizontal stroke extending to the right.

Kevin Hunter
Manager of CSW KC II, LLC
khunter@cswdevelopment.com
512-861-3545

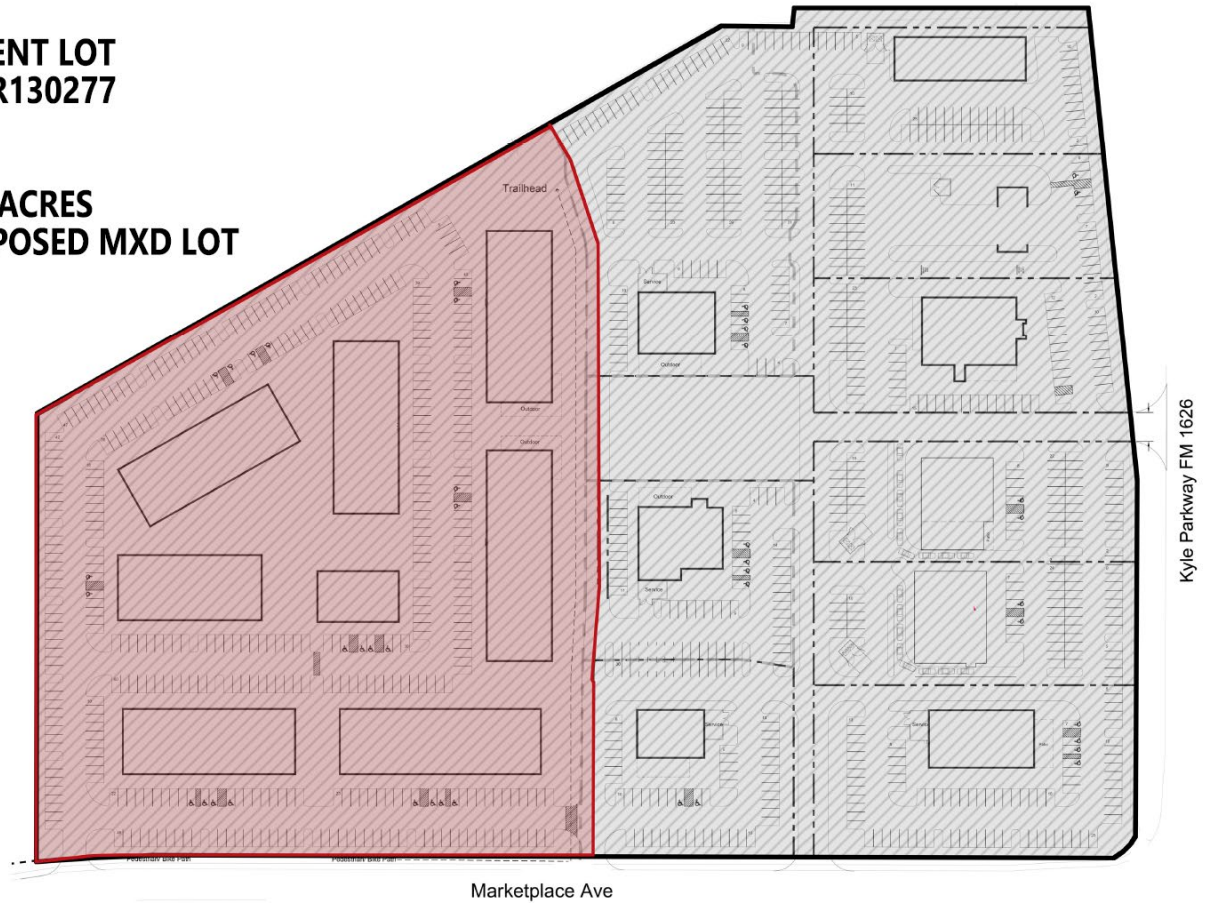
EXHIBIT A



**PARENT LOT
PID R130277**



**8.32 ACRES
PROPOSED MXD LOT**



NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

SPECIAL WARRANTY DEED
(County of Hays, State of Texas)

As of this 31st day of August, 2021, **DDR DB KYLE LP**, a Texas limited partnership ("**Grantor**"), whose address is 3300 Enterprise Parkway, Beachwood, Ohio 44122, hereby GRANTS, BARGAINS, SELLS and CONVEYS to **CSW KC II, LLC**, a Texas limited liability company ("**Grantee**"), whose address is 1703 W. 5th Street, Suite 850, Austin, Texas 78703 Attn: Robert O'Farrell, for the sum of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration, all that certain tract of land situated in Hays County, Texas, more particularly described on **Exhibit A** attached hereto and made a part hereof, together with all appurtenances thereon or in anywise appertaining thereto and all buildings, structures, fixtures, and other improvements located thereon, if any (said land, appurtenances, and improvements being hereinafter referred to, collectively, as the "**Property**").

The above-described property is conveyed subject to those matters more particularly described in **Exhibit B** attached hereto and made a part hereof for all purposes (collectively, the "**Permitted Exceptions**").

TO HAVE AND TO HOLD the Property, with all and singular the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining, unto Grantee and Grantee's successors and assigns, forever; Grantor hereby covenanting that (i) the Property is free and clear from any encumbrance done or suffered by Grantor, except for the Permitted Exceptions, and (ii) Grantor will warrant and defend the title to the Property unto Grantee and Grantee's successors and assigns forever against the lawful claims and demands of all persons claiming or to claim the same, by, through or under Grantor, except for the Permitted Exceptions.

BY ACCEPTANCE OF THIS DEED, Grantee, on behalf of itself and all future owners and occupants of the Property, hereby waives and releases Grantor from any claims arising out of the environmental condition of the Property and all claims under any applicable federal, state or local laws ("**Environmental Laws**"). The term "Environmental Laws" include, without

limitation, the Comprehensive Environmental Response, Compensation and Liability Act ("**CERCLA**"), 42 U.S.C. § 9601 et seq. and the Resource Conservation and Recovery Act ("**RCRA**"), 42 U.S.C. § 6901 et seq., as amended from time to time; and any similar federal, state and local laws and ordinances and the regulations and rules implementing such statutes, laws and ordinances. The foregoing waiver and release shall be binding upon all future owners and occupants of the Property.


*[Remainder of this page intentionally left blank;
signature and acknowledgment on the following page.]*

IN WITNESS WHEREOF, Grantor has caused this Deed to be executed effective as of the day and year first above written.

GRANTOR:

DDR DB KYLE LP,
a Texas limited partnership

By: DDR Kyle Holdings LLC,
a Delaware limited liability company,
Its: General Partner

By: 
Print: John M Cattonar
Title: Authorized Officer

STATE OF New York §
§ ss:
COUNTY OF Putnam §

BEFORE ME, a Notary Public in and for said County and State, personally appeared John M Cattonar, the Authorized Officer of DDR Kyle Holdings LLC, the general partner of DDR DB KYLE LP, a Texas limited partnership, personally known to me, who acknowledged that he did execute the foregoing instrument on behalf of DDR Kyle Holdings LLC, as the general partner of DDR DB KYLE LP, who acknowledged that: (i) he did sign the foregoing instrument for and on behalf of said limited partnership, being thereunto duly authorized; (ii) he understands the document and the consequences of executing the document by signing it; and (iii) the same is his free act and deed individually and in his capacity indicated above, and the free act and deed of the limited partnership.

This is an acknowledgment certificate; no oath or affirmation was administered to the signer with regard to this notarial act.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal this ____ day of August, 2021.

GARY HART
Notary Public, State of New York
No. 01HA508824
Qualified in Nassau County
Commission Expires November 17, 2021


Notary Public

Name: GARY HART

My commission expires: 11/17/2021

[Signature Page to Special Warranty Deed]

This Document was Prepared By:

DDR DB KYLE LP
c/o SITE Centers Corp.
3300 Enterprise Parkway
Beachwood, Ohio 44122
Attn: Legal Department
(216) 755-5500

After Recording, Mail To:

CSW KC II, LLC
1703 W. 5th Street, Suite 850
Austin, Texas 78703
Attn: Robert O'Farrell

Send Subsequent Tax Bills To:

CSW KC II, LLC
1703 W. 5th Street, Suite 850
Austin, Texas 78703
Attn: Robert O'Farrell

EXHIBIT A TO DEEDLegal Description

TRACT 1:

LOT 1, BLOCK A, KYLE MARKETPLACE SECTION 2, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 14, PAGES 330-333, PLAT RECORDS OF HAYS COUNTY, TEXAS. (6.0119 ACRES)

For Information Purposes Only:
APN: R130276

TRACT 2:

LOT 2, BLOCK A, KYLE MARKETPLACE SECTION 2, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 14, PAGES 330-333, PLAT RECORDS OF HAYS COUNTY, TEXAS. (19.1216 ACRES)

For Information Purposes Only:
APN: R130277

TRACT 3:

LOT 7, BLOCK G, KYLE MARKETPLACE SECTION 2, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 14, PAGES 330-333, PLAT RECORDS OF HAYS COUNTY, TEXAS. (1.3905 ACRES)

For Information Purposes Only:
APN: R130305

TRACT 4:

LOT 6A, BLOCK G, KYLE MARKETPLACE SECTION 2, REPLAT OF LOTS 5 AND 6, BLOCK G, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 19, PAGES 36-37, PLAT RECORDS OF HAYS COUNTY, TEXAS. (2.17 ACRES)

For Information Purposes Only:
APN: R146392

TRACT 5:

LOT 1B, BLOCK F, KYLE MARKETPLACE SECTION 2 AMENDING PLAT OF THE REPLAT OF LOTS 1, 2, 3 & 4, BLOCK F, A SUBDIVISION IN HAYS COUNTY, TEXAS, AMENDED PLAT OF LOTS 1, 2, 3 AND 4, BLOCK F, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 17, PAGE 200, PLAT RECORDS OF HAYS COUNTY, TEXAS. (1.5938 ACRES)

For Information Purposes Only:
APN: R131692

TRACT 6:

LOT 1C, BLOCK F, KYLE MARKETPLACE SECTION 2, AMENDING PLAT OF THE REPLAT OF LOTS 1, 2, 3 & 4, BLOCK F, A SUBDIVISION IN HAYS COUNTY, TEXAS, AMENDED PLAT OF LOTS 1, 2, 3 AND 4, BLOCK F, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 17, PAGE 200, PLAT RECORDS OF HAYS COUNTY, TEXAS. (1.6839 ACRES)

For Information Purposes Only:
APN: R131693

TRACT 7:

LOT 1, BLOCK F, KYLE MARKETPLACE SECTION 2, AMENDING PLAT OF THE REPLAT OF LOTS 1, 2, 3 & 4, BLOCK

F, A SUBDIVISION IN HAYS COUNTY, TEXAS, AMENDED PLAT OF LOTS 1, 2, 3 AND 4, BLOCK F, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 17, PAGE 200, PLAT RECORDS OF HAYS COUNTY, TEXAS. (3.7667 ACRES)

For Information Purposes Only:
APN: R130295

TRACT 8:

LOT 2, BLOCK F, KYLE MARKETPLACE SECTION 2, AMENDING PLAT OF THE REPLAT OF LOTS 1, 2, 3 & 4, BLOCK F, A SUBDIVISION IN HAYS COUNTY, TEXAS, AMENDED PLAT OF LOTS 1, 2, 3 AND 4, BLOCK F, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 17, PAGE 200, PLAT RECORDS OF HAYS COUNTY, TEXAS. (7.9054 ACRES)

For Information Purposes Only:
APN: R130296

TRACT 9:

LOT 3, BLOCK F, KYLE MARKETPLACE SECTION 2, AMENDING PLAT OF THE REPLAT OF LOTS 1, 2, 3 & 4, BLOCK F, A SUBDIVISION IN HAYS COUNTY, TEXAS, AMENDED PLAT OF LOTS 1, 2, 3 AND 4, BLOCK F, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 17, PAGE 200, PLAT RECORDS OF HAYS COUNTY, TEXAS. (2.2861 ACRES)

For Information Purposes Only:
APN: R130297

TRACT 10:

LOT 4, BLOCK F, KYLE MARKETPLACE SECTION 2, AMENDING PLAT OF THE REPLAT OF LOTS 1, 2, 3 & 4, BLOCK F, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 17, PAGE 200, PLAT RECORDS OF HAYS COUNTY, TEXAS. (2.2501 ACRES)

For Information Purposes Only:
APN: R130298

EXHIBIT B TO DEEDPermitted Exceptions

1. Real estate taxes and assessments, both general and special, for the year 2021 and subsequent years, which are not yet due and payable.
2. Applicable zoning and building ordinances.
3. Those matters disclosed by that certain ALTA/NSPS Land Title Survey, dated April 24, 2019, last revised _____, prepared by Brad Wells (Land Surveyor No. 5499) of Blew & Associates, P.A., Network Reference No. 20190495-001.
4. Declarations, conditions, covenants, restrictions, easements, rights of way and other matters of record, including without limitation, those items shown on the subdivision plat of the Property, and the following exceptions:
 - a. Any and all easements, building lines, and conditions, covenants, and restrictions as set forth in plat recorded under Volume 14, Page(s) 330-333, Plat Records of Hays County, Texas; Volume 17, Page 200, Plat Records of Hays County, Texas; and Volume 19, Page(s) 36-37, Plat Records of Hays County, Texas.
 - b. Ingress, Egress and Parking Easements granted in favor of McDonald's USA, LLC, as evidenced and disclosed by that Memorandum of Lease Agreement recorded August 12, 2009, under Instrument No. 2009-90021310 (Volume 3714, Page 91), Official Public Records of Hays County, Texas; as affected by that Assignment and Assumption recorded under Instrument No. 2010-10014355 (Volume 3894, Page 291), Official Public Records of Hays County, Texas.
 - c. Utility Easement granted in favor of Pedernales Electric Cooperative, Inc. recorded July 14, 2008, under Instrument No. 2008-80019031 (Volume 3429, Page 595), Official Public Records of Hays County, Texas.
 - d. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Declaration of Slope Easement and Restriction Agreement recorded October 3, 2005, under Instrument No. 2005- 05028861 (Volume 2779, Page 688), Official Public Records of Hays County, Texas.
 - e. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Development Agreement recorded June 29, 2007, under Instrument No. 2007-70018935 (Volume 3197, Page 426), Official Public Records of Hays County, Texas; as affected by that Indemnification Agreement recorded under Instrument No. 18019344, Official Public Records of Hays County, Texas; and as further affected by that Assignment and Assumption of Indemnification Agreement recorded under Instrument No. 18044402, Official Public Records of Hays County, Texas.

- f. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Declaration of Drainage and Access Easements, Covenants and Conditions recorded April 17, 2008, under Instrument No. 2008-80010148 (Volume 3369, Page 798), Official Public Records of Hays County, Texas; as affected by that First Amendment recorded under Instrument No. 2016-16016117, Official Public Records of Hays County, Texas; and as affected by that Second Amendment recorded under Instrument No. 18043798, Official Public Records of Hays County, Texas.
- g. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Operation and Easement Agreement recorded April 17, 2008, under Instrument No. 2008-80010151 (Volume 3370, Page 1), Official Public Records of Hays County, Texas; as affected by that Amended and Restated Operation and Easement Agreement recorded under Instrument No. 2008-80031597 (Volume 3507, Page 282), Official Public Records of Hays County, Texas; as affected by that Memorandum of Developer Acquisition Rights Agreement recorded under Instrument No. 2008-80031599 (Volume 3507, Page 391), Official Public Records of Hays County, Texas; As affected by that First, Second and Third Amendment to Amended and Restated Operation and Easement Agreement recorded under Instrument No. 2009-90002321 (Volume 3580, Page 484), Instrument No. 2009-90022603 (Volume 3722, Page 436), and Instrument No. 2012-12015941 (Volume 4363, Page 405), Official Public Records of Hays County, Texas; as affected by that Agreement recorded under Instrument No. 18044403, Official Public Records of Hays County, Texas.
- h. Terms, conditions and stipulations set forth in that Economic Development Agreement and City of Kyle License Agreement recorded October 22, 2008, under Instrument No. 2008-80031656 (Volume 3507, Page 797) and Instrument No. 2008-80031657 (Volume 3507, Page 827), Official Public Records of Hays County, Texas; as affected by that Indemnification Agreement recorded under Instrument No. 18019344, Official Public Records of Hays County, Texas; as affected by that Assignment and Assumption of Indemnification Agreement recorded under Instrument No. 18044402, Official Public Records of Hays County, Texas; and as further affected by that Agreement recorded under Instrument No. 18044403, Official Public Records of Hays County, Texas.
- i. Terms, conditions and stipulations set forth in that Sign Easement Agreement recorded January 26, 2010, under Instrument No. 2010-10000279 (Volume 3803, Page 228), Official Public Records of Hays County, Texas; as affected by that Agreement recorded under Instrument No. 18044403, Official Public Records of Hays County, Texas.
- j. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Declaration of Covenants and Restrictions recorded January 6, 2010, under Instrument No. 2010-10000277 (Volume 3803, Page 195), Official Public Records

of Hays County, Texas; as affected by that Agreement recorded under Instrument No. 18044403, Official Public Records of Hays County, Texas.

- k. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Restrictive Covenant, Development, Operating and Easement Agreement recorded July 31, 2013, under Instrument No. 2013-13025633 (Volume 4708, Page 218), Official Public Records of Hays County, Texas.
- l. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Reciprocal Easement and Restrictive Covenant Agreement recorded April 29, 2015, under Instrument No. 2015-15012563 (Volume 5199, Page 592), Official Public Records of Hays County, Texas.
- m. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Reciprocal Easement and Restrictive Covenant Agreement recorded May 24, 2016, under Instrument No. 2016-16016295, Official Public Records of Hays County, Texas; as affected by that Agreement recorded under Instrument No. 18044403, Official Public Records of Hays County, Texas.
- n. Terms, conditions and stipulations set forth in that Commercial System Installation Agreement granted in favor of Time Warner Cable Texas LLC, recorded October 13, 2017, under Instrument No. 17038473, Official Public Records of Hays County, Texas.
- o. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Reciprocal Easement and Restrictive Covenant Agreement recorded February 28, 2018, under Instrument No. 18007084, Official Public Records of Hays County, Texas; as affected by that First Amendment recorded under Instrument No. 18038577, Official Public Records of Hays County, Texas.
- p. Terms, conditions, stipulations, assessments, restrictions and easements set forth in that Reciprocal Easement and Restrictive Covenant Agreement recorded July 2, 2018, under Instrument No. 18023252, Official Public Records of Hays County, Texas; as affected by that First Amendment recorded under Instrument No. 18038578, Official Public Records of Hays County, Texas.
- q. Agreement dated December 14, 2018, by and between DDR DB Kyle LP and Kyle Crossing Holdings, LLC, and recorded on December 20, 2018 under Instrument No. 18044403, Official Public Records of Hays County, Texas.

**THE STATE OF TEXAS
COUNTY OF HAYS**

I hereby certify that this instrument was FILED on the
date and the time stamped hereon by me and was duly
RECORDED in the Records of Hays County, Texas.

21048116 DEED
09/01/2021 10:55:40 AM Total Fees: \$58.00

Elaine H. Cárdenas, MBA, PhD, County Clerk
Hays County, Texas



LANDOWNER AUTHORIZATION AND AFFIDAVIT OF OWNERSHIP

SUBJECT PROPERTY INFORMATION

Subdivision Name, Block, Lot, or legal description if not subdivided: Kyle Marketplace Section 2, Lot 1, 1B, 1C, 2, 3, & 4, Block F

of lots (if subdivided): 6 # of acres: 19.4861

Site APN/Property ID #(s): R131692, R131693, R130295, R130297, R130298, R130296

Location: Kyle Marketplace County: Hays County

Development Name: KC II

OWNER

Company/Applicant Name: CSW KC II, LLC

Authorized Company Representative (if company is owner): Kevin Hunter

Type of Company and State of Formation: Texas limited liability company, Formed in Texas

Title of Authorized Company Representative (if company is owner): Manager

Applicant Address: 1703 W 5th Street, Suite 850, Austin, Texas 78703

Applicant Fax: 737-346-3555

Applicant Phone: 512-861-3545

Applicant/Authorized Company Representative Email: khunter@cswwdevelopment.com

APPLICANT REPRESENTATIVE

Check one of the following:

 . I will represent the application myself; or

 X I hereby designate Travis Sawvell to act in the capacity as the agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

I hereby certify that the above-named owner is the rightful owner of the Property. I am either the owner of the property identified above or a partner/manager/officer/director/member of the company who is authorized to act on behalf of the company. I further certify that the information provided herein and in the application for the development is true and correct. By signing below, I agree that the City of Kyle (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public.

Owner's Signature: CSW KC II LLC
Kevin Hunter Date: 9/2/21

State of TEXAS §

§

County of TRAVIS §

This instrument was acknowledged before me on 2 September, 2021 by Kevin Hunter who is a Manager of CSW KC II, LLC, a Texas limited liability company.



SUBSCRIBED AND SWORN TO before me, this
the 2 day of September, 2021.

Stephanie Montemayor
Notary Public's Signature

11/5/23
My Commission Expires

PROJECT REPRESENTATIVE


Representative Name: _____
Representative Address: _____
Representative Phone: _____
Representative Email: _____
Representative's Signature: _____ Date: _____



As of : 02/03/2022 10:37:06

**This page is valid for most business transactions but is not sufficient for filings
with the Secretary of State**

[Obtain a certification](#) for filings with the Secretary of State.

CSW KC II, LLC	
Texas Taxpayer Number	32079995232
Mailing Address	1703 W 5TH ST STE 850 AUSTIN, TX 78703-5357
 Right to Transact Business in Texas	ACTIVE
State of Formation	TX
Effective SOS Registration Date	07/01/2021
Texas SOS File Number	0804140592
Registered Agent Name	TODD M WALLACE
Registered Office Street Address	1703 W. 5TH STREET, SUITE 850 AUSTIN, TX 78703



CITY OF KYLE

Planning Department

100 W. Center Street, Kyle, Texas 78640 (512) 262-1010



NOTICE OF PUBLIC HEARINGS ON A PROPOSED ZONING CHANGE

NOTICE IS HEREBY GIVEN TO ALL INTERESTED PERSONS, THAT:
(Z-21-0089)

The City of Kyle shall hold a public hearing on a request by Travis Sawvell, (Z-21-0089) to rezone approximately 8.32 acres of land from 'RS' to 'MXD' for property located at Kyle Marketplace Sec. 2, Lot A & 19.48 acres of land from 'RS' to 'MXD' for property located at Kyle Marketplace Sec. 2, Block F, in Hays County, Texas.

The Planning and Zoning Commission may recommend, and the City Council may consider, assigning any zoning district which is equivalent or more restrictive.

A public hearing will be held by the Planning and Zoning Commission on Tuesday, February 8, 2022, at 6:30 P.M.

A public hearing will be held by the Kyle City Council on Tuesday, February 15, 2022, at 7:00 P.M.

This meeting will take place at 100 W. Center Street, Kyle, Texas 78640; Spectrum 10.
<https://www.cityofkyle.com/kyletv/kyle-10-live>

Owner: CSW KC II, LLC
Agent: Travis Sawvell (512) 810-8154



You may send your written comments to the Planning Department, 100 W. Center St., Kyle, Texas 78640 (attention: Zoning File # Z-21-0089).

Name: SHeldon TANGLEWOOD Ltd Address: % Rick Sheldon Real Estate
By: Rick Sheldon 601 Sonterra Blvd.
San Antonio, TX 78258

☒ I am in favor, this is why _____

☐ I am not if favor, and this is why _____



CITY OF KYLE, TEXAS

Abel and Linda Tenorio - Zoning
(Z-21-0093)

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Consider a request to rezone approximately 5.13 acres of land from 'A' Agriculture to 'W' Warehouse District for property located at 1351 Bunton Creek Rd, in Hays County, Texas. (Abel and Linda Tenorio - Z-21-0093)

- Public Hearing
- Recommendation to City Council

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Summary Letter
- ☐ Deed
- ☐ Landowner Authorization Letter

Property Location	1351 Bunton Creek Road, Kyle, TX 78640
Owner	Abel & Erlinda Tenorio P.O. Box 48 Kyle, TX 78640
Agent	Amanda Brown 10814 Jollyville Rd, Avallon IV, Ste. 200 Austin, TX 78759
Request	Rezone 5.123 -Acres "A" (Agriculture) to "W" (Warehouse)

Vicinity Map



Site Description

The site associated with the zoning request, is located at 1351 Bunton Creek Road. The site is zoned "A" (Agriculture), and is currently vacant. To the north is a residence zoned "A", to the east is a large tract of land in the City of Kyle's ETJ (Non-Annexation D.A.). To the south/southeast is property zoned "RS" (Retail Services), and was a dog boarding facility in the recent past. To the southwest and across Bunton Creek Road is Universal Forest Products (zoned "C/M", Construction Manufacturing. To the west, across a driveway, is land zoned "W" (Warehouse), and has business on site.

Zoning Map



Existing Zoning

A (Agriculture)

Sec. 53-36

The permitted uses in the agricultural district A allow farming, ranching, pasturage, detached single-family residences and related accessory structures, on a minimum one acre tract. Parks, playgrounds, greenbelts and other public recreational facilities, owned and/or operated by the municipality or other public agency are permitted.

(Ord. No. 438, § 23, 11-24-2003)

Requested Zoning

Warehouse, District W

Sec. 53-527. – Purpose and permitted uses

- a) The warehouse district W is designed to provide locations for outlets offering goods and services to a targeted segment of the general public as well as industrial users.
- b) The permitted uses include those that primarily serve other commercial and industrial enterprises and do not include any use listed in the construction and manufacturing district CM, in [division 19](#) of this article. No building or land shall be used, and no building hereafter shall be erected, maintained, or structurally altered, except for one or more of the uses hereinafter enumerated.
- c) Any use permitted in district CBD-1, CBD-2, RS and this district as provided in [section 53-1230](#).

(Ord. No. 438, § 44(a), 11-24-2003)

Conditions of the Zoning Ordinance

Sec. 53-1205 Amendments

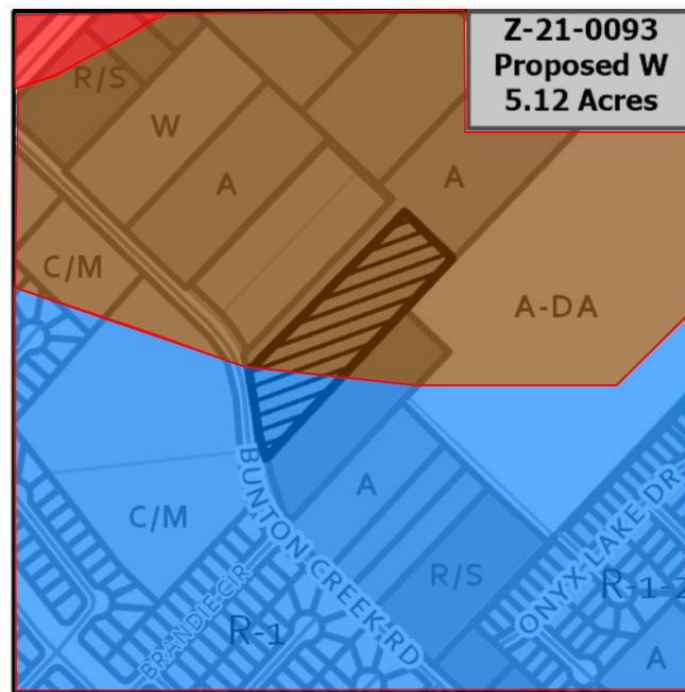
(d)

Referral of amendment to planning and zoning commission. Upon its own motion, a request by the planning and zoning commission, or the receipt of an administratively complete petition and application to zone or rezone a lot, tract or parcel of land, which petition and application has been examined and approved as

to form by the city manager, shall be referred to the planning and zoning commission for consideration, public hearing, and recommendation to the city council. The council may not enact a rezoning amendment until the planning and zoning commission has held a public hearing and made its recommendation to the city council, or has made a final vote on the matter without obtaining a majority, on the zoning or rezoning of the property.

(e)

Action by the planning and zoning commission. The planning and zoning commission shall cause such study and review to be made as advisable and required, shall give public notice and hold a public hearing as provided by state law, and shall recommend to the council such action as the planning and zoning commission deems proper...



New Town District (Brown) = 3.75 Acres
Mid-Town District (Blue) = 1.38 Acres
Super Regional Node (Red)

Comprehensive Plan Text

The subject site is located within the “New Town Community” & Mid-Town Community land use districts. The “W” zoning district is only considered, conditionally, in the “New Town Community” land use district. For the purposes of the zoning request, staff will not consider the “Mid-Town Community” land use district, in its analysis.

New Town Community

Recommended: R-1-1, R-1-2, R-1-3, R-1-C, R-1-T, R-2, R-3-2, R-3-3, CC, NC, RS, MXD, O/I
Conditional: E, A, C/M, R-1-A, R-3-1, RV, T/U, UE, HS, **W**, M-2, M-3

New Town Community

'Character': Currently consisting of primarily residential uses, open fields, some commercial uses along I-35, and the City's new Performing Arts Center, the New Town District will likely experience significant development pressures in the near future. This District straddles both I-35 and FM 1626, and growth from Austin and Buda is spreading south along these roadways. These land uses and the forms that follow are wide ranging and varying according to the existing development pattern in place today, and the availability for utility service to as-yet undeveloped lands. The New Town District includes undeveloped residential areas, the proposed site for an 'Uptown' shopping/activity center, proposed and existing commercial along higher classified roadways, and legacy residential that has existed for many years. This District should be livable, comfortable, and convenient for all residents of Kyle and surrounding region. Elements of form and design are critical to ensuring transitions between neighboring uses.

'Intent': The New Town District is designed to contain a horizontal mix of land uses that should be integrated across the area to express a cohesive community form. Many differing uses are encouraged throughout the District, but are distributed in autonomous land parcels instead of vertically aggregated in fewer land parcels. Horizontal mixed uses provide a transition to integrate the community form of New Town with surrounding communities, landscapes and nodes.

As parcels along major roadways and along side high capacity wet utilities come available, the development density of those parcels should be established higher than other areas of the city, especially any properties in proximity to either I-35, FM 1626 or both. The purpose of the New Town District is to harness economic development potential and establish its position as the sustainable center of surrounding growth. The leading way to make this a reality is to build off the strength of the urban form supported in the Core Area Transition District, make use of the transportation network already in place that runs through and along this district, and enable more uses and architectural types that blend well into the urban design form. This District should provide economic support to Kyle based on locational advantages gained by access to growth advancing from south Austin

and nodal developments on the northern side of Kyle. Mixed-Use development should be encouraged, not only permitted, to maximize economic development. This can be achieved by aggregating appropriate densities in order to support a mixture of uses. Development patterns and employment opportunities should be created in the New Town District that do not conflict with the surrounding community fabric. Establishing mixed use zoning districts and employment districts will compliment the existing retail and service uses present today and should be supported by the adjacent residential and future integrated multi-family residential.

Analysis

Per the Comprehensive Plan, the site is in both the New Town land use district (3.75-acres) and the Mid-Town land use district (1.38 acres), with a significant majority in the New Town district. When a property straddles a land use district boundary, the boundary is somewhat of a gray area. Land use boundaries rarely follow property lines and determining appropriate districts may require flexibility. The analysis will be based on the New Town District.

1351 Bunton Creek Road is approximately 5.13-acres and is zoned “A”. The site is currently vacant (undeveloped), though it may have had a single-family residence on it at one time. This parcel is within a stretch of both Warehouse and Construction Manufacturing zoned, and operating land uses (warehousing & light industrial district). When considering a rezoning request, it is important to consider adjacent land uses, for appropriateness, and the warehouse and light industrial uses along this stretch of Bunton Creek Road match the request.

Bunton Creek Road is the access point into the site and was rebuilt with the 2013 bond approval by the City. When developing the site, the applicant should also consider future connectivity to the north, where the City of Kyle’s Transportation Master Plan shows a future extension of Kyle Parkway. A sidewalk along Bunton Creek Road will also be required as a requirement for development permits. 1351 Bunton Creek Road will be serviced by City of Kyle water and wastewater (existing), and by Pedernales Electric Cooperative for power.

The following permits will be required after zoning, when the site develops:

- Site Development Permit
- Conditional Use Permit (Goforth Road Overlay)
- Building Permit

Recommendation

As the site has adequate available infrastructure, and is within a warehouse/light industrial district, Staff supports the rezoning request. Staff asks the Planning & Zoning Commission to support a recommendation vote for the requested zoning.

Attachments

- Staff Report
- Landowner Authorization Form
- Deed
- Applicant Request Letter

December 22, 2021

William Atkinson
City Planner
City of Kyle
Planning and Zoning Department
100 W. Center Street
Kyle, TX 78640

Via Electronic Submittal

Re: Rezoning Application for 1351 Bunton Creek Rd; \pm 5.123 acres of undeveloped land in the John Stewart League, Abstract 14, Hays County, Texas, being all of Lot 21, Kyle Heights, Section 2, A subdivision of record, recorded in Volume 6, Page 395 (PRHCT) (the "Property")

Dear Mr. Atkinson:

As representatives of the owner of the above stated Property we respectfully submit the attached application for rezoning. The Property is currently zoned Agriculture and is within the City of Kyle full purpose jurisdiction in Hays County. The proposed zoning is Warehouse (W) The purpose of the rezoning is to allow for a warehouse and distribution use.

Additionally, this location is ideal for a development of this nature. The site is located along Bunton Creek Road, which is an existing industrial area, making it an ideal location for a warehouse and distribution center to easily transport goods and services. The surrounding zoning is W to the west, Retail/ Service (RS) to the east and Construction/ Manufacturing (C/M) to the south, across from Bunton Creek Rd. A rezoning to W of the Property will complement the existing surrounding zoning and uses.

Thank you for your time and attention on this rezoning application. Please feel free to reach out with any questions or additional information.

Very truly yours,

Amanda Couch Brown

Trustee's Deed

Date: July 2, 2002

Trustee: Brenda Swinney

Deed of Trust

Date: March 8, 1996

Grantor: Natividad Romo and Eloise Romo, husband and wife

Lender: Brenda Swinney, trustee for the Son Dau Trust under an instrument dated July 19, 1990, recorded in Volume _____, Page _____ of the real property records of Travis County, Texas

Recording information: Unknown

Property:

5.13 acres in Hays County, Texas, being Lot 21, Kyle Heights, Section II, as recorded in volume 6, Pages 395 and 396 of the map or plat records of Hays County, Texas.

Note

Date: March 8, 1996

Principal amount: \$31,500.00

Borrower: Natividad Romo and Eloise Romo, husband and wife

Lender: Brenda Swinney, trustee for the Son Dau Trust under an instrument dated July 19, 1990, recorded in Volume _____, Page _____ of the real property records of Travis County, Texas

Holder: Brenda Swinney, trustee for the Son Dau Trust under an instrument dated July 19, 1990, recorded in Volume _____, Page _____ of the real property records of Travis County, Texas

Date of Sale (first Tuesday of month): July 2, 2002

Time of Sale: 12:30 p.m.

Place of Sale: The north door of the Hays County Court House facing Hopkins Street as designated by the Hays County Commissioners Court

Buyer: Abel Tenorio and Erlinda Tenorio

Buyer's Mailing Address:

Abel Tenorio
P. O. Box 48
Kyle, TX 78640

Hays County

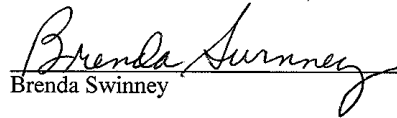
Erlinda Tenorio
P. O. Box 48
Kyle, TX 78640
Hays County

Amount of Sale: \$28,000.00

A default exists under the Deed of Trust. Holder of the Note has directed Trustee to enforce the trust.

Notices stating the time, place, and terms of sale of the Property were posted and filed and Brenda Swinney either personally or by agent served notice of the sale to each debtor, as required by the Texas Property Code. In accordance with that statute and the Deed of Trust, Trustee sold the Property to Buyer, who was the highest bidder at the public auction, for the Amount of Sale. The sale was made on the Date of Sale, began at the Time of Sale, and was concluded by 4:00 p.m.

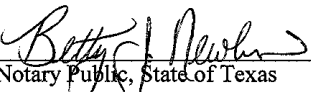
Trustee, subject to any prior liens and other exceptions to conveyance and warranty in the Deed of Trust and for the Amount of Sale paid by Buyer as consideration, grants, sells, and conveys the Property to Buyer, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Buyer and Buyer's heirs, successors, and assigns forever. Trustee binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Buyer and Buyer's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the prior liens and other exceptions to conveyance and warranty in the Deed of Trust.


Brenda Swinney

STATE OF TEXAS)

COUNTY OF HAYS)

This instrument was acknowledged before me on July 2, 2002, by Brenda Swinney, Trustee.



Notary Public, State of Texas

AFTER RECORDING RETURN TO:

Mr. & Ms. Abel Tenorio
P. O. Box 48
Kyle, TX 78640



FILED AND RECORDED
OFFICIAL PUBLIC RECORDS
On: Jul 02, 2002 at 01:25P

Document Number: 02018069

Amount 13.00

Lee Carlisle
County Clerk
By
Rose Robinson, Deputy
Hays County

LANDOWNER AUTHORIZATION AND AFFIDAVIT OF OWNERSHIP

SUBJECT PROPERTY INFORMATION

Subdivision Name, Block, Lot, or legal description if not subdivided: Kyle Heights Section 2 Lot 21

of lots (if subdivided): _____ # of acres: 5.13

Site APN/Property ID #(s): R62686

Location: 1351 Bunton Creek Kyle, Texas 78640 County: Hays

Development Name: 1351 Bunton Creek

OWNER

Company/Applicant Name: Abel and Erlinda Tenorio

Authorized Company Representative (if company is owner): _____

Type of Company and State of Formation: _____

Title of Authorized Company Representative (if company is owner): _____

Applicant Address: 1351 Bunton Creek Kyle, Texas 78640

Applicant Fax: _____

Applicant Phone: 512 791-3521

Applicant/Authorized Company Representative Email: No email

APPLICANT REPRESENTATIVE

Check one of the following:

____. I will represent the application myself; or

X I hereby designate Amanda Brown (name of project representative) to act in the capacity as the agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

I hereby certify that the above-named owner is the rightful owner of the Property. I am either the owner of the property identified above or a partner/manager/officer/director/member of the company who is authorized to act on behalf of the company. I further certify that the information provided herein and in the application for the development is true and correct. By signing below, I agree that the City of Kyle (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public.

Owner's Signature: *Erlinda Lemoine* Date: 12-15-2021

State of Texas §

§

County of Hays §

This instrument was acknowledged before me on (date) by (name of authorized company representative) who is a(n) (member, manager, authorized officer, etc.) of (name of company), a (Texas) (limited liability company, corporation, partnership, etc.).

SUBSCRIBED AND SWORN TO before me, this the 15 day of December, 2021.

(Notary Seal)



Pamela Woods
Notary Public's Signature
6/14/2024
My Commission Expires

Owner's Signature: *Erlinda Lemoine* Date: 12-15-2021

State of Texas §

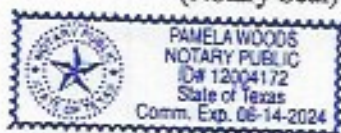
§

County of Hays §

This instrument was acknowledged before me on (date) by (name of authorized company representative) who is a(n) (member, manager, authorized officer, etc.) of (name of company), a (Texas) (limited liability company, corporation, partnership, etc.).

SUBSCRIBED AND SWORN TO before me, this the 15th day of December, 2021.

(Notary Seal)



Pamela Woods
Notary Public's Signature
6/14/2024
My Commission Expires

PROJECT REPRESENTATIVE

Representative Name: Amanda Brown

Representative Address: 10814 Jollyville Road, Avallon IV, Suite 200 Austin, TX 78759

Representative Email: amanda.brown@kimley-horn.com

Representative's Signature: _____ Date: 12/07/2021



CITY OF KYLE, TEXAS

Dutch Bros. Coffee - Conditional Use Permit (CUP-21-0041)

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Consider a request to construct an approximately 880 square foot free standing building with walk up and drive-thru service located at 20325 IH-35 within the I-35 zoning overlay district. (Dutch Bros. Coffee - Conditional Use Permit - CUP-21-0041)

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Staff Memo
- ☐ Elevations
- ☐ Elevations - Dumpster Enclosure
- ☐ Landscape Plan
- ☐ Deed
- ☐ Landowner Authorization Letter



CITY OF KYLE

Community Development Department



MEMORANDUM

TO: Planning & Zoning Commission

FROM: Will Atkinson – Senior Planner

DATE: Tuesday, February 8, 2021

SUBJECT: Dutch Bros (CUP-21-0042)

REQUEST

The applicant seeks to construct an approximately 880 square foot Dutch Bros free standing building and site plan. The building will consist of a walk up & drive thru service, with materials consisting of two (2) types of brick veneer (tan and dark gray color) with blue roof flashing & dark gray metal canopy. Appropriate architectural features such as varied roof elevation, canopies, and windows complete the design.

LOCATION

The property is located at 20325 IH-35, Kyle, TX 78640, approximately 900-feet north of the intersection of IH-35 and FM 1626 (Between Firestone & Taco Bell).



OVERLAY DISTRICT

The I-35 overlay district. The Interstate Highway 35 corridor conditional use overlay district (the I-35 overlay district) extends from the northernmost city limit boundary at I-35 to the southernmost city limit boundary at I-35, and includes all real property within 1,500 feet of the outer most edge of the highway right-of-way of I-35. Sec. 53-899 is the code section staff uses to review for aesthetic compliance.

TEXT OF THE ZONING ORDINANCE

Sec. 53-896. - Standards for review.

- (a) The planning and zoning commission shall determine whether the application and project is consistent and compliant with the terms and intent of this division, this chapter, chapter 32, article II, pertaining to the site development plan, and all other codes and ordinances of the city. The planning and zoning commission will determine if the proposed use, occupancy and structure will promote, preserve, and enhance, and will not damage or detract from the distinctive character of the community; will preserve and protect property values and taxable values; will not be detrimental or inconsistent with neighboring uses and occupancies; will not be detrimental to the general interests of the citizens; and will not be detrimental to the public health, safety and welfare. In conducting its review, the planning and zoning commission shall make examination of and give consideration to the traffic flow, development density, neighboring historical designs, neighboring uses, and elements of the application, including, but not limited to:
- (1) Height, which shall conform to the requirements of this chapter;
 - (2) Building mass, which shall include the relationship of the building width to its height and depth, and its relationship to the visual perception;
 - (3) Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including, but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
 - (4) Roof shape, which shall include type, form, and materials;
 - (5) Materials, texture, and color, which shall include a consideration of material compatibility among various elements of the structure;
 - (6) Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
 - (7) Landscape design and plantings, which shall include lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;

- (8) Vehicular and pedestrian access, which shall include location, width, and type of surface for all points of ingress and egress;
- (9) Signage, which shall include, in addition to the requirements chapter 29, pertaining to signs, the appropriateness of signage to the building in relation location, historical significance of the structure and neighboring structures, traffic visibility; obstruction of views from neighboring property;
- (b) The planning and zoning commission may request from the applicant such additional information, sketches, and data as it shall reasonably require. It may call upon experts and specialists for testimony and opinion regarding matters under examination. It may recommend to the applicant changes in the plans it considers desirable and may accept a voluntary amendment to the application to include or reflect such changes. The planning and zoning commission shall keep a record of its proceedings and shall attach to the application copies of information, sketches, and data needed to clearly describe any amendment to the application.
- (c) If the conditional use permit is granted by the planning and zoning commission, the applicant shall be required to obtain a building permit and/or a development permit, if required, provided all other requirements for a building permit and/or a development permit are met. The building permit and/or a development proposal as approved shall be valid from one year from the date of approval. The planning and zoning commission may grant an extension of the one-year limitation if sufficient documentation can be provided to warrant such an extension.

STAFF ANALYSIS

Staff has reviewed the request and has made the following findings:

1. The proposed building exceeds the intent and requirements of the Retail Services zoning standards for the building and site work;
2. The architecture style of the building meets the intent and requirements in the I-35 Overlay;
3. Materials types and specific colors are available on the elevation sheet.
4. The overall design aesthetic and color palette does match the current ideals within the I-35 Overlay standard for the preferable appearance of the Kyle I-35 corridor.

The site plan shown as an exhibit is code compliant and matches the proposed building for both the Retail Services zoning district and I-35 Overlay. The building meets and exceeds the requirements for a minimum of 90% four sided masonry (100% masonry).

RECOMMENDATION

Staff has reviewed the color elevations for compliance with the Sec. 53-899 (I-35 Overlay design standards), and the plans are compliant. Staff recommends approval of the conditional use permit (CUP-21-0042).

ATTACHMENTS

1. Exterior elevations
2. Landscape plan
3. Deed
4. Landowner Authorization Letter

"The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, and other materials, are trademarks, service marks, and/or other intellectual property rights owned by Dutch Bros. Franchising, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property laws under the United States and foreign laws."

COLORS & MATERIALS:



METAL FASCIA
SHERWIN WILLIAMS
COLOR: DUTCH BROS BLUE



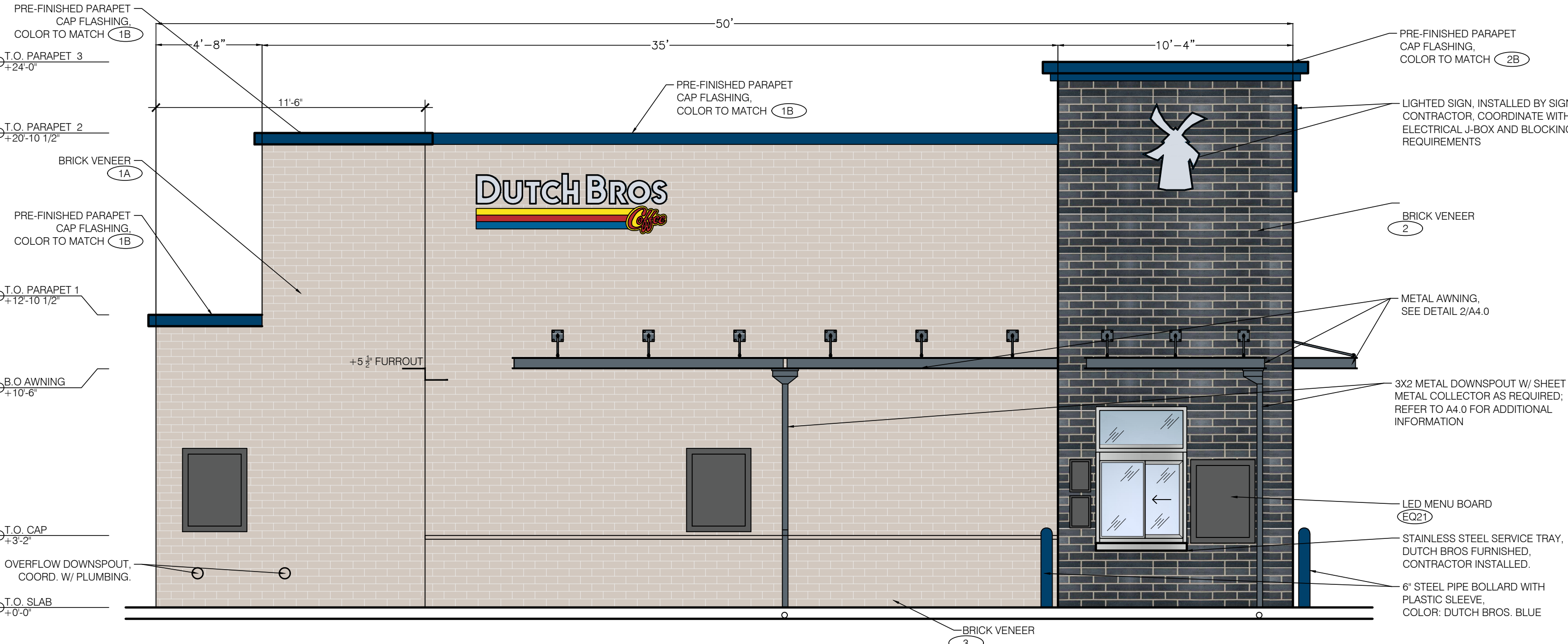
METAL CANOPY FASCIA & AWINING
SHERWIN WILLIAMS
COLOR: DUTCH BROS DARK GRAY



BRICK VENEER
ENDICOTT BRICK
COLOR: DARK IRONSPOT

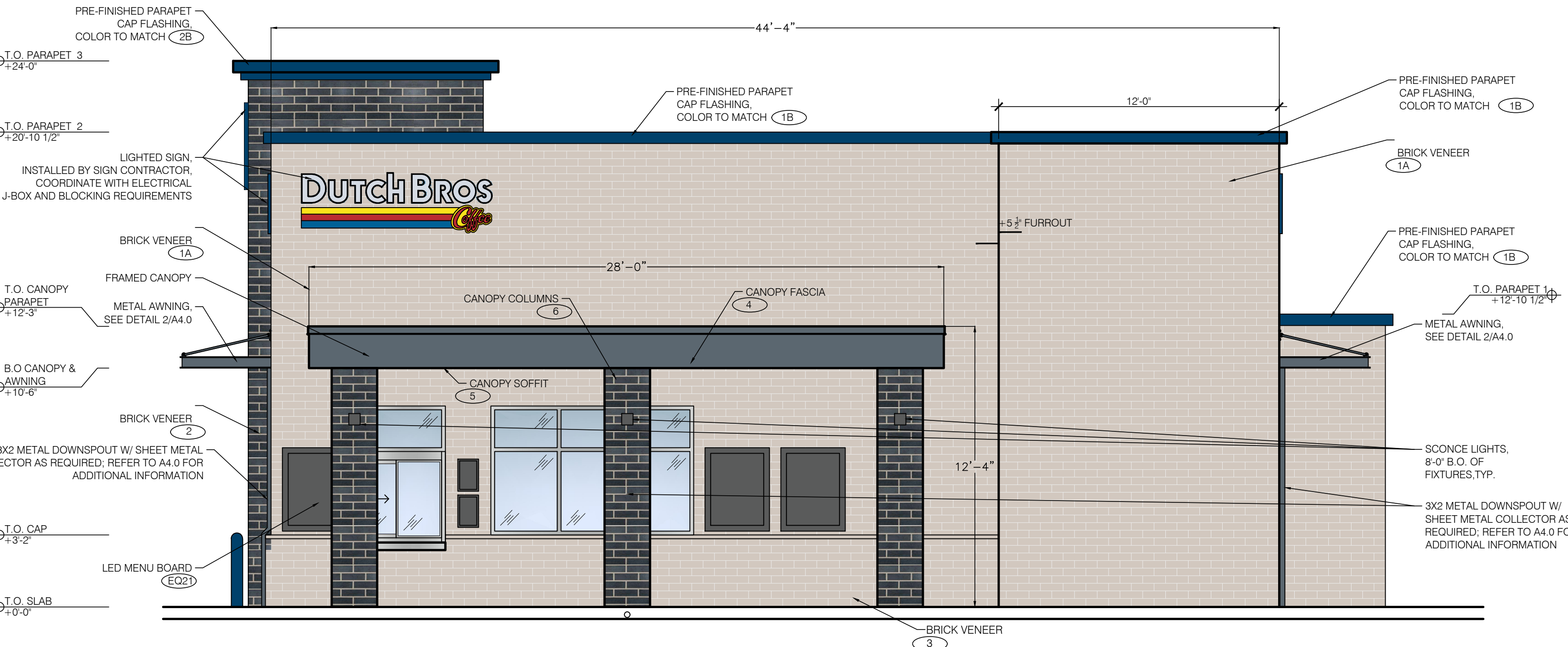


BRICK VENEER
GENERAL SHALE BRICK
COLOR: NIAGARA MIST



4 ELEVATION - DRIVE-THRU WINDOW

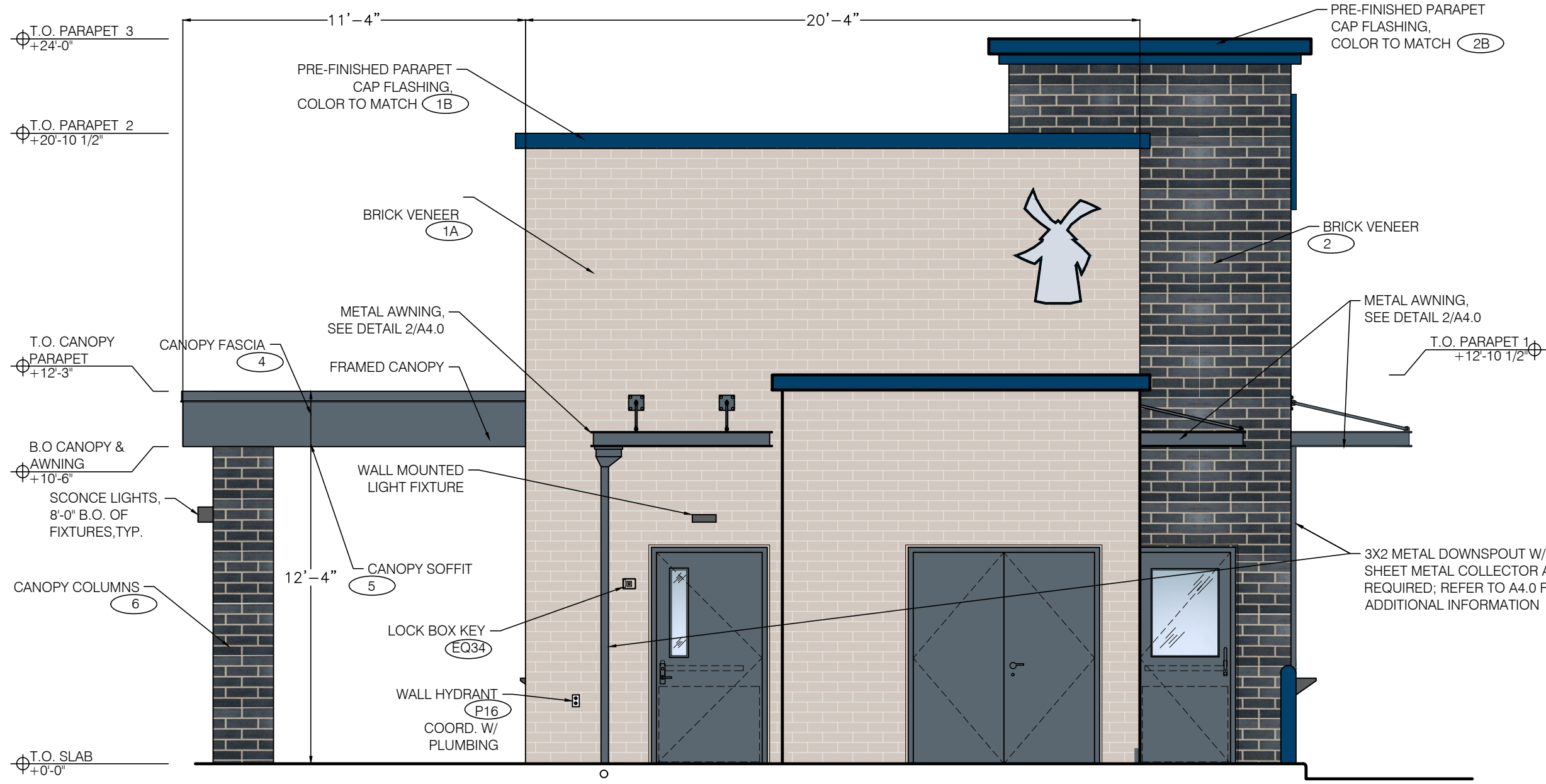
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2 ELEVATION - WALK-UP WINDOW

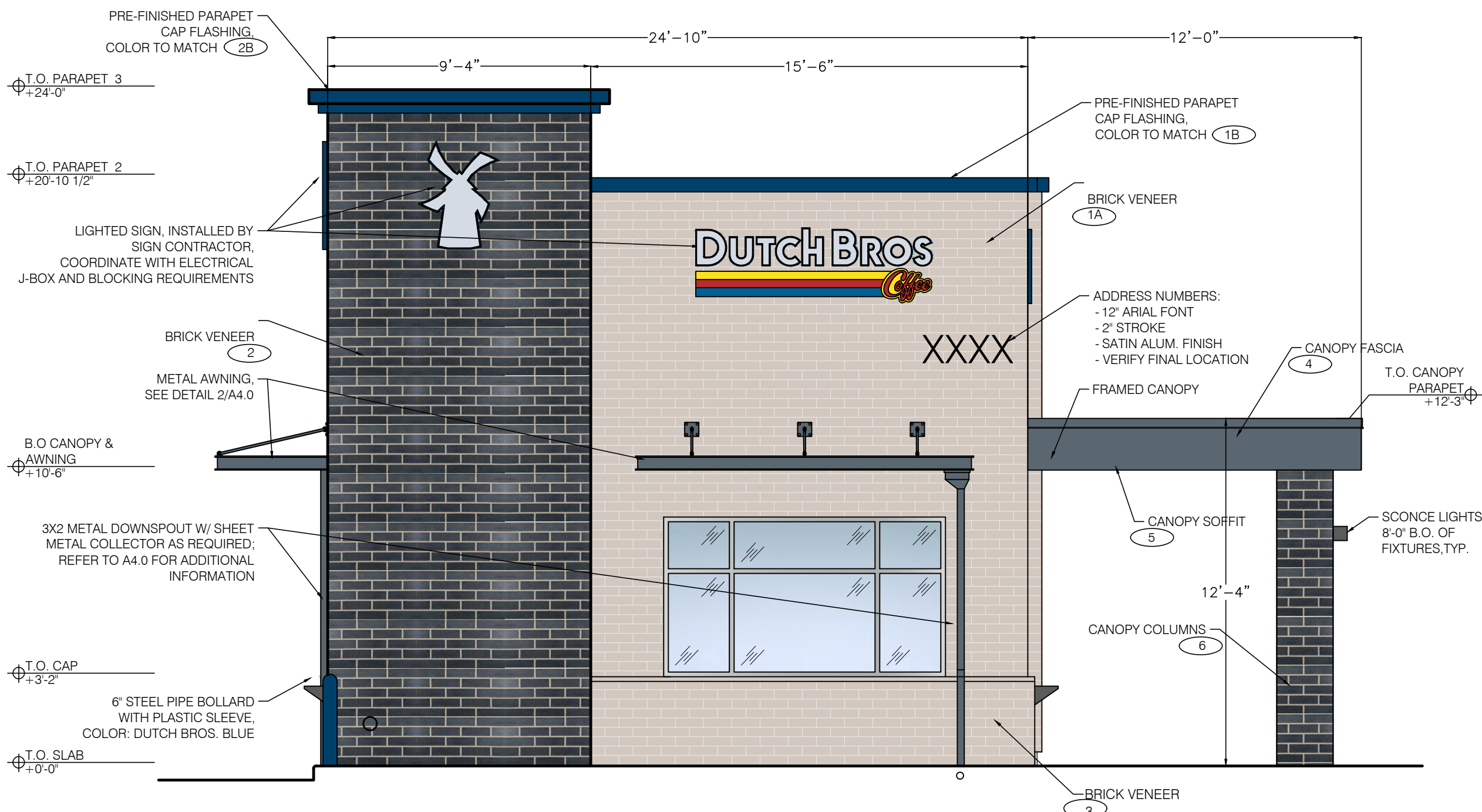
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	BRICK VENEER	GENERAL SHALE BRICK	FACE BRICK - FULL VENEER MODULAR - 2 1/4" H. x 3 5/8" W. x 7 5/8" L.	COLOR: NIAGARA MIST BY GENERAL SHALE SILL TO MATCH
1B	METAL FACIA	SHERWIN WILLIAMS	METAL FASCIA	COLOR TO MATCH DB BLUE
ZONE 2 (TOWER)				
2	THIN BRICK VENEER	ENDICOTT BRICK	DARK IRONSPOT, SMOOTH TEXTURE, 1/2" THICK	ORIENTATION: HORIZONTAL; GROUT COLOR TO MATCH #10 ANTIQUE WHITE BY POLYBLEND GROUT
2B	METAL FACIA	SHERWIN WILLIAMS	METAL FASCIA	COLOR TO MATCH DB BLUE
ZONE 3 (3'-2" BASE)				
3	BRICK VENEER	GENERAL SHALE BRICK	FACE BRICK - FULL VENEER MODULAR - 2 1/4" H. x 3 5/8" W. x 7 5/8" L.	COLOR: NIAGARA MIST BY GENERAL SHALE SILL TO MATCH
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	METAL FASCIA	COLOR TO MATCH DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X6, T&G, 3/8" REVEAL
6	COLUMNS	ENDICOTT BRICK	DARK IRONSPOT, SMOOTH TEXTURE, 1/2" THICK	ORIENTATION: HORIZONTAL; GROUT COLOR TO MATCH #10 ANTIQUE WHITE BY POLYBLEND GROUT
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO BE DUTCH BROS DARK GRAY				



3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



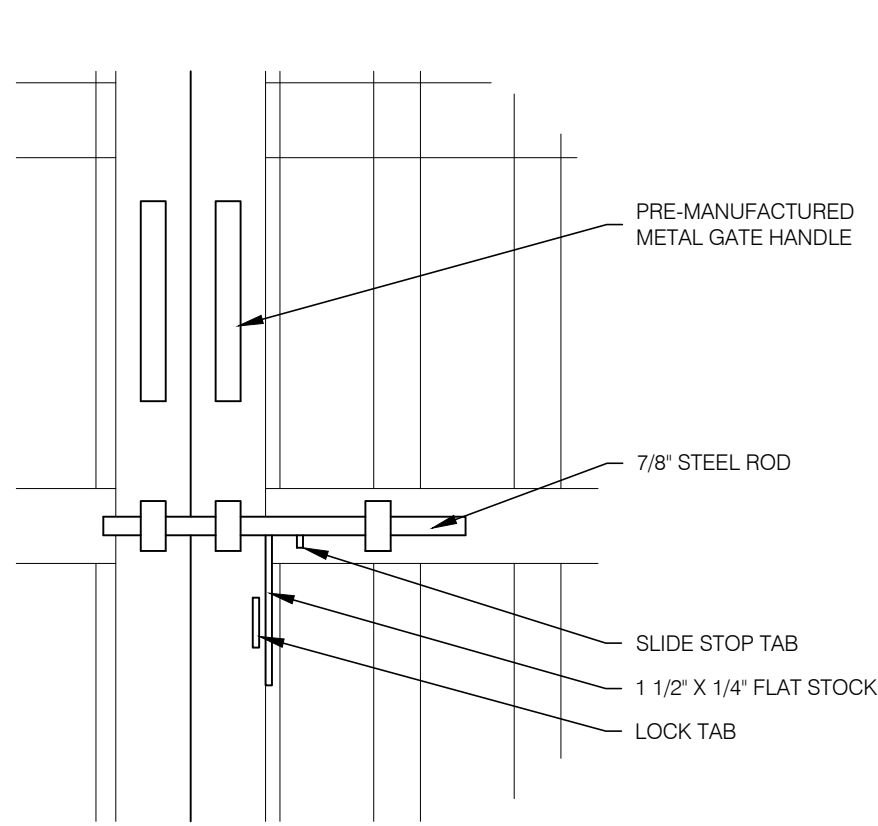
1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

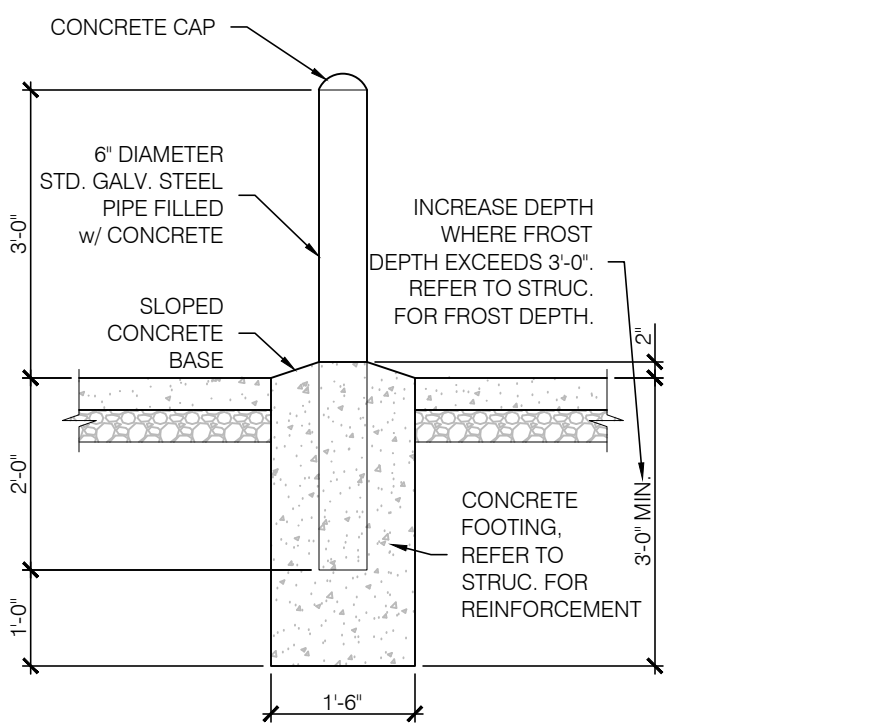


Project No: TX1203
Dutch Bros Coffee - New Freestanding Store
DB2040 - A1
20325 IH 35
KYLE, TX 78640
APN:
DATE: 08/08/21
REV: DATE: DESCRIPTION:
SHEET NAME:
BUILDING ELEVATIONS
COLOR
SHEET NUMBER:
A6.1

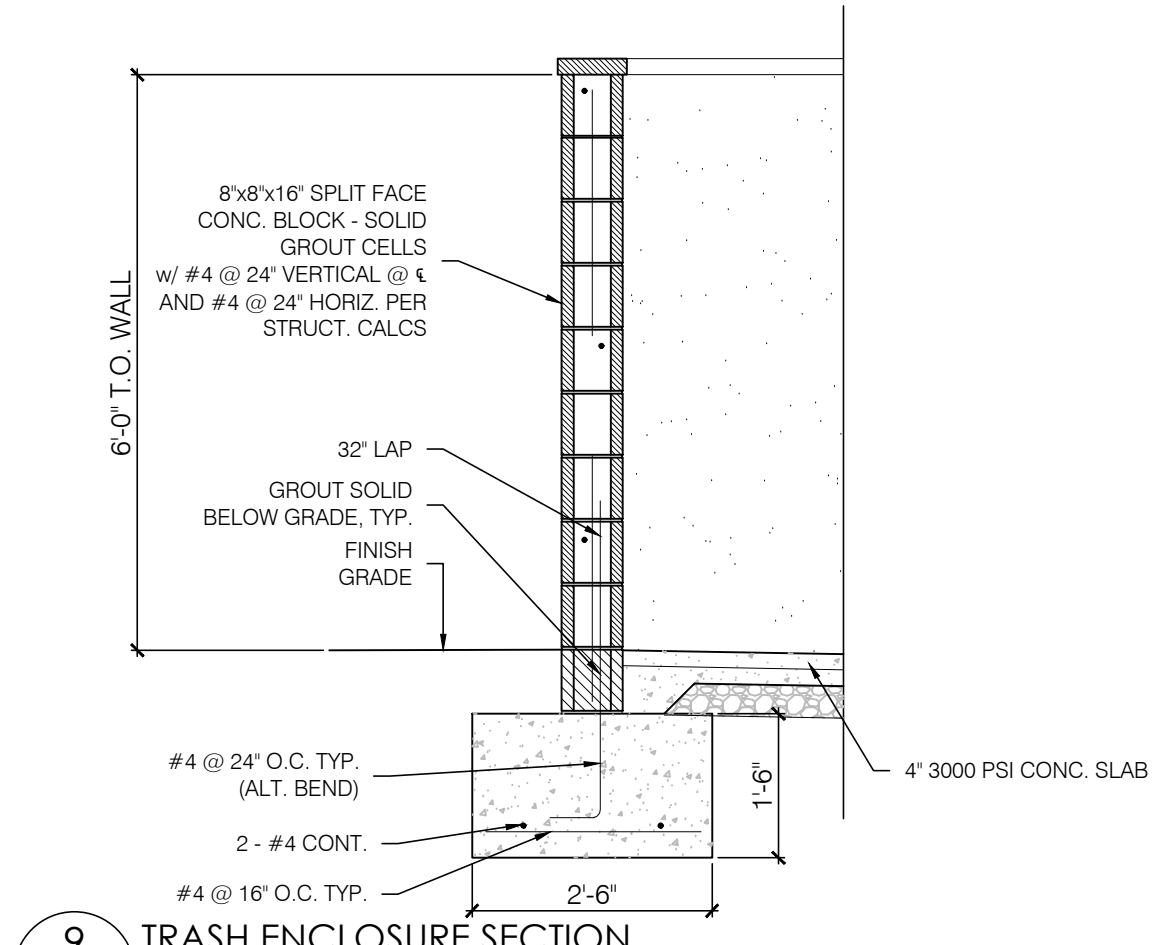
"The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, and other materials, are the property of Dutch Bros. Franchising, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws."



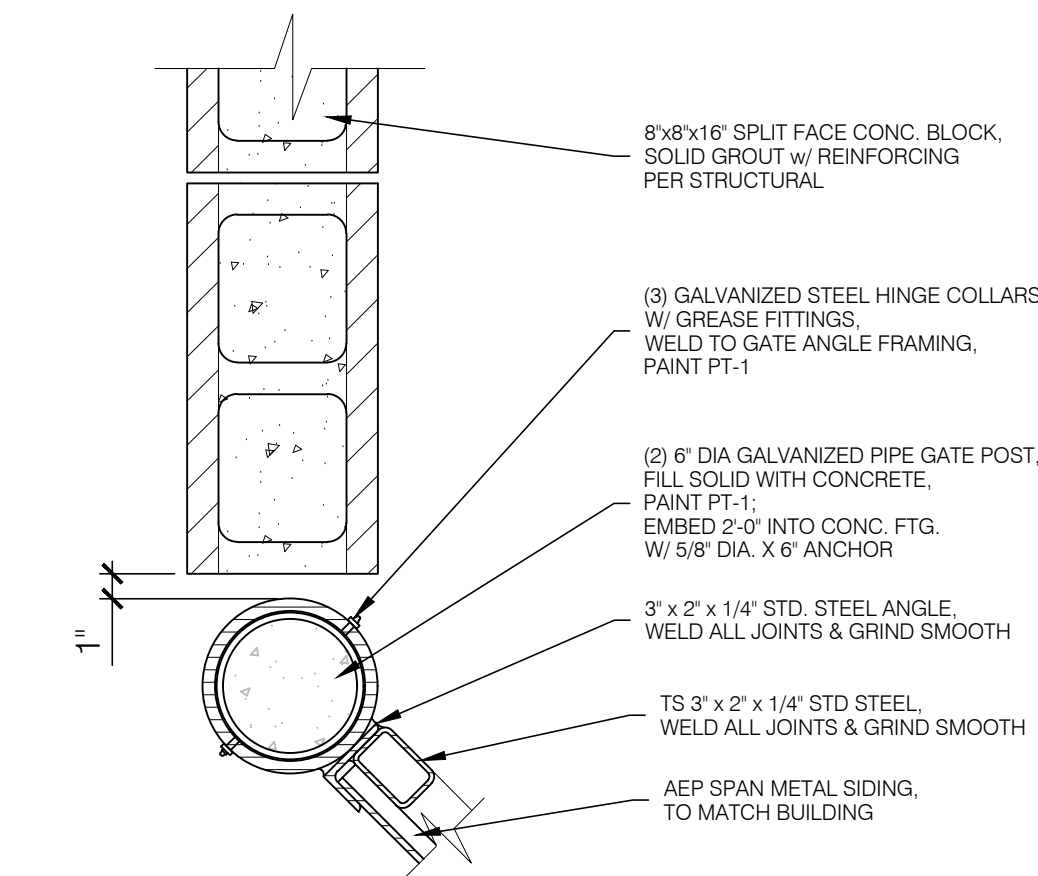
7 TRASH ENCLOSURE GATE LOCKING HANDLE
SCALE: 1-1/2" = 1'-0"



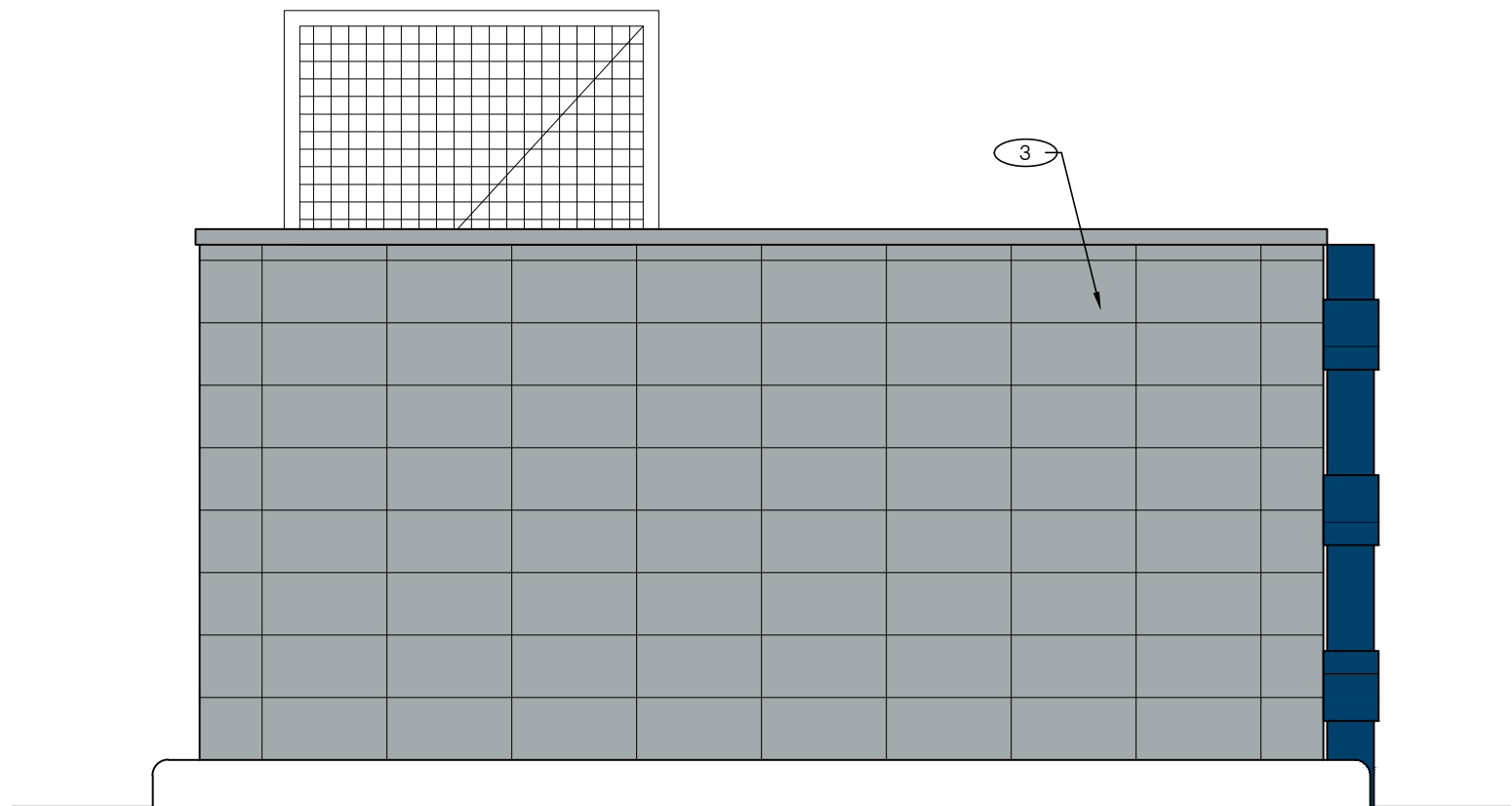
8 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



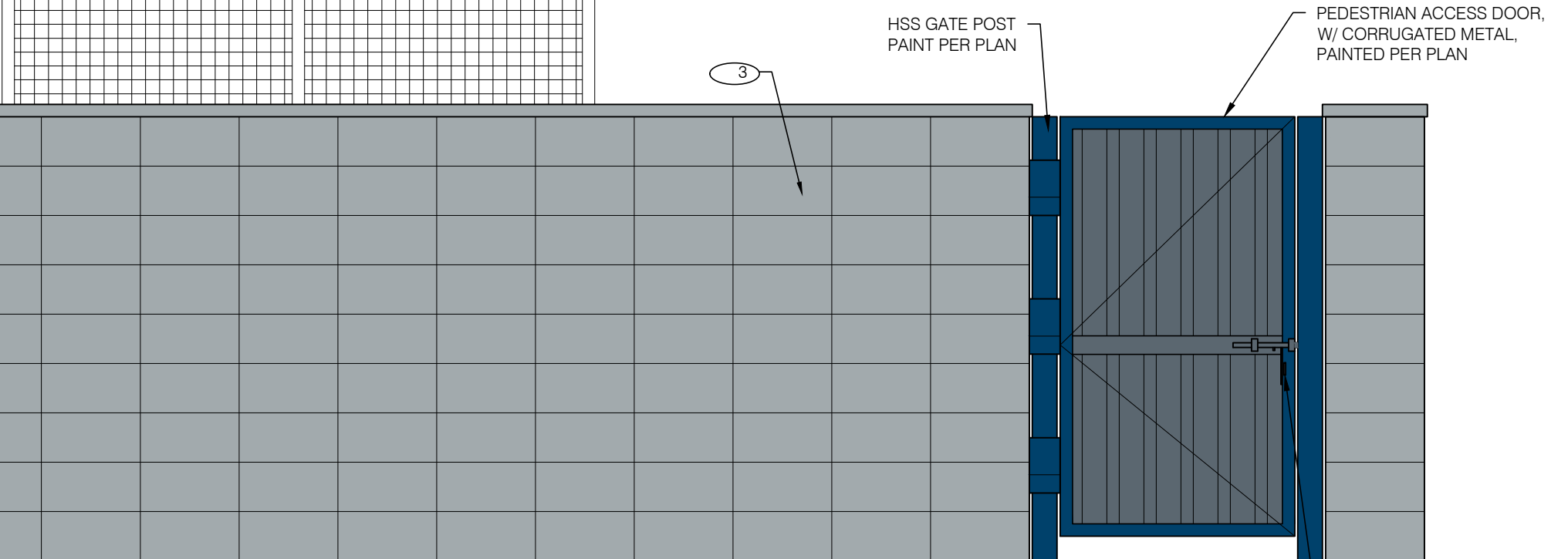
9 TRASH ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



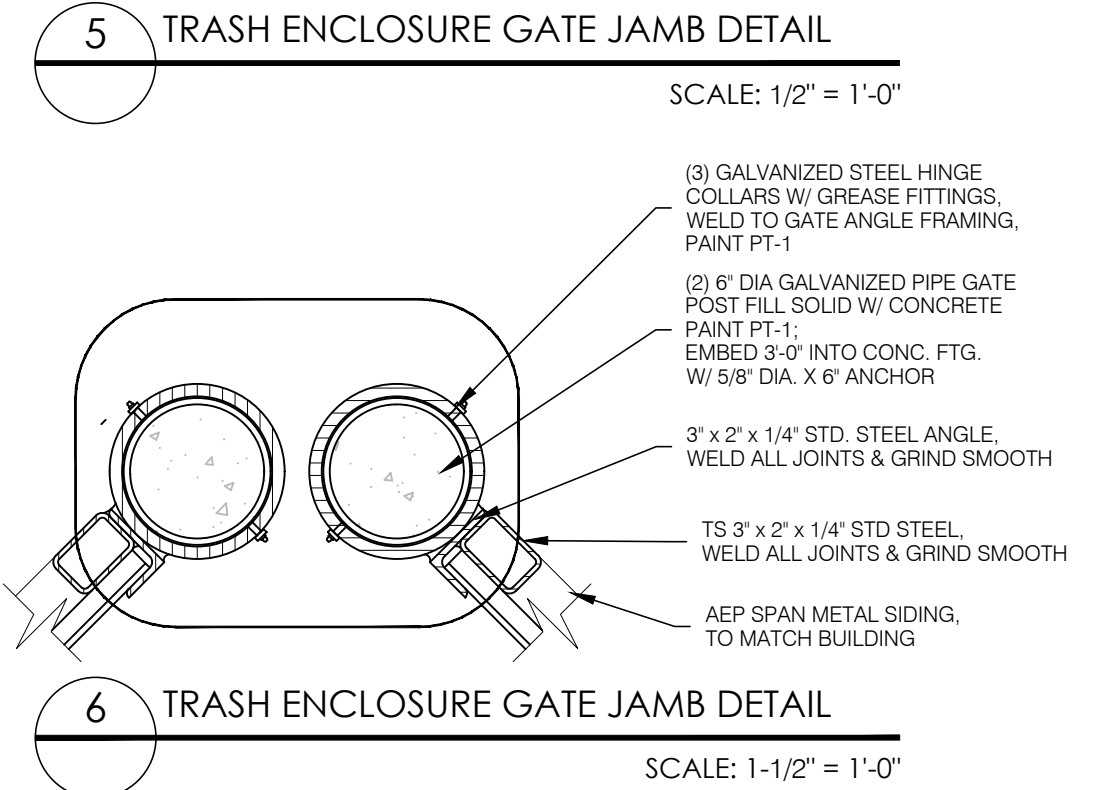
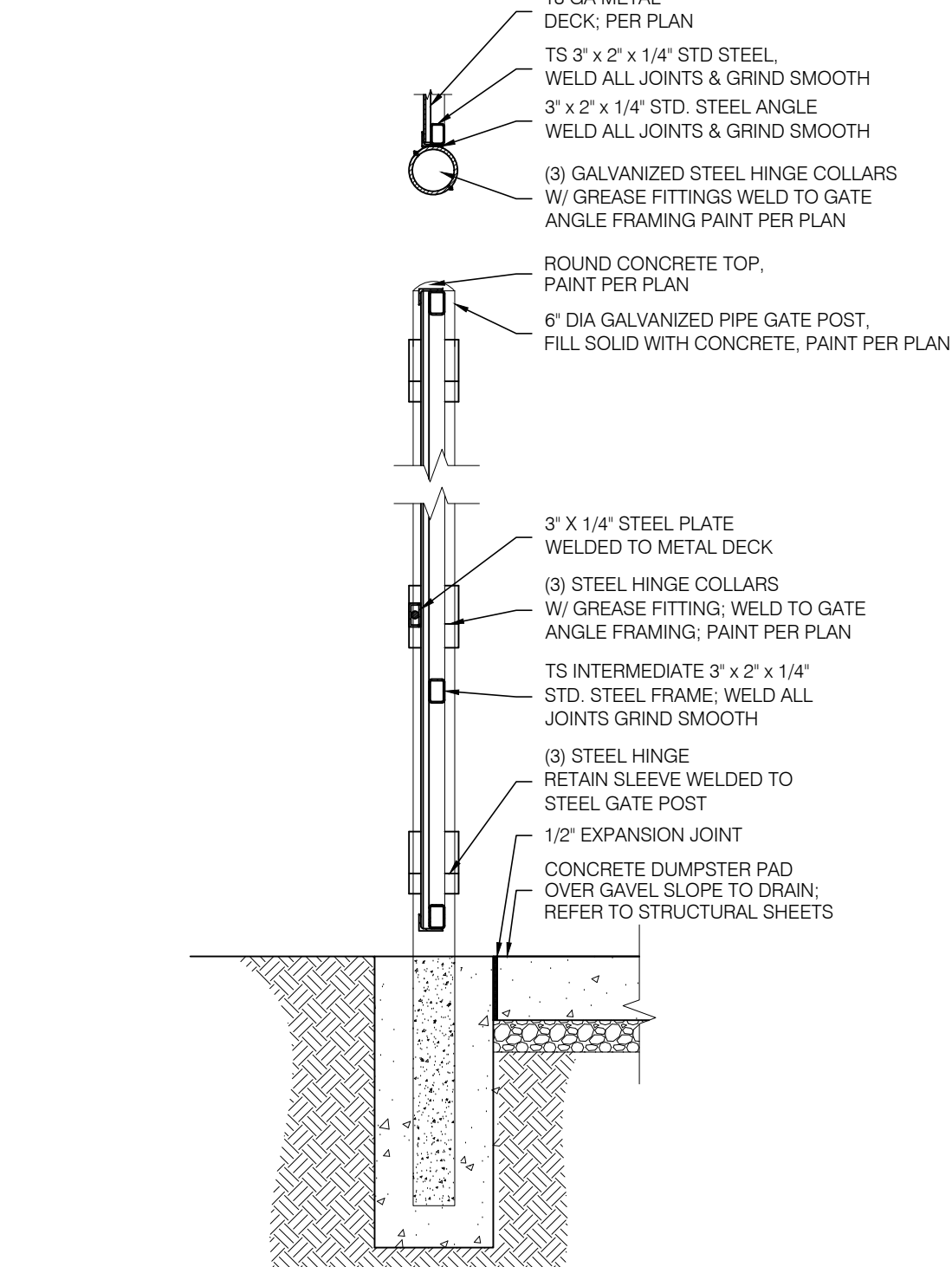
10 TRASH ENCLOSURE GATE JAMB DETAIL
SCALE: 1-1/2" = 1'-0"



3 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"



4 TRASH ENCLOSURE REAR ELEVATION
SCALE: 1/2" = 1'-0"

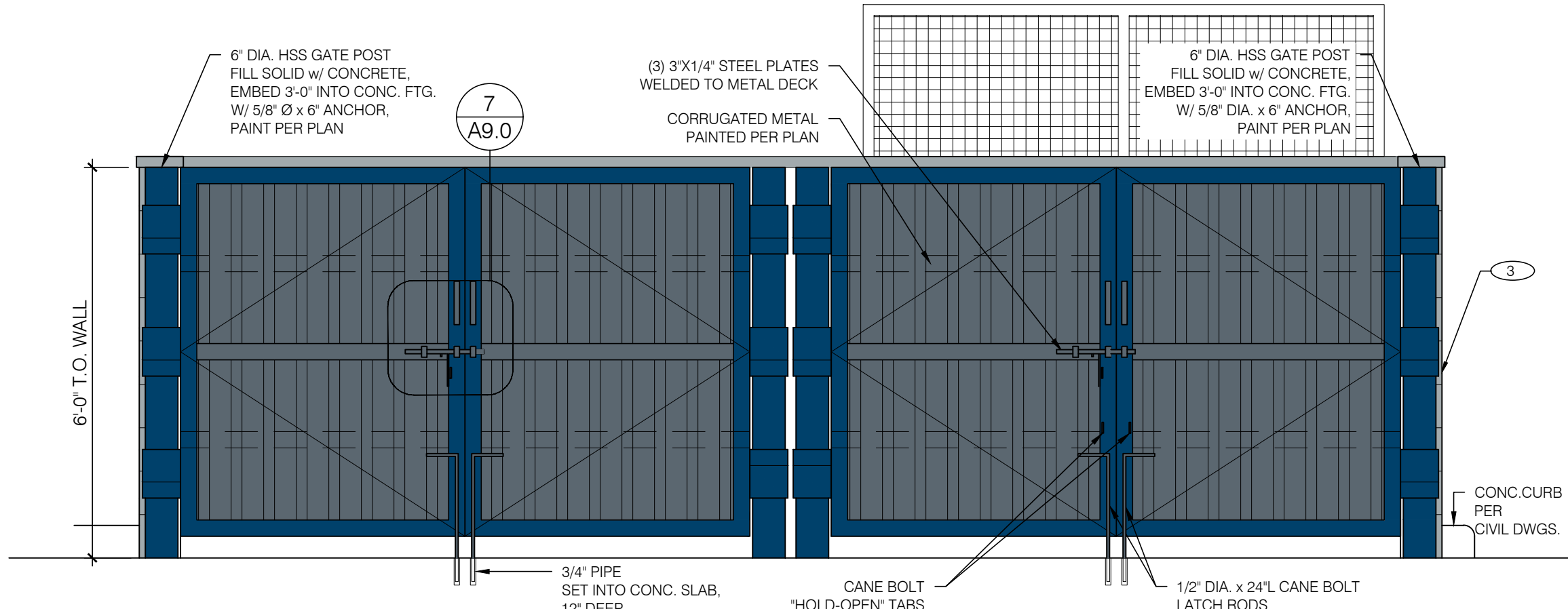


6 TRASH ENCLOSURE GATE JAMB DETAIL
SCALE: 1-1/2" = 1'-0"

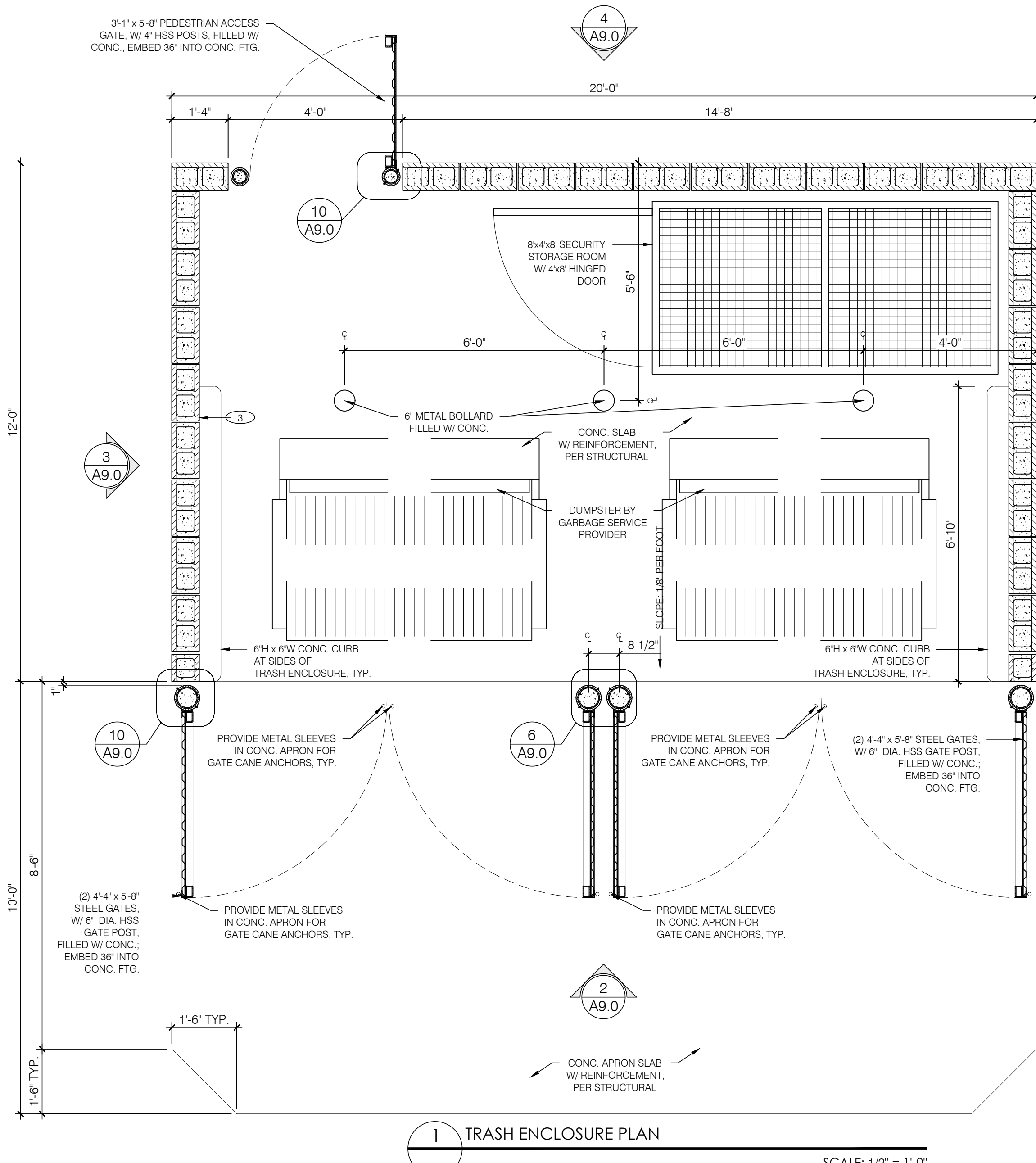
TRASH ENCLOSURE MATERIALS				
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	SPLIT FACE 8X8X16	MUTUAL MATERIALS/WILLAMETTE	CHARCOAL	IF INTEGRAL COLOR BLOCK IS UNAVAILABLE, BLOCK TO BE STAINED TO MATCH.
	CMU CAP	WILLAMETTE-GRAYSTONE	CHARCOAL	12X16X2
PT-2	PAINT	SHERWIN-WILLIAMS	8656-11295 - BLDG DB DARK GRAY	BLDG DB DARK GRAY, GATES BODY
PT-3	PAINT	SHERWIN-WILLIAMS	8656-12045 - BLDG DB BLUE	BLDG DB BLUE, GATE FRAMES & POSTS

TRASH ENCLOSURE GENERAL NOTES:

- REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
- PROVIDE LOCKING MECHANISM ON MAIN DOORS AND PEDESTRIAN DOOR
- PROVIDE SITE LIGHTING AT TRASH ENCLOSURE. MIN. 5 FOOT CANDLE.
- GATE TO BE BUILT WITH 1-1/2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED BLACK IN COLOR.
- ALL CONCRETE TO BE MIN. 3000 PSI IN 28 DAYS.
- REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS (GENERAL NOTES) AND TYPICAL DETAILS FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL.



2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



ARMET DAVIS NEWLOVE &
ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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Project No: TX1203
Dutch Bros Coffee - New Freestanding Store
DB2040 - A1
20325 IH 35
KYLE, TX 78640
APN:

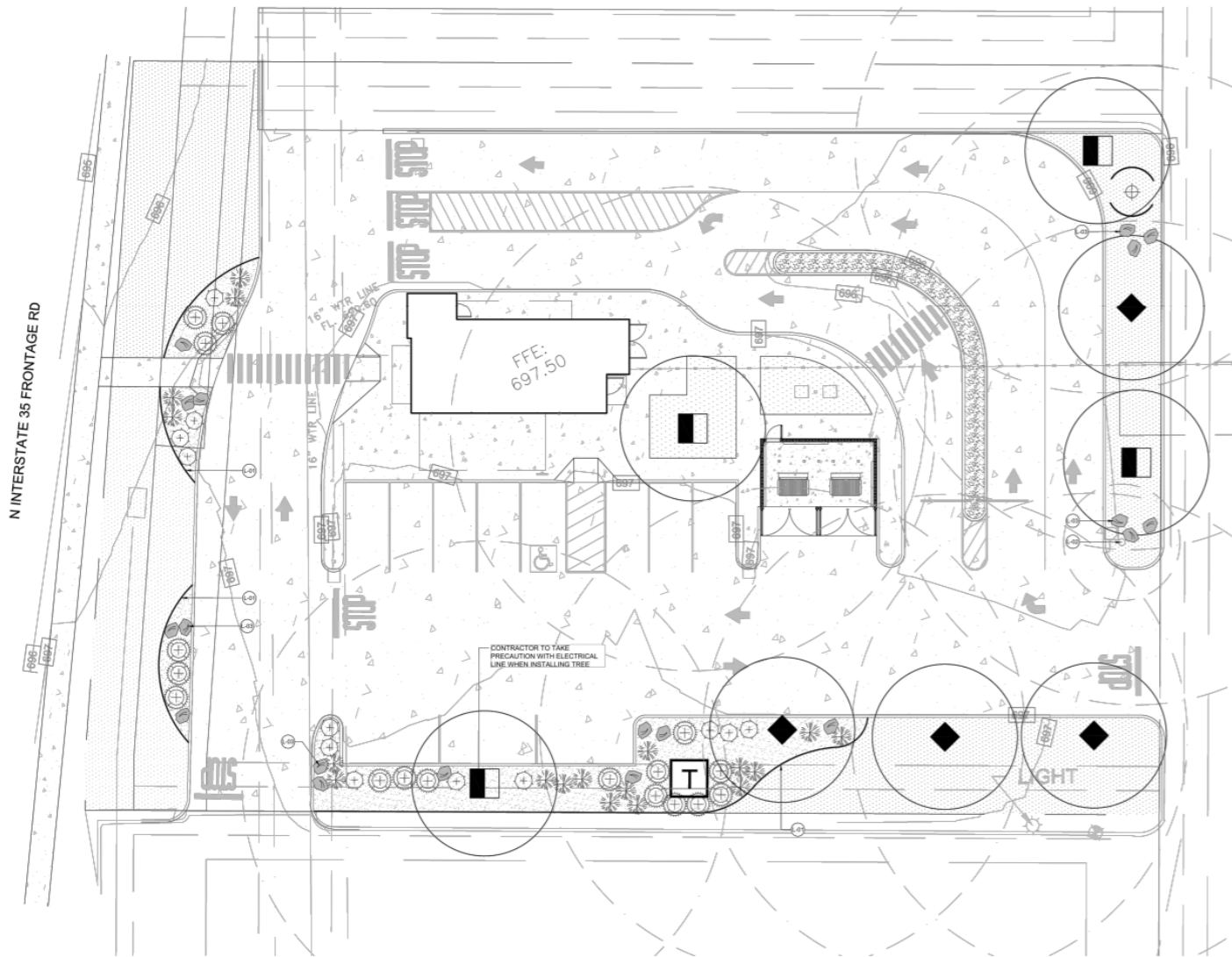
DATE: 06/08/21
REV: DATE: DESCRIPTION:

SHEET NAME:

TRASH ENCLOSURE
PLAN/ ELEVATIONS
COLOR

SHEET NUMBER:

A9.1



KEY LEGEND

NOTE: ITEMS LISTED BELOW REFERENCE ALL LANDSCAPE SHEETS. QUANTITIES ARE INCLUDED FOR CONTRACTOR CONVENIENCE AND CONTRACTOR SHALL VERIFY ASSOCIATED QUANTITIES.

SYM	DESCRIPTION	QTY
L-01	STEEL EDGING, TYP., REF. DTL. 4/LA.01	249 LF
L-02	EXISTING 24" WILLOW TREE TO BE REMOVED, SEE LANDSCAPE CALC. CHART LA1.00	
L-03	LIMESTONE BOULDER, REF. DET. 5/LA.01	20 EA.

PLANT SCHEDULE

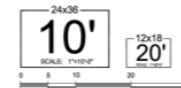
TREES	COMMON / BOTANICAL NAME
□	MEXICAN SYCAMORE PLATANUS MEXICANA
◆	SOUTHERN LIVE OAK QUERCUS VIRGINIANA
SHRUBS	COMMON / BOTANICAL NAME
⊕	DWARF WAX MYRTLE MYRTICA PUSILLA
⊕	GREEN CLOUD TEXAS SAGE LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM
⊕	PINK MUHLER GRASS MUHLBERGIA CAPILLARIS
GROUND COVERS	COMMON / BOTANICAL NAME
■	RIVER ROCK 2" - 4" GREAT PLAINS GRAVEL
■	BERMUDA GRASS CYNODON DACTYLON
■	1/4" GRANITE GRAVEL MULCH

TREE LEGEND

- SAVED TREE
- REMOVED TREE
- 50' OFFSET FROM TREE TO PARKING SPACE

GENERAL LANDSCAPE NOTES:

- A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANTS.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND HERITAGE TREES AND THAT ANY TRIMMING OF LIMBS OF DESIGNATED HERITAGE TREES MUST REQUIRE AN ARBORIST AND LANDSCAPE ARCHITECT ON-SITE PRIOR TO ANY WORK PERFORMED.
- TREES TO BE LOCATED A MINIMUM OF 4' FROM BACK OF CURB



SUBMISSIONS | REVISIONS:

07.30.2021	100% CITY OF KYLE SITE DEVELOPMENT PERMIT SET
10.05.2021	ROUND 2 SUBMITTAL
11.10.2021	ROUND 3 SUBMITTAL

NOT FOR CONSTRUCTION

The Texas Board of Architecture Examiners, P.O. Box 12037, Austin, Texas 78711-0327 or 555 Guadalupe, Suite 3-600, Austin, Texas 78701-0400, (737)222-6800. See guidelines for individuals licensed under the landscape architecture registration law, Texas Civil Statutes, Article 2491.

studio lb:ig

design + architecture + interior
200 W. 10th Street, Suite 100
Austin, TX 78701
P: 512.552.3079
F: 512.552.3079
www.studiolb:ig.com



This document is an instrument of service prepared by the signatory on behalf of the State of Texas, P.O. Box 12037, Austin, Texas 78711-0327 or 555 Guadalupe, Suite 3-600, Austin, Texas 78701-0400, (737)222-6800. See guidelines for individuals licensed under the landscape architecture registration law, Texas Civil Statutes, Article 2491.

civil engineer ::

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stephen delgado
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F: 512.552.3079
www.studiolb:ig.com

architect ::

studio lb:ig
1001 W. 10th Street, Suite 100
Austin, TX 78701
P: 512.552.3079
F: 512.552.3079
www.studiolb:ig.com

owner ::

endeavor real estate group (ERIG)

dan frey
500 West 5th Street, Suite 700
Austin, TX 78701

dfrey@ENDEAVOR.RE.com

**DUTCH BROTHERS
COFFEE SHOP**
NEC INTERSTATE HIGHWAY 35
KYLE, TEXAS 78640

sheet information ::

project #: 20.629
date :: 11.10.2021
designed :: jw, ym
drawn :: jw, ym
checked :: jw
approved :: jw

LA1.01

LANDSCAPE PLAN

**** Electronically Filed Document ****

**Hays County Texas
Liz Q. Gonzalez
County Clerk**

Document Number: 2016-16002548

Recorded As : ELECTRONIC RECORDING

Recorded On: January 26, 2016

Recorded At: 11:39:38 am

Number of Pages: 6

Recording Fee: \$42.00

Parties:

Direct- SCC KYLE PARTNERS LTD
Indirect- CANDIES OTTO JR

Receipt Number: 419329

Processed By: Christina Rodriguez

***** THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY
because of color or race is invalid and unenforceable under federal law.



I hereby certify that this instrument was filed for record in my office on the date and
time stamped hereon and was recorded on the volume and page of the named records
of Hays County, Texas

A handwritten signature in black ink, appearing to read "Liz Q. Gonzalez". The signature is written in a cursive, flowing style.

Liz Q. Gonzalez, County Clerk

Item # 10

SPECIAL WARRANTY DEED

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

STATE OF TEXAS	§	
	§	KNOW ALL PERSONS BY THESE PRESENTS:
COUNTY OF HAYS	§	

That SCC KYLE PARTNERS, LTD., a Texas limited partnership ("Grantor"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to it in hand paid by OTTO CANDIES, JR. ("Grantee"), whose address is P.O. Box 25, Des Allemands, Louisiana 70030, has GRANTED, SOLD and CONVEYED, and by these presents does hereby GRANT, SELL and CONVEY, unto Grantee all of the real property situated in Hays County, Texas and more particularly described on Schedule 1, which is attached hereto and made a part hereof for all purposes (the "Property"), together with Grantor's rights, titles and interests in all improvements, structures and fixtures located thereon, if any, and all rights, titles and interests of Grantor appurtenant thereto, subject, however, to the matters set forth on Schedule 2 attached hereto and made a part hereof for all purposes (the "Permitted Exceptions"). In addition to the Permitted Exceptions, Grantee agrees that the Property shall be subject to the following restrictions: Building floor area (as those terms are defined and/or used in the Lowe's ECCR, as defined in Schedule 2) on the Property shall not exceed 2,300 square feet.

TO HAVE AND TO HOLD the Property, subject to the Permitted Exceptions, unto Grantee and its successors and assigns forever; and Grantor does hereby bind itself and its successors and assigns to WARRANT AND FOREVER DEFEND all and singular the Property unto Grantee and successors and assigns against every person whomsoever lawfully claiming or to claim the same, or any part thereof, except as to the reservations from and exceptions to conveyance and warranty contained herein, by, through or under Grantor, but not otherwise, subject to the Permitted Exceptions.

SIGNATURES APPEAR ON FOLLOWING PAGE

IN WITNESS WHEREOF, this Special Warranty Deed has been executed by Grantor to be effective as of January 25, 2016.

GRANTOR:

SCC KYLE PARTNERS, LTD., a Texas limited partnership

By: SCC Kyle Partners GP, L.L.C., its general partner

By: 
Scott A. Deskins, President

STATE OF TEXAS

COUNTY OF ~~TRAVIS~~ **TARRANT**

This instrument was acknowledged before me on this 22nd day of January —, 2016, by Scott A. Deskins, President of SCC Kyle Partners GP, L.L.C., the general partner of SCC KYLE PARTNERS, LTD., a Texas limited partnership, on behalf of such partnership.


Notary Public Signature

(PERSONALIZED SEAL)



SCHEDULE 1 TO THE DEED

Property

Lot 1-C of the REPLAT OF LOT 1, BLOCK "B" SETON HAYS COUNTY SUBDIVISION, a subdivision in Hays County recorded in Volume 14, Page 395-399 of the Plat Records of Hays County, Texas.

SCHEDULE 2 TO THE DEED

Permitted Exceptions

1. The following restrictive covenants filed in Volume 14, Page 255 of the Plat Records of Hays County, Texas and Volume 3260, Page 768; Volume 3465, Page 220 and Volume 4408, Page 680 of the Official Public Records of Hays County, Texas; Volume 14, Page 395 of the Plat Records of Hays County, Texas and Volume 3465, Page 169; Volume 3536, Page 598; Volume 3584, Page 54; Volume 3832, Page 366; Volume 4375, Page 321; Volume 4408, Page 694; Volume 4408, Page 721; Volume 4592, Page 188; Volume 4937, Page 333; Volume 4937, Page 320; Volume 4951, Page 360; Volume 4983, Page 839 and Volume 4993, Page 217 of the Official Public Records of Hays County, Texas.
2. An undivided 1/16th interest in all oil, gas and other minerals, together with all rights relating thereto, express or implied, reserved in instrument recorded in Volume 115, Page 588 of the Deed Records of Hays County, Texas.
3. The terms, conditions and stipulations of that certain Affidavit to the Public dated November 29, 2001, recorded in Volume 1912, Page 20 of the Official Public Records of Hays County, Texas
4. The terms, conditions and stipulations of that certain Declaration of Reciprocal Easement Agreement and Covenants, Conditions and Restrictions dated September 28, 2007, recorded in Volume 3260, Page 768 of the Official Public Records of Hays County, Texas and being additionally subject to that certain Agreement dated August 18, 2008, recorded in Volume 3465, Page 220, of the Official Public Records of Hays County, Texas and amended by the First Amendment to Declaration of Reciprocal Easement Agreement and Covenants, Conditions and Restrictions, recorded in Volume 4408, Page 680 of the Official Public Records of Hays County, Texas.
5. Utility easement granted to the City of Kyle, Texas, by instrument dated February 21, 2008, recorded in Volume 3336, Page 38 of the Official Public Records of Hays County, Texas and also shown on the plat recorded in Volume 14, Page 395 of the Plat Records of Hays County, Texas.
6. Waterline easement granted to the City of Kyle, Texas by instrument dated February 21, 2008, recorded in Volume 3336, Page 47 of the Official Public Records of Hays County, Texas.
7. Public utility easement 10 feet in width along the Interstate Highway No. 35 property line(s), as shown by the Plat(s) recorded in Volume 14, Page 255 and Volume 14, Page 395 of the Plat Records of Hays County, Texas.
8. Public utility easement 10 feet in width along all street property line(s), as stated by the Plat(s) recorded in Volume 14, Page 255 and Volume 14, Page 395 of the Plat Records of Hays County, Texas.

9. Building setback 25 feet in width along the Interstate Highway No. 35 property line(s), as shown by the Plat(s) recorded in Volume 14, Page 395 of the Plat Records of Hays County, Texas.

10. The terms, conditions and stipulations of that certain Easements, Covenants, Conditions and Restrictions dated August 15, 2008, recorded in Volume 3465, Page 169 of the Official Public Records of Hays County, Texas and being affected by First Amendment to Easements, Covenants, Conditions and Restrictions, recorded in Volume 4408, Page 694 of the Official Public Records of Hays County, Texas (the "Lowe's ECCR").

11. Water easement granted to the City of Kyle, Texas, by instrument dated October 2, 2008, recorded in Volume 3494, Page 1 of the Official Public Records of Hays County, Texas, as shown on the Survey.

12. The terms, conditions and stipulations of that certain Pole Sign License Agreement dated March 4, 2009, recorded in Volume 3617, Page 289 of the Official Public Records of Hays County, Texas.

13. The terms, conditions and stipulations of that certain Easements with, Covenants and Restrictions Affecting Land ("ECR") dated August 10, 2012, recorded in Volume 4408, Page 721 of the Official Public Records of Hays County, Texas.

14. The terms, conditions and stipulations of that certain License Agreement dated January 29, 2009, recorded in Volume 3584, Page 61 of the Official Public Records of Hays County, Texas.

15. The terms, conditions and stipulations of that certain Cross-Access Easement Agreement dated March 22, 2013, recorded in Volume 4592, Page 202 of the Official Public Records of Hays County, Texas.

16. Utility easement granted to Pedernales Electric Cooperative, Inc., by instrument dated August 7, 2013, recorded in Volume 4739, Page 418 of the Official Public Records of Hays County, Texas.

17. The terms, conditions and stipulations of that certain Declaration of Supplemental Agreement Regarding Easement, Covenants, Conditions and Restrictions dated May 28, 2014, recorded in Volume 4937, Page 320 of the Official Public Records of Hays County, Texas and recorded in Volume 4951, Page 360 of the Official Public Records of Hays County, Texas.

18. The terms, conditions and stipulations of that certain Signage Assignment Agreement dated May 23, 2014, recorded in Volume 4937, Page 327 of the Official Public Records of Hays County, Texas.

11-GF# 201502368A *um*
RETURN TO: HERITAGE TITLE
401 CONGRESS AVE., STE.1500
AUSTIN, TEXAS 78701

LANDOWNER AUTHORIZATION AND AFFIDAVIT OF OWNERSHIP

SUBJECT PROPERTY INFORMATION

Subdivision Name, Block, Lot, or legal description if not subdivided: Seton Hays County Subdivision Replat of Lot 1, Block B
of lots (if subdivided): 1 # of acres: 0.7707 ac
Site APN/Property ID #(s): R130394
Location: 20325 I-35, Kyle, TX 78640 County: Hays
Development Name: Dutch Brothers Coffee Shop

OWNER

Company/Applicant Name: Estate of Otto B Candies Jr, Otto B Candies III, Executor
Authorized Company Representative (if company is owner): Otto B Candies III
Type of Company and State of Formation: _____
Title of Authorized Company Representative (if company is owner): _____
Applicant Address: 17271 Hwy 90, Des Allemands, LA 70030
Applicant Fax: _____
Applicant Phone: (504) 469-7700
Applicant/Authorized Company Representative Email: otto3@ottocandies.com

APPLICANT REPRESENTATIVE

Check one of the following:

_____. I will represent the application myself; or

X I hereby designate Stephen Delgado (name of project representative) to act in the capacity as the agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

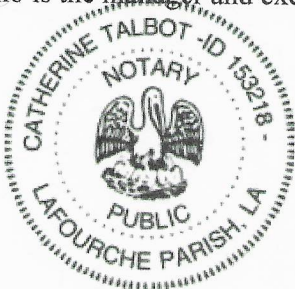
I hereby certify that the above-named owner is the rightful owner of the Property. I am either the owner of the property identified above or a partner/manager/officer/director/member of the company who is authorized to act on behalf of the company. I further certify that the information provided herein and in the application for the development is true and correct. By signing below, I agree that the City of Kyle (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public.

Owner's Signature: *Otto Candies III* Date: 23 August 2021

State of Louisiana §
§

Parish of St. Charles §

This instrument was acknowledged before me on the 23rd day of August, 2021 by Otto Candies, III who is the manager and executor of Otto B. Candies Estate, a Louisiana entity.



PROJECT REPRESENTATIVE

SUBSCRIBED AND SWORN TO before me, this the 23rd day of August, 2021.

Catherine Talbot
Notary Public's Signature

Up on my death

My Commission Expires

Notary ID Number 153218

Commissioned in Lafourche Parish

with Statewide Jurisdiction

Representative Name: Stephen Delgado

Representative Address: 805 Las Cimas Parkway, Suite 310, Austin, TX 78746

Representative Phone: (512) 904-0505

Representative Email: sdelgado@atwell-group.com

Representative's Signature:



Date: August 18, 2021



CITY OF KYLE, TEXAS

Midas Automotive Experts -
Conditional Use Permit (CUP-21-
0045)

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Consider a request to construct an approximately 5,031 square foot free standing building and site plan for property located at 2325 Kohler's Crossing within the I-35 zoning overlay district. (Midas Automotive Experts - Conditional Use Permit - CUP-21-0045)

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Staff Memo
- ☐ Summary Letter
- ☐ Colored Elevations
- ☐ Renderings
- ☐ Landscape Plan
- ☐ Landowner Authorization Letter



CITY OF KYLE

Community Development Department



MEMORANDUM

TO: Planning & Zoning Commission

FROM: Will Atkinson – Senior Planner

DATE: Tuesday, February 8, 2021

SUBJECT: Midas Automotive Experts (CUP-21-0041)

REQUEST

The applicant seeks to construct an approximately 5,031 square foot Midas Automotive Experts free standing building and site plan. The building will consist of 686 square feet of office area and 4,345 square feet of shop area. The building façade is comprised of a 4' high wrap of blended limestone veneer, tan and red CMU & black awnings covering primary entrances and windows. Appropriate architectural features such as varied roof elevation, canopies, and windows complete the design.

LOCATION

The property is located at 2325 Kohler's Crossing, Kyle, TX 78640, mid-block between IH-35 and Kyle Crossing.



OVERLAY DISTRICT

The I-35 overlay district. The Interstate Highway 35 corridor conditional use overlay district (the I-35 overlay district) extends from the northernmost city limit boundary at I-35 to the southernmost city limit boundary at I-35, and includes all real property within 1,500 feet of the outer most edge of the highway right-of-way of I-35. Sec. 53-899 is the code section staff uses to review for aesthetic compliance.

TEXT OF THE ZONING ORDINANCE

Sec. 53-896. - Standards for review.

- (a) The planning and zoning commission shall determine whether the application and project is consistent and compliant with the terms and intent of this division, this chapter, chapter 32, article II, pertaining to the site development plan, and all other codes and ordinances of the city. The planning and zoning commission will determine if the proposed use, occupancy and structure will promote, preserve, and enhance, and will not damage or detract from the distinctive character of the community; will preserve and protect property values and taxable values; will not be detrimental or inconsistent with neighboring uses and occupancies; will not be detrimental to the general interests of the citizens; and will not be detrimental to the public health, safety and welfare. In conducting its review, the planning and zoning commission shall make examination of and give consideration to the traffic flow, development density, neighboring historical designs, neighboring uses, and elements of the application, including, but not limited to:
- (1) Height, which shall conform to the requirements of this chapter;
 - (2) Building mass, which shall include the relationship of the building width to its height and depth, and its relationship to the visual perception;
 - (3) Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including, but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
 - (4) Roof shape, which shall include type, form, and materials;
 - (5) Materials, texture, and color, which shall include a consideration of material compatibility among various elements of the structure;
 - (6) Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
 - (7) Landscape design and plantings, which shall include lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;
 - (8) Vehicular and pedestrian access, which shall include location, width, and type of surface for all points of ingress and egress;
 - (9) Signage, which shall include, in addition to the requirements chapter 29, pertaining to signs, the appropriateness of signage to the building in relation

location, historical significance of the structure and neighboring structures, traffic visibility; obstruction of views from neighboring property;

- (b) The planning and zoning commission may request from the applicant such additional information, sketches, and data as it shall reasonably require. It may call upon experts and specialists for testimony and opinion regarding matters under examination. It may recommend to the applicant changes in the plans it considers desirable and may accept a voluntary amendment to the application to include or reflect such changes. The planning and zoning commission shall keep a record of its proceedings and shall attach to the application copies of information, sketches, and data needed to clearly describe any amendment to the application.
- (c) If the conditional use permit is granted by the planning and zoning commission, the applicant shall be required to obtain a building permit and/or a development permit, if required, provided all other requirements for a building permit and/or a development permit are met. The building permit and/or a development proposal as approved shall be valid from one year from the date of approval. The planning and zoning commission may grant an extension of the one-year limitation if sufficient documentation can be provided to warrant such an extension.

STAFF ANALYSIS

Staff has reviewed the request and has made the following findings:

1. The proposed building exceeds the intent and requirements of the Retail Services zoning standards for the building and site work;
2. The architecture style of the building meets the intent and requirements in the I-35 Overlay;
3. Glass, segmented roll-up doors are compliant with the I-35 Overlay;
4. Materials types and specific colors are available on the elevation sheet;
5. The overall design aesthetic and color palette does match the current ideals within the I-35 Overlay standard for the preferable appearance of the Kyle I-35 corridor.

The site plan shown as an exhibit is code compliant and matches the proposed building for both the Retail Services zoning district and I-35 Overlay. The building meets and exceeds the requirements for a minimum of 90% four sided masonry (100% masonry).

RECOMMENDATION

Staff has reviewed the color elevations for compliance with the Sec. 53-899 (I-35 Overlay design standards), and the plans are compliant. Staff recommends approval of the conditional use permit (CUP-21-0045).

ATTACHMENTS

1. Exterior elevations
2. Renderings
3. Landscape plan
4. Deed
5. Landowner Authorization Letter



December 16, 2021

City of Kyle
Planning & Community Development
100 West Center Street,
Kyle, Texas 78640

Reference Permit # - BLC2021-0762
Midas Automotive Experts – Kyle Towne Center
2325 Kohlers Crossing,
Kyle, Texas 78640

Summary Request Letter

To: William Atkinson – Senior Planner


Mr. Atkinson,

Please find submitted our application for Conditional Use Permit in the I-35 Overlay District our Midas-Automotive Experts Auto Repair Shop. This project will consist of a 5,031 SF Concrete Masonry Unit Block & Conventional Steel Frame building with 686 SF of Interior Finish-Out and 4,345 SF of Shop. The Interior Finish-Out will consist of Waiting Area, Office & Restrooms.

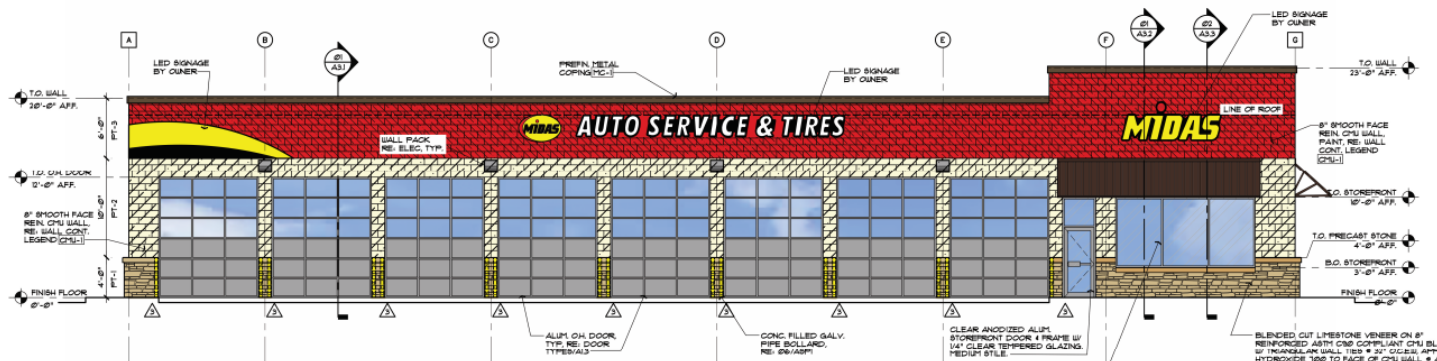
We believe this project adheres to the Section 53-899 I-35 Overlay District Development Standards. The facades create Visual Interest through Vertical Articulation and Glazing on primary facades. Limestone Veneer is present along the street facing façade and all four sides feature variation of Painted Decorative Concrete Masonry Units. The site design includes multiple Landscape Islands with Shade Trees.

Please find included our two-dimensional Rendered & Dimensioned Building Elevations as well as three-dimensional renders of the primary facades. It is our belief this project will Enhance & Protect the character of the City of Kyle and promote Long-Term Vitality and encourage High Quality Development.

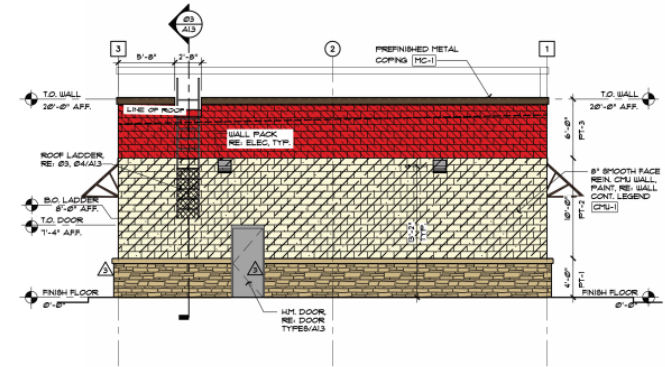
Respectfully,



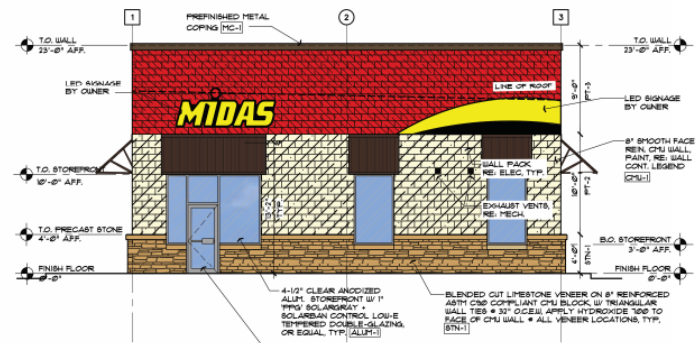
Nate Solis – Project Manager
Villa Park Architecture/Planning/Interiors, PLLC



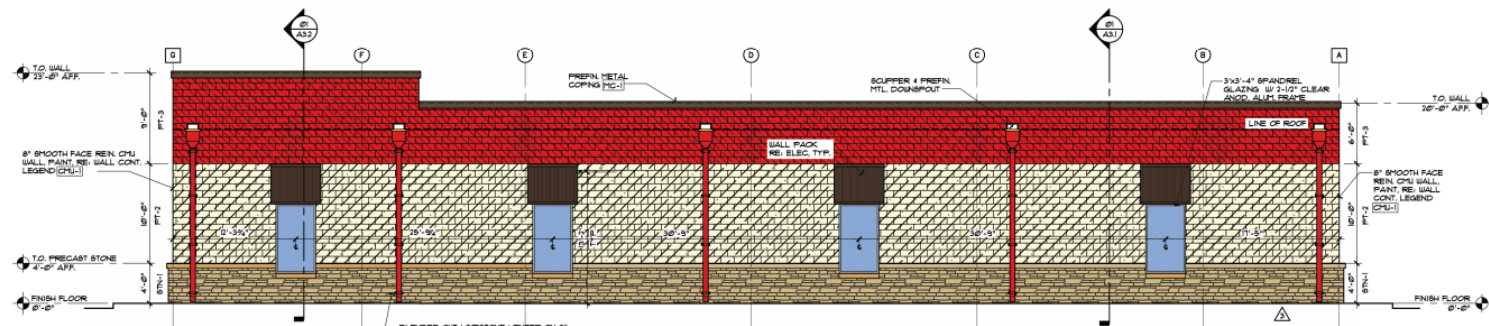
01 WEST ELEVATION
SCALE: 3/8" = 1'-0"



02 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



03 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



04 EAST ELEVATION
SCALE: 3/8" = 1'-0"

FINISH SCHEDULE	
STN-1	BLENDED CUT LIMESTONE VENEER ON 8" CMU BLOCK, 1/2" TRIANGULAR WALL TIES & 3/4" O.C.E.S. APPLY HYDROXIDE TSB TO FACE OF CMU WALL - ALL VENEER LOCATIONS, TYP. STN-1
ALUP-1	ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED ALUMINUM
DS-1	PREFINISHED METAL DOWN SPOUT - COLOR TO BE DETERMINED
HC-1	PREFINISHED METAL COPING - COLOR TO BE DETERMINED
CHU-1	8" SMOOTH FACE GRAY CMU BLOCK
PT-1	PAINT - MIDAS TAN
PT-2	PAINT - MIDAS IVORY
PT-3	PAINT - MIDAS RED

NOTE:
1. ALL PAINT/FINISH/MATERIAL COLORS SUBJECT TO FIELD PICKUP APPROVAL.
2. ALL PAINT TO BE TEXTURED PAINT.

REVISION	DATE	
CITY COMMENTS	8/24/22	Δ
CITY COMMENTS	8/19/22	Δ

300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX 78226
VOICE: (210) 384-8900
FAX: (210) 384-8240
WEB: www.villapark.com
© 2022 by Villapark Architects



ELEVATIONS
MIDAS AUTO SERVICE EXPERTS
KOHLEES CROSSING & H&S
KYLE, TEXAS 78640

DRAWN	NPS
CHECKED	MD
DATE	11/09/2021
PROJECT	MIDAS
JOB NO.	21-225
SHEET	

A21
9 of 12 SHEETS



EAST ELEVATION
2325 KOHLERS CROSSING,
KYLE, TEXAS 78640

01/31/2022


VILLA PARK
ARCHITECTURE/PLANNING/INTERIORS, PLLC
300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX. 78216
(210) 384-8900
www.villapark-sa.com



SOUTH ELEVATION
2325 KOHLERS CROSSING,
KYLE, TEXAS 78640

01/31/2022

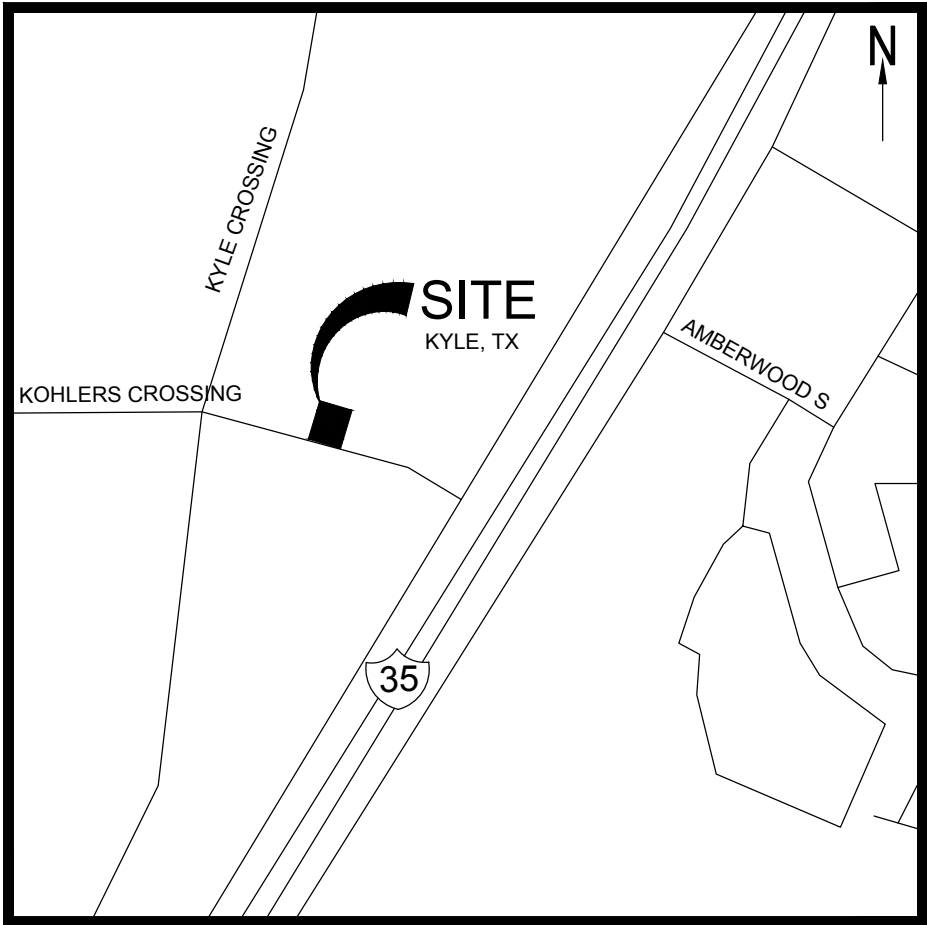

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WEST ELEVATION
2325 KOHLERS CROSSING,
KYLE, TEXAS 78640

01/31/2022


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LOCATION MAP

SCALE: NTS

CITY OF KYLE, TX LANDSCAPE ORDINANCE REQUIREMENTS

LANDSCAPE AREA

- 34,894 SF x 10%
= 3,489 SF LANDSCAPE REQUIRED
= 4,073 SF (11%) LANDSCAPE PROVIDED

FRONT YARD LANDSCAPE

- 3,489 SF x 35%
= 1,221 SF LANDSCAPE REQUIRED
= 1,889 SF (54%) LANDSCAPE PROVIDED

REQUIRED PLANTINGS

- (2) TREES PER 600SF OF REQUIRED LANDSCAPE
(3,489 / 600SF) x 2
= 12 TREES REQUIRED
= 12 TREES PROVIDED
- (4) SHRUBS PER 600SF OF REQUIRED LANDSCAPE
(3,489 / 600SF) x 4
= 23 SHRUBS REQUIRED
= 29 SHRUBS PROVIDED

PARKING PLANTINGS

- PARKING TO BE SCREENED FROM R.O.W. WITH 3'HT. SHRUBS SPACED AT 48"
- NO PARKING SPACE TO BE FURTHER THAN 50LF FROM A TREE

IRRIGATION

- IRRIGATION SYSTEM PROVIDED REF. IRRIGATION DRAWING(S).

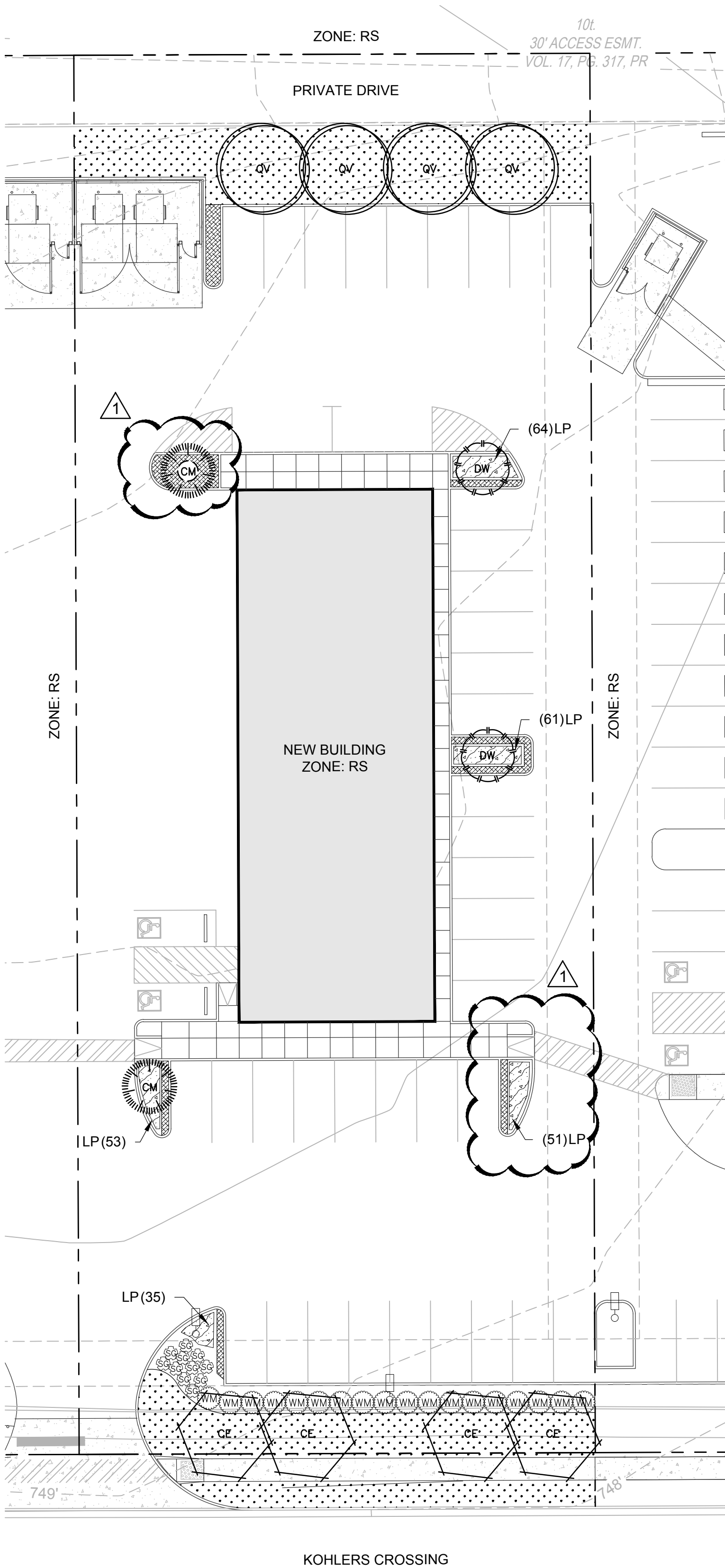
PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
CE	CE	4	CEDAR ELM / ULMUS CRASSIFOLIA MATCHING SPECIMENS	CONT.	3" CAL	12'-14'H, 6'-7'S
DW	DW	2	DESERT WILLOW / CHILOPSIS LINEARIS 'BURGUNDY' MULTI-TRUNK	CONT.	3" CAL	8'-10'H, 4'-5'S
QV	QV	4	SOUTHERN LIVE OAK / QUERCUS VIRGINIANA MATCHING SPECIMENS	CONT.	3" CAL	12'-14'H, 6'-7'S
CM	CM	2	WHITE GRAPE MYRTLE / LAGERSTROEMIA INDICA 'NATCHEZ' MULTI-TRUNK	CONT.	3" CAL	8'-10'H, 2'S
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE	
SG	SG	11	AUTUMN SAGE / SALVIA GREGGII FULL, WELL ROOTED	1 GAL	12"-18" H, 12"-18" S	
WM	WM	18	SOUTHERN WAX MYRTLE / MYRTICA CERIFERA FULL, WELL ROOTED	15 GAL	36"H-24"S	
SHRUB AREAS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE	
LP	LP	264	TRAILING LANTANA / LANTANA MONTEVIDENSIS 'PURPLE' FULL, WELL ROOTED	1 GAL	2'-4"H, 5'-8"S	12" o.c.
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
SOD	SOD	3,351 SF	BERMUDA GRASS VAR. CELEBRATION / CYNODON DACTYLON FRESH CUT SOLID SOD, TIGHT SAND ROLLED JOINTS, WEED FREE	SOD		

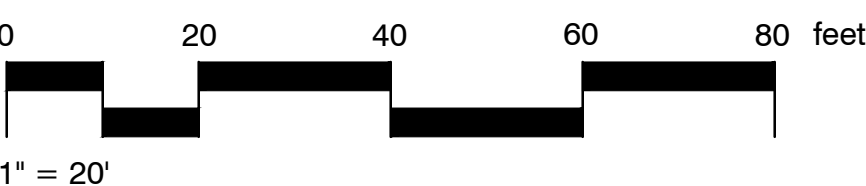
LANDSCAPE MATERIAL SCHEDULE

SYMBOL	CODE	DESCRIPTION	SIZE/ CONDITION
DG	DG	DECOMPOSED GRANITE TEXAS PINK GRANITE	3" DEPTH COMPACTED ON FILTER FABRIC, MIX W/ 80LBS QUICK-CRETE PER TON REFERENCE DETAIL 09/ SHT. L2
EDG	EDG	EDGING ALUMINUM EDGER	3/16" x 4" STAKED; PAINTED GREEN REFERENCE DETAIL 08/ SHT. L2
MUL	MUL	HARDWOOD MULCH DOUBLE SHREDDED	4" DEPTH

- NOTE:**
- EACH NEW TREE IS TO BE GROWN IN A NURSERY (NOT FIELD DUG).
 - BID "UNIT" PRICES FOR ALL ITEMS
 - QUANTITIES ON THE PLANS ARE ESTIMATES ONLY. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND IS RESPONSIBLE FOR INCLUDING IN THE BID THE PLANTING AND/OR INSTALLATION OF ALL ITEMS SHOWN ON THE PLAN IN ACCORDANCE WITH THE SPECIFICATION. ANY ERRORS ON THE PLAN OR QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, BY THE CONTRACTOR, PRIOR TO SUBMITTAL OF THIS BID.
 - ALL TREES TO HAVE SINGLE, STRAIGHT, UNCUT LEADER.



LANDSCAPE PLAN

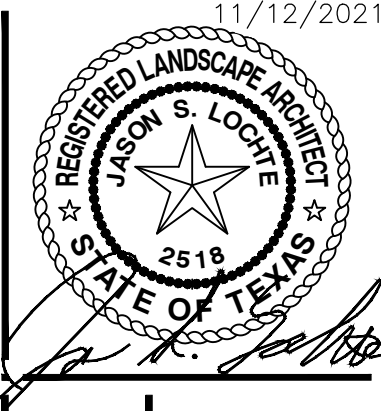


REVISIONS DATE	#
LANDSCAPE ADJ. 11-12-2021	1

These drawings and accompanying specifications are to be an instrument of service and shall remain the property of the architect. They are not to be used on other projects or extensions to this project except by agreement in writing and with appropriate compensation to the architect. Contractor is responsible for confirming and correcting dimensions of the job site. The architect will not be responsible for construction means, methods, techniques, sequence or procedures, or for safety precautions and programs in connection with the project.

300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX 78216
VOICE: (210) 384-8900
FAX: (210) 384-8240
WEB: www.villapark-sa.com
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VILLA PARK
ARCHITECTURE/PLANNING/INTERIORS, PLLC



LANDSCAPE PLAN

MIDAS AUTO SERVICE EXPERTS

KOHLERS CROSSING & IH35,
KYLE, TEXAS 78640

DRAWN BF
CHECKED JL
DATE 11/5/2021
PROJECT MIDAS-KYLE TOWN CENTER
JOB. NO. 21-080
SHEET SHEET

L1

1 OF 5 SHEETS

NOTE: THE SITE INFORMATION SHOWN ON THIS PLAN IS FROM A SITE PLAN PROVIDED BY THE OWNER, ARCHITECT, OR CIVIL ENGINEERING COMPANY HIRED BY THE OWNER. VERIFY ALL DIMENSIONS WITH THE DIMENSIONAL CONTROL PLAN AND COORDINATE WITH ALL OTHER CONTRACT DOCUMENTS ASSOCIATED WITH THIS PROJECT.

LANDOWNER AUTHORIZATION AND AFFIDAVIT OF OWNERSHIP

SUBJECT PROPERTY INFORMATION

Subdivision Name, Block, Lot, or legal description if not subdivided: Kyle Towne Center, Block A, Lot 20
of lots (if subdivided): 1 # of acres: 0.80
Site APN/Property ID #(s): PN537932
Location: 2325 Kohlers Crossing County: Hays
Development Name: Midas Automotive Experts

OWNER

Company/Applicant Name: 35 Kyle Crossing Lot 20 Ltd
Authorized Company Representative (if company is owner): Shane Hesson
Type of Company and State of Formation: Limited Partnership TX
Title of Authorized Company Representative (if company is owner): Principal
Applicant Address: 500 W 5th Street, Suite 700 Austin TX 78701
Applicant Fax: _____
Applicant Phone: 512.682.5516
Applicant/Authorized Company Representative Email: shesson@chendon-re.com

APPLICANT REPRESENTATIVE

Check one of the following:

☐ I will represent the application myself; or

☒ I hereby designate HATHARIEL P. SOUS (name of project representative) to act in the capacity as the agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

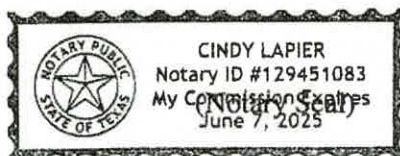
I hereby certify that the above-named owner is the rightful owner of the Property. I am either the owner of the property identified above or a partner/manager/officer/director/member of the company who is authorized to act on behalf of the company. I further certify that the information provided herein and in the application for the development is true and correct. By signing below, I agree that the City of Kyle (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public.

Owner's Signature: [Signature] Date: 12.27.21

State of Texas §

County of Travis §


This instrument was acknowledged before me on (date) by (name of authorized company representative) who is a(n) (member, manager, authorized officer, etc.) of (name of company), a (Texas) (limited liability company, corporation, partnership, etc.).



SUBSCRIBED AND SWORN TO before me, this
the 27 day of December, 2021.

Cindy Lapiere
Notary Public's Signature
June 7, 2025
My Commission Expires

PROJECT REPRESENTATIVE

Representative Name: NATHANIEL P. SOLIS
Representative Address: 300 W. BUTTERS RD, SUITE 201, SAN ANTONIO, TX 78216
Representative Phone: (210) 384-8900
Representative Email: nate@villapark-sa.com
Representative's Signature:  Date: 12/27/2021



CITY OF KYLE, TEXAS

Hays Logistics - Conditional Use Permit (CUP-22-0048)

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Consider a request to construct an approximately 43,803 square foot office/warehouse building and site plan located at 250 Gateway Blvd. within the I-35 zoning overlay district. (Hays Logistics - Conditional Use Permit - CUP-22-0048)

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Staff Memo
- ☐ Summary Letter
- ☐ Renderings, Elevations, Site Plan
- ☐ Landowner Authorization Letter
- ☐ Deed



CITY OF KYLE

Community Development Department



MEMORANDUM

TO: Planning & Zoning Commission

FROM: Will Atkinson – Senior Planner

DATE: Tuesday, February 8, 2021

SUBJECT: Hays Logistics Building (CUP-22-0048)

REQUEST

The applicant seeks to construct an approximately 43,803 square foot office/warehouse building and site plan. The building's side and rear elevations are comprised of pre-cast concrete tilt walls. The front has multi-colored painted panels (3 hues of gray), orange metal mesh screen, and multiple canopies covering entrances/windows.

LOCATION

The property is located at 250 Gateway Blvd, Kyle, TX 78640, approximately 1100' west of IH-35.



OVERLAY DISTRICT

The I-35 overlay district. The Interstate Highway 35 corridor conditional use overlay district (the I-35 overlay district) extends from the northernmost city limit boundary at I-35 to the southernmost city limit boundary at I-35, and includes all real property within 1,500 feet of the outer most edge of the highway right-of-way of I-35. Sec. 53-899 is the code section staff uses to review for aesthetic compliance.

TEXT OF THE ZONING ORDINANCE

Sec. 53-896. - Standards for review.

- (a) The planning and zoning commission shall determine whether the application and project is consistent and compliant with the terms and intent of this division, this chapter, chapter 32, article II, pertaining to the site development plan, and all other codes and ordinances of the city. The planning and zoning commission will determine if the proposed use, occupancy and structure will promote, preserve, and enhance, and will not damage or detract from the distinctive character of the community; will preserve and protect property values and taxable values; will not be detrimental or inconsistent with neighboring uses and occupancies; will not be detrimental to the general interests of the citizens; and will not be detrimental to the public health, safety and welfare. In conducting its review, the planning and zoning commission shall make examination of and give consideration to the traffic flow, development density, neighboring historical designs, neighboring uses, and elements of the application, including, but not limited to:
- (1) Height, which shall conform to the requirements of this chapter;
 - (2) Building mass, which shall include the relationship of the building width to its height and depth, and its relationship to the visual perception;
 - (3) Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including, but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
 - (4) Roof shape, which shall include type, form, and materials;
 - (5) Materials, texture, and color, which shall include a consideration of material compatibility among various elements of the structure;
 - (6) Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
 - (7) Landscape design and plantings, which shall include lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;
 - (8) Vehicular and pedestrian access, which shall include location, width, and type of surface for all points of ingress and egress;
 - (9) Signage, which shall include, in addition to the requirements chapter 29, pertaining to signs, the appropriateness of signage to the building in relation

location, historical significance of the structure and neighboring structures, traffic visibility; obstruction of views from neighboring property;

- (b) The planning and zoning commission may request from the applicant such additional information, sketches, and data as it shall reasonably require. It may call upon experts and specialists for testimony and opinion regarding matters under examination. It may recommend to the applicant changes in the plans it considers desirable and may accept a voluntary amendment to the application to include or reflect such changes. The planning and zoning commission shall keep a record of its proceedings and shall attach to the application copies of information, sketches, and data needed to clearly describe any amendment to the application.
- (c) If the conditional use permit is granted by the planning and zoning commission, the applicant shall be required to obtain a building permit and/or a development permit, if required, provided all other requirements for a building permit and/or a development permit are met. The building permit and/or a development proposal as approved shall be valid from one year from the date of approval. The planning and zoning commission may grant an extension of the one-year limitation if sufficient documentation can be provided to warrant such an extension.

STAFF ANALYSIS

Staff has reviewed the request and has made the following findings:

1. The proposed building exceeds the intent and requirements of the Warehouse & Construction/Manufacturing zoning standards for the building and site work;
2. The architecture style of the building meets the intent and requirements in the I-35 Overlay;
3. Materials types and specific colors are available on the elevation sheet;
4. The overall design aesthetic and color palette does match the current ideals within the I-35 Overlay standard for the preferable appearance of the Kyle I-35 corridor.

The site plan shown as an exhibit is code compliant and matches the proposed building for both the Warehouse & Construction/Manufacturing zoning district and I-35 Overlay. The building meets and exceeds the requirements for a minimum of 90% four sided masonry.

RECOMMENDATION

Staff has reviewed the color elevations for compliance with the Sec. 53-899 (I-35 Overlay design standards), and the plans are compliant. Staff recommends approval of the conditional use permit (CUP-22-0048).

ATTACHMENTS

1. Renderings, Elevations, Landscape Plan
2. Deed
3. Landowner Authorization Letter

WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

01/24/2022

**Planning Technician
City of Kyle
100 W. Center Street
Kyle, Texas 78640**

Request for Conditional Use Permit

**Hays Logistics
250 Gateway Blvd
Kyle, Texas 78640**

We requested a review for a Conditional use Permit for 250 Gateway Blvd, Kyle TX 78640

Best regards,

Ware Malcomb

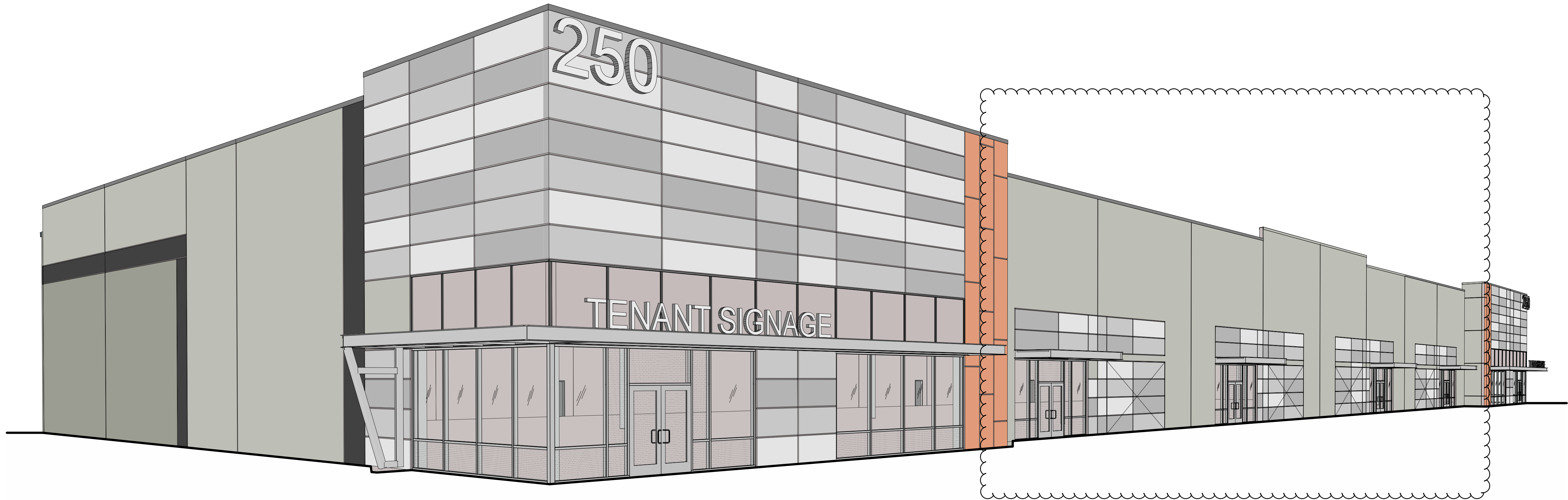


Chris Shem
Project Manager, Architecture and Design

HAYS LOGISTICS

250 GATEWAY BOULEVARD

KYLE, TEXAS 78640



SHEET INDEX

TOTAL
SHEETS
22

ARCHITECTURAL

A0.1 TITLE SHEET
A0.1a PROJECT DATA
A0.2 GENERAL NOTES
A0.3 ACCESSIBILITY DETAILS
A0.3a ACCESSIBILITY DETAILS
A0.5 OCCUPANCY AND EGRESS PLAN
A1.1 SITE PLAN
A2.1 FLOOR PLAN
A3.0 ROOF PLAN
A4.1 EXTERIOR ELEVATIONS
A5.0 BUILDING SECTIONS
A5.1 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
A5.2 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
A5.3 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
A6.1 DETAILS
A6.2 DETAILS
A6.3 DETAILS
A6.4 DETAILS
ARCHITECTURAL SHEET COUNT: 18

STRUCTURAL

S1.00 GENERAL NOTES
S1.01 GENERAL NOTES
S2.01 FOUNDATION PLAN
S2.02 ROOF FRAMING PLAN
S3.01 FOUNDATION DETAILS
S3.02 FOUNDATION DETAILS
S3.03 FOUNDATION DETAILS
S4.01 FRAMING DETAILS
S4.02 FRAMING DETAILS
S4.11 TYPICAL BUILDING SECTION
S5.01 PANEL DETAILS
S5.02 PANEL DETAILS
S5.03 PANEL ELEVATIONS
S5.04 PANEL ELEVATIONS
S5.11 PANEL ELEVATIONS
S5.12 PANEL ELEVATIONS
S5.13 PANEL ELEVATIONS
STRUCTURAL SHEET COUNT: 17

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Houston, TX 77056
713.594.1214



HAYS LOGISTICS
250 GATEWAY BOULEVARD
KYLE, TEXAS 78640

TITLE SHEET

REMARKS

DATE

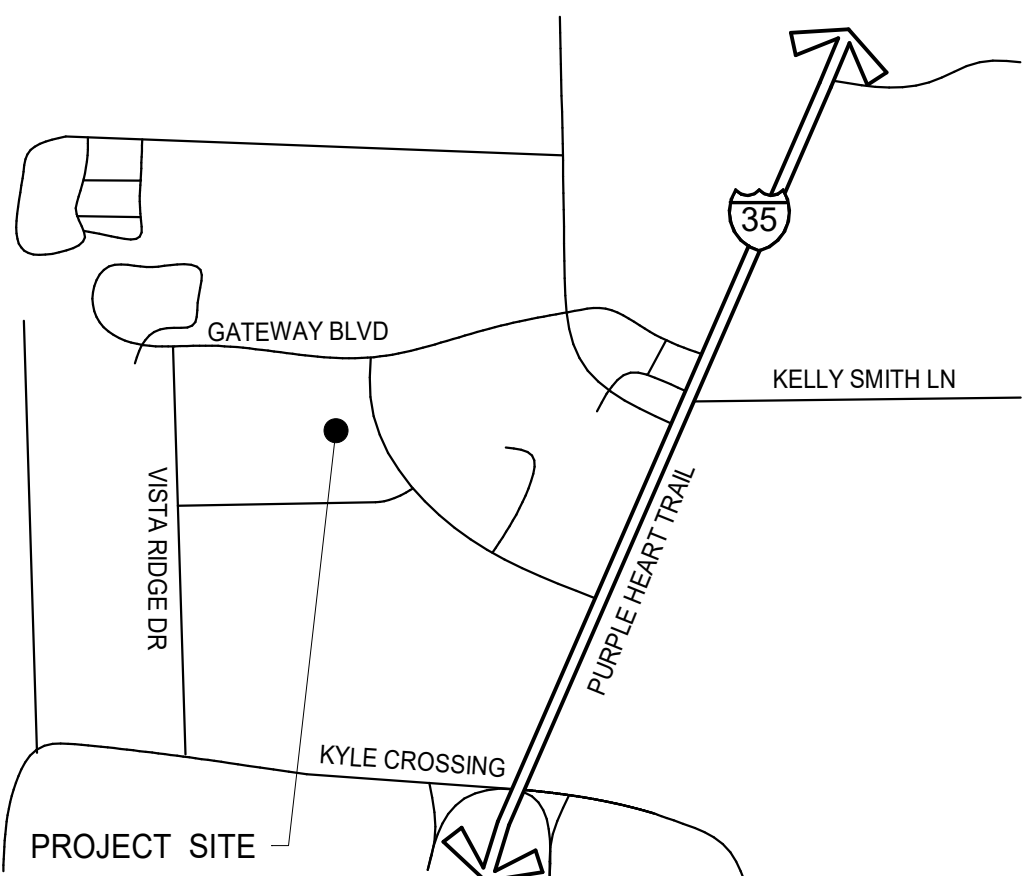
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JOB NO.: HOU20-0016-00

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VICINITY MAP



OWNER

MOMENTUM GLASS
25825 ALDINE WESTFIELD RD.
SPRING, TEXAS 77373

OMAR MAALOUF
PH: (281) 809-2830
EMAIL

GENERAL CONTRACTOR

FCL BUILDERS

11777 KATY FWY, SUITE 350N
HOUSTON, TEXAS 77079

TIM BAKER
PH: (713) 870-5800
tbaker@fclbuilders.com

ARCHITECT

WARE MALCOMB

4900 WOODWAY DRIVE, SUITE 515
HOUSTON, TEXAS 77056

PA/PM NAME
P 281.2514 x 1706
pm@waremalcomb.com

OWNER'S CONSULTANTS

CIVIL ENGINEER

PAPE-DAWSON ENGINEERS, INC.

SHAUNA L. WEAVER
PH: (210) 375-9000 #470

GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS, INC.
5507 INDUSTRIAL OAKS BLVD., SUITE 160
AUSTIN, TX 78735

KYLE DAVENPORT, P.E.
PH: (512) 358-9532

ARCHITECT'S CONSULTANTS

STRUCTURAL ENGINEER

PINNACLE STRUCTURAL ENGINEERS
3120 SW FWY SUITE 410
HOUSTON TEXAS 77098

DONE GREIVE
PH: (713) 807-8911
dg@pinnaclestructural.com

CONTRACTOR'S CONSULTANTS

PLUMBING ENGINEER

DESIGN BUILD BY CONTRACTOR

ELECTRICAL ENGINEER

DESIGN BUILD BY CONTRACTOR

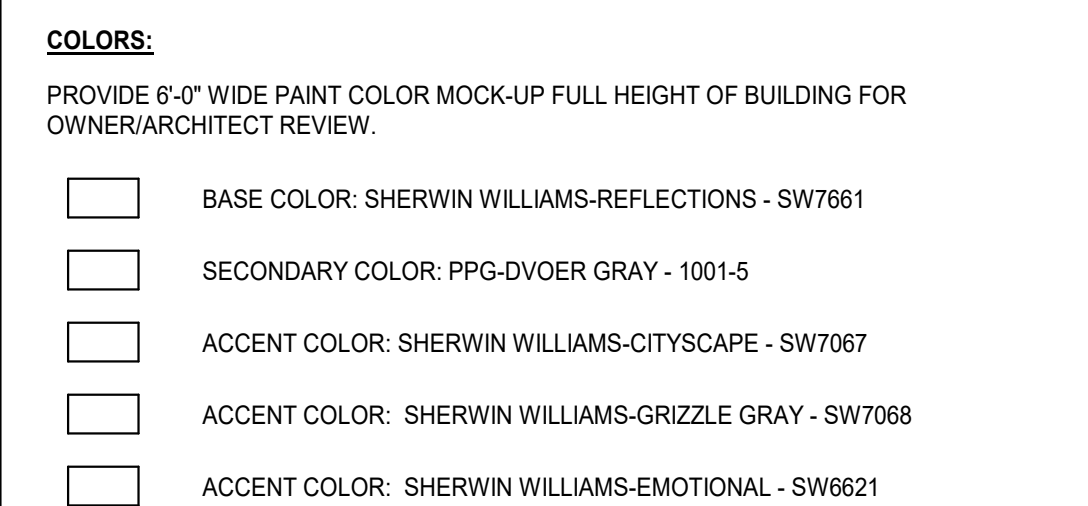
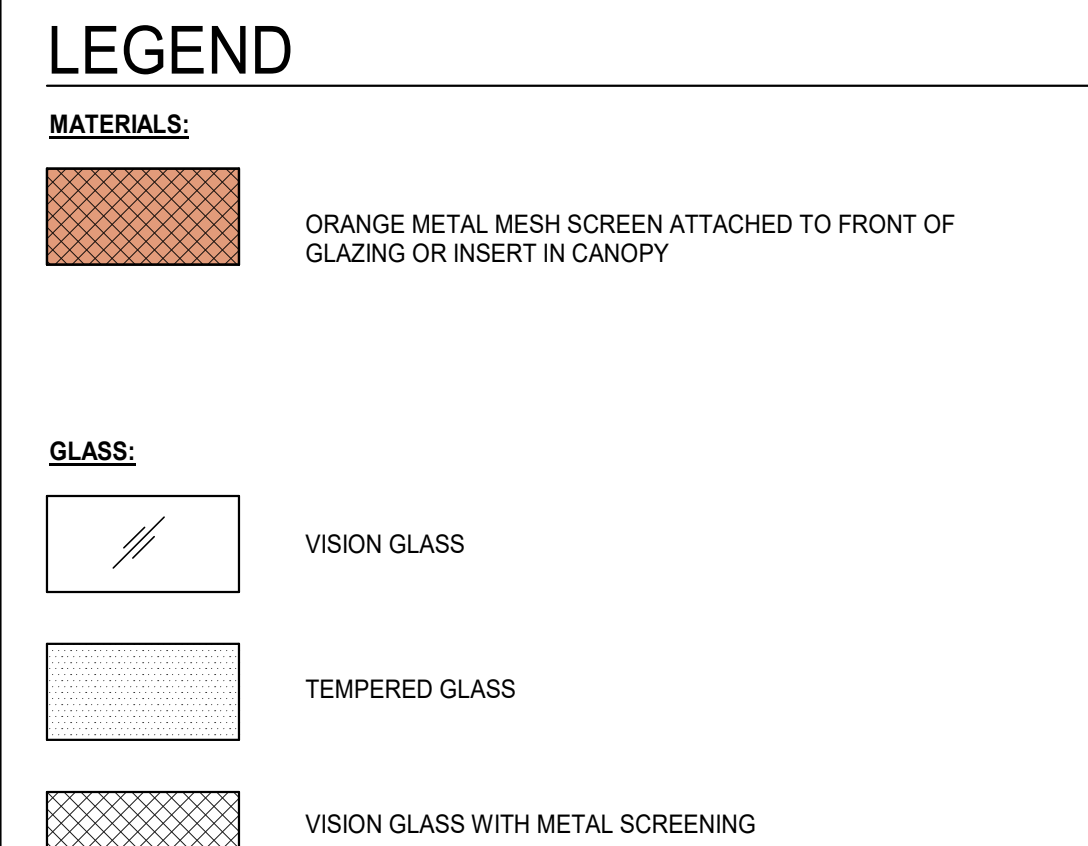
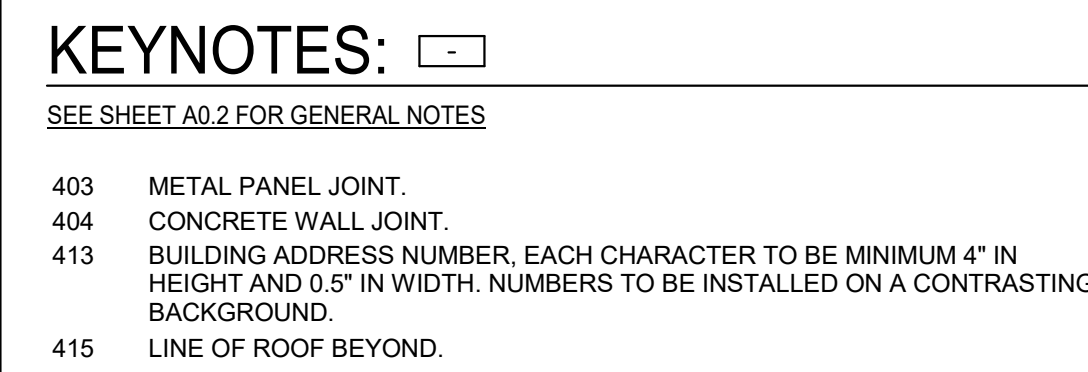
MECHANICAL ENGINEER

DESIGN BUILD BY CONTRACTOR

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER. CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. STOREFRONT AND CURTAIN WALL GLAZING SYSTEMS.



architecture
planning
interiors
graphics
civil engineering

4900 Woodway Drive, Suite 515
Houston, TX 77056
P 281.954.2514



01/28/2021

HAYS LOGISTICS
250 GATEWAY BOULEVARD
KYLE, TEXAS 78640

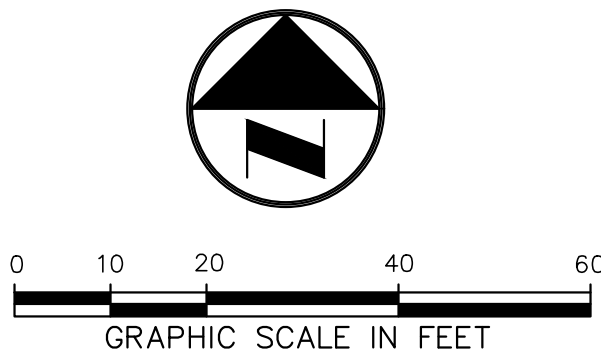
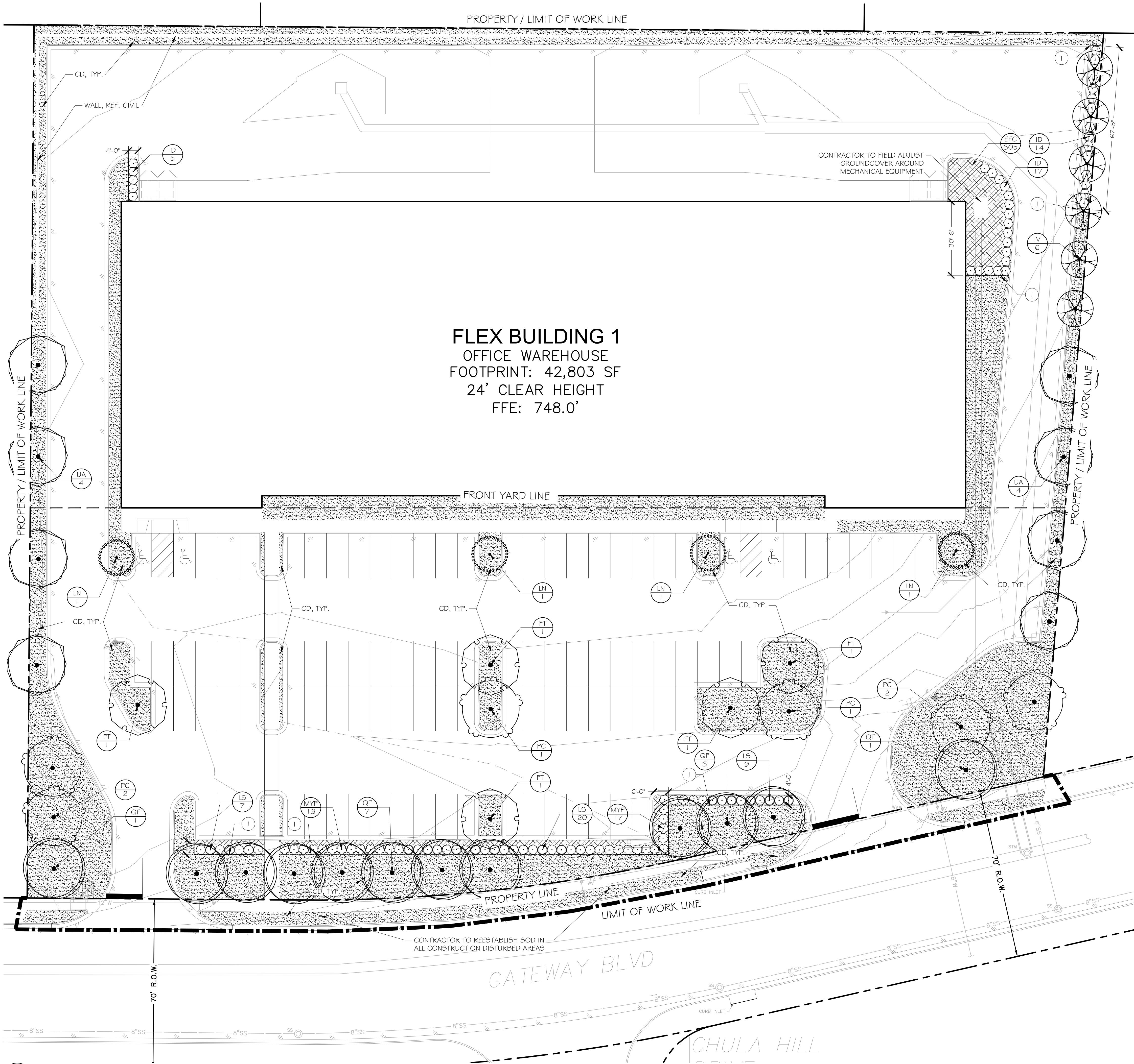
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FLEX BUILDING 1
OFFICE WAREHOUSE
FOOTPRINT: 42,803 SF
24' CLEAR HEIGHT
FFE: 748.0'

PLANTING GENERAL NOTES

- 1. ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- 2. FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- 3. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- 4. WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- 5. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
- 6. ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTORS EXPENSE.
- 7. QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.

CITY NOTES:
The developer and subsequent owners of the landscaped property, or the manager or agent of the owner, shall be responsible for the maintenance of all landscape areas. Said areas shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free of refuse and debris. All planted areas shall be provided with a readily available water supply and watered as necessary to ensure continuous healthy growth and development. Maintenance shall include the replacement of all dead plant material if that material was used to meet the requirements of chapter 41 City of Kyle UDC, pertaining to subdivision regulations.

NOTES:
CONTRACTOR TO REFERENCE CIVIL PLANS FOR ALL SITE HARDSCAPE AND PAVEMENT

REFERENCE NOTES SCHEDULE

PLANT SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
①	STEEL EDGING	318 LF	41/L 01
TREES FT	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS
5	FRAXINUS TEXENSIS TEXAS ASH	65 GAL	SINGLE, STRAIGHT LEADER, MATCHING, MIN 3" CAL, MIN 10' HT
PC	PISTACIA CHINENSIS CHINESE PISTACHE	65 GAL	SINGLE, STRAIGHT LEADER, MATCHING, MIN 3" CAL, MIN 10' HT
QF	QUERCUS VIRGINIANA 'ESCAPMENT' LIVE OAK 'ESCAPMENT'	65 GAL	SINGLE, STRAIGHT LEADER, MATCHING, MIN 3" CAL, MIN 10' HT
UA	ULMUS PARVIFOLIA 'ALLEE' ALLEE ELM	65 GAL	SINGLE, STRAIGHT LEADER, MATCHING, MIN 3" CAL, MIN 10' HT
ORNAAMENTAL TREES IV	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS
4	ILEX VOMITORIA YAUPOIN HOLLY	45 GAL	MULTI-LEADER, 3 CANES, FULL, MATCHING, MIN 3" CAL, MIN 8' HT
LN	LAGERSTROEMIA X 'NATCHEZ' GRAPE MYRTLE	45 GAL	SINGLE TRUNK, FULL, MATCHING, MIN 3" CAL, MIN 8' HT
SHRUBS ID	BOTANICAL / COMMON NAME	SIZE	SPACING
36	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' TEXAS SAGE	5 GAL	48" o.c.
LS	MYRTICA FUSILLA SOUTHERN WAX MYRTLE	5 GAL	48" o.c.
MYP	MYRTICA FUSILLA SOUTHERN WAX MYRTLE	5 GAL	48" o.c.
GROUND COVERS EFC	BOTANICAL / COMMON NAME	SIZE	SPACING
484	EUCHORIS FORTUNEI 'COLORATUS' COLORATUS PURPLE WHITE-CREEPER	4" POT	18" o.c.
SOORSEED CD	BOTANICAL / COMMON NAME	SIZE	SPACING
23,500 SF	OTYDOD DACTYLODI BERMUDA GRASS	500	REMARKS SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

CITY OF KYLE LANDSCAPE REQUIREMENTS

MINIMUM REQUIRED LANDSCAPE AREA	REQUIRED	PROVIDED
20% OF STREET YARD (62,202 X 20% =)	12,440 SQFT	17,900 SQFT
REQUIRED LANDSCAPE PLANTINGS		
EVERY 600 SQFT OF REQUIRED AREA = 2 TREES & 4 SHRUBS	41 T / 83 S	41 T / 102 S
MINIMUM 35% OF REQUIRED PLANTING BETWEEN PROPERTY LINE AND FRONT OF BLDG	YES	YES
TREES TO BE MINIMUM 3" CALIPER SIZE	YES	YES
SHRUBS TO BE 1" GAL SIZE MINIMUM BUT 2" GAL SIZE AVERAGE OVER ENTIRE SITE	YES	YES
50% OF TREES PLANTED TO BE FROM APPROVED PLANT LIST	YES	YES
50% OF TREES REQUIRED IN LANDSCAPE YARD AREA	YES	YES
PARKING LOT PLANTING		
NO PARKING SPACE FARTHER THAN 50 FT AWAY FROM A TREE	YES	YES
PROVIDE MINIMUM 6" WIDTH ISLANDS / PENINSULAS	YES	YES
NO MORE THAN 50% OF PLANTS FROM THE SAME SPECIES PLANTED ON ANY ONE ISLAND	YES	YES
LANDSCAPE ISLAND, MEDIAN, PENINSULA TO BE WITHIN 90 FT OF ENTIRE PARKING SPACE	YES	YES
SCREENING PLANTING		
SCREENING OF PARKING LOTS, LOADING BAYS, EQUIPMENT, ETC	YES	YES
SCREEN PLANTINGS TO BE MIN 30" HEIGHT AND 48" SPACING AT TIME OF PLANTING	YES	YES

REVISIONS	DESCRIPTION	BY
NO.	DATE	

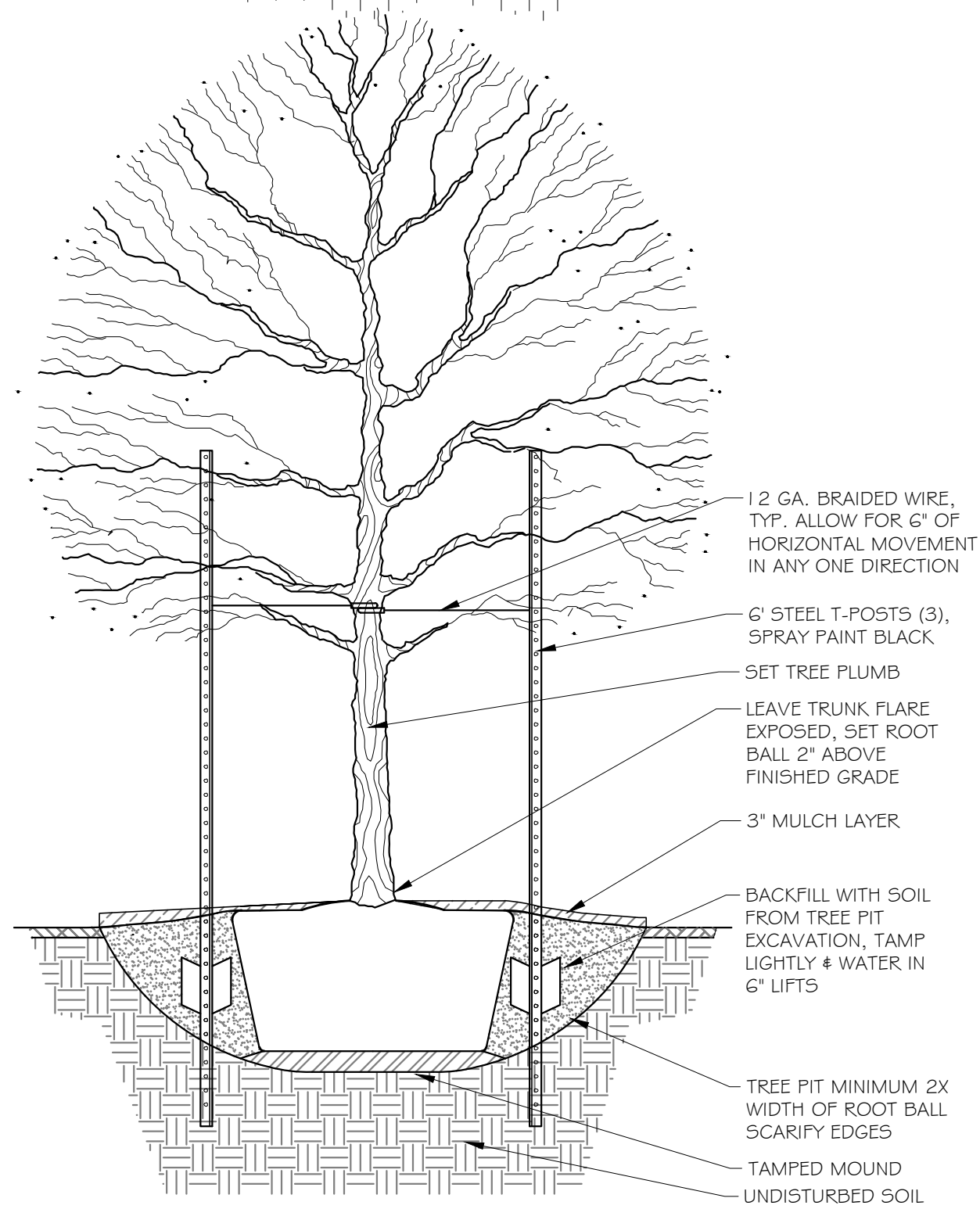
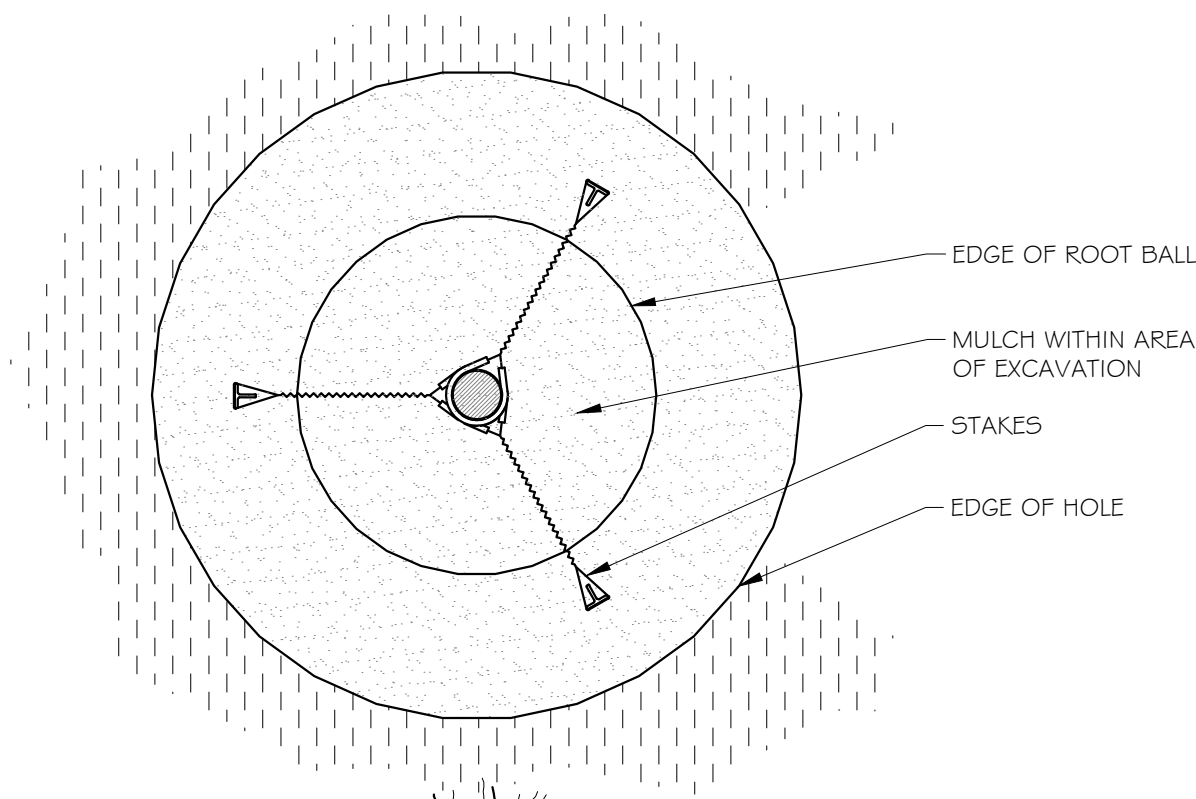
KYLE FLEX OFFICE
FLEX OFFICE BUILDING
ON 3.3 ACRES
PLANTING PLAN



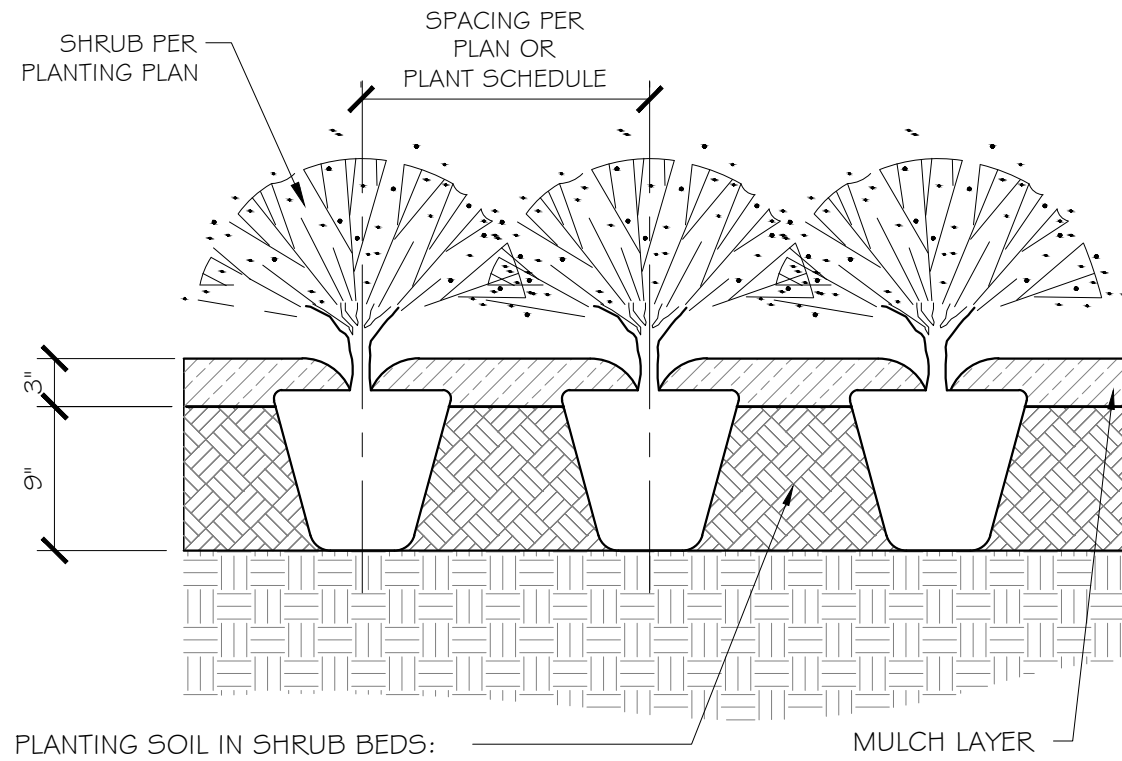
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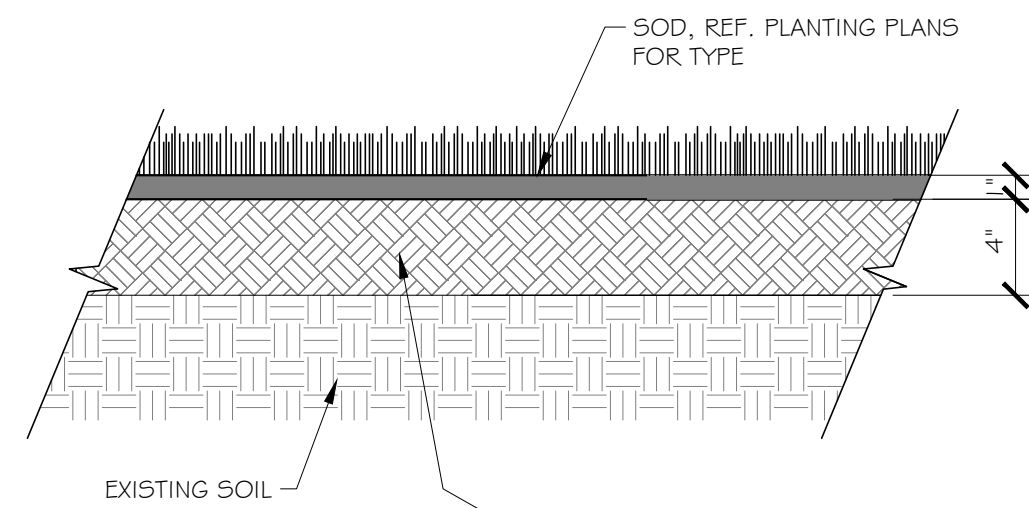


1 CANOPY TREE PLANTING
3/4" = 1'-0"



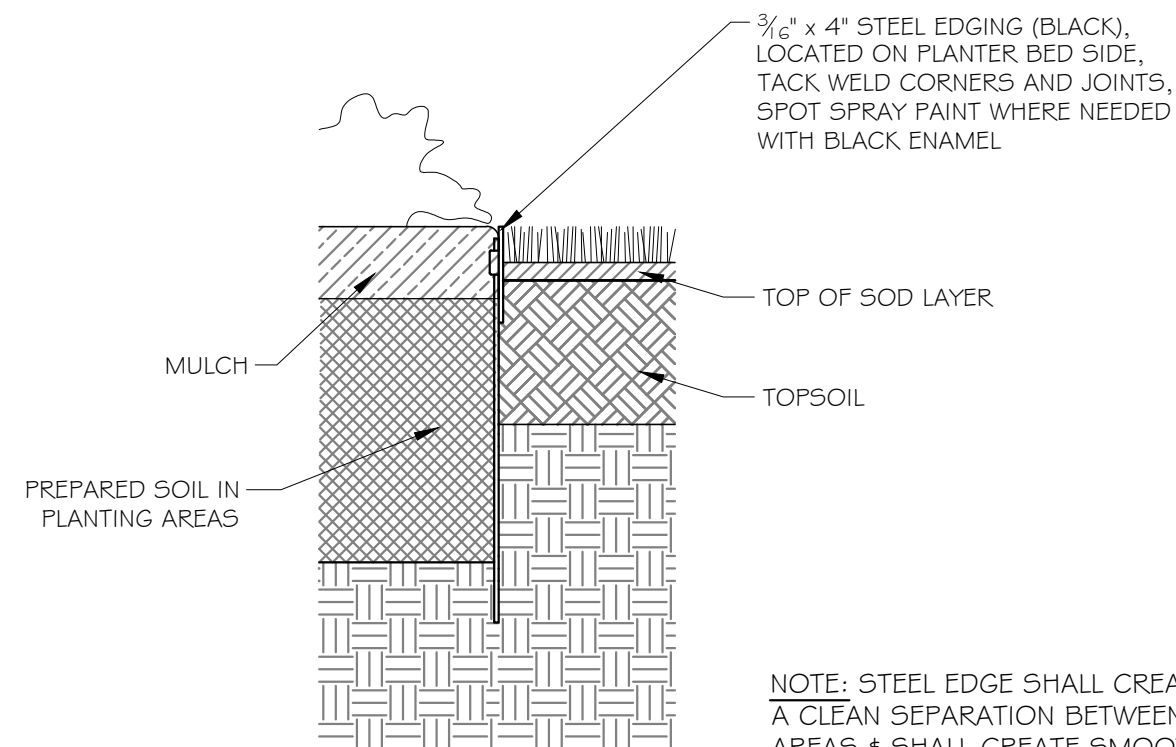
PLANTING SOIL IN SHRUB BEDS:
1. EXCAVATE EXISTING SOILS 4" BELOW ADJACENT CURB OR SIDEWALK.
2. ADD 3" COMPOST & TILL INTO 6" EXISTING SOILS, CREATING 9" PLANTING SOIL.
3. ADD 3" MULCH AFTER PLANTING

2 TYP. SHRUB PLANTING
1" = 1'-0"



TOPSOIL PREP:
1. FINISH GRADE TOPSOIL BY REMOVING STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER TO LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
2. ADD 1" COMPOST ON THE SURFACE, THEN TILL TO 4" DEPTH
3. INSTALL SOD AS SHOWN, REF. PLANTING PLANS FOR TYPE

3 SOIL PROFILE FOR SOD
1 1/2" = 1'-0"



NOTE: STEEL EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS & SHALL CREATE SMOOTH, EVEN LINES (AS INDICATED ON THE PLANS)

4 STEEL EDGING AT PLANTING
1 1/2" = 1'-0"

REVISIONS					
NO.	DATE	DESCRIPTION	BY		

**KYLE FLEX OFFICE
FLEX OFFICE BUILDING
ON 3.3 ACRES
PLANTING DETAILS**



DESIGN	DRAWN	DATE
BBB	BBB	05/10/2021

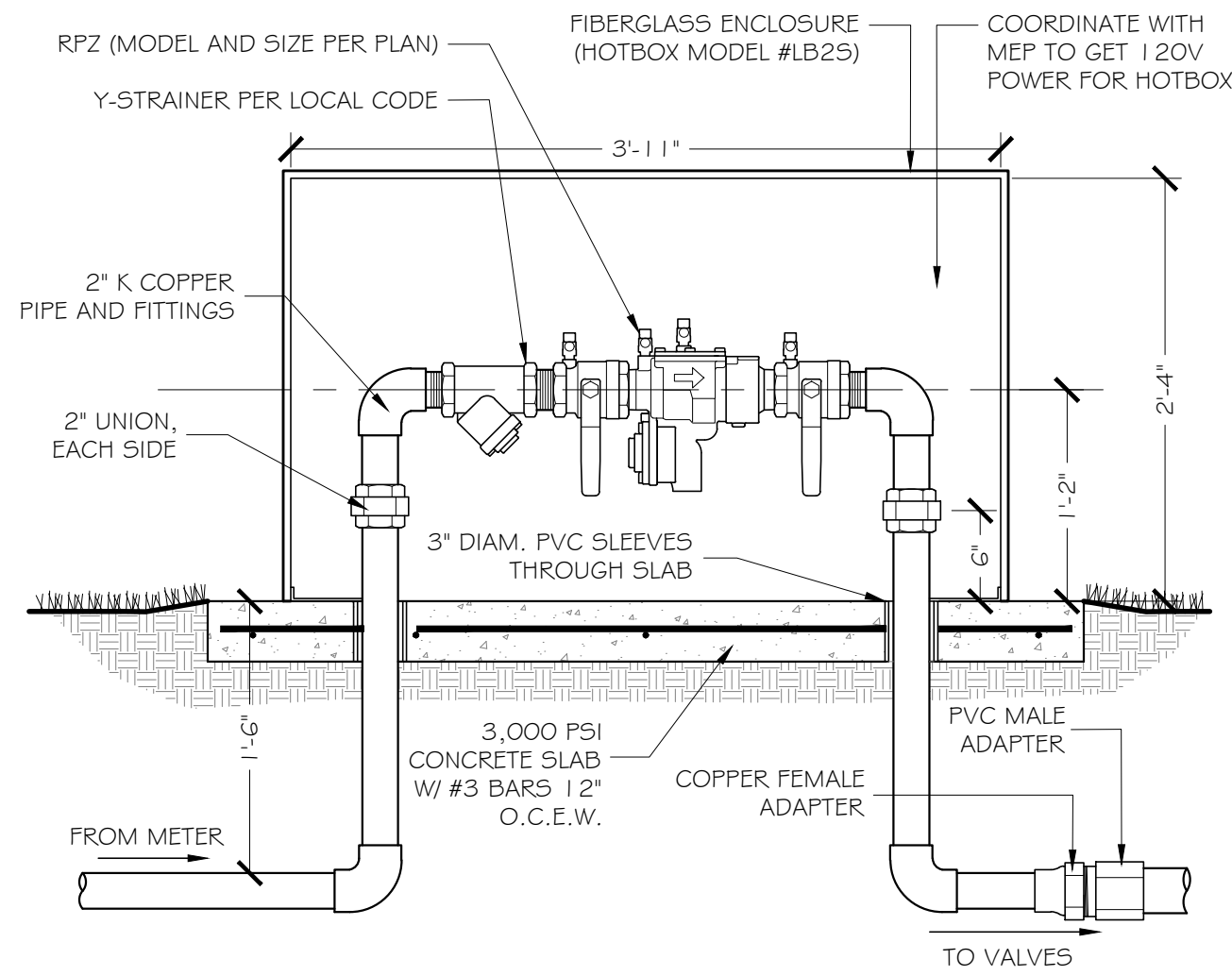
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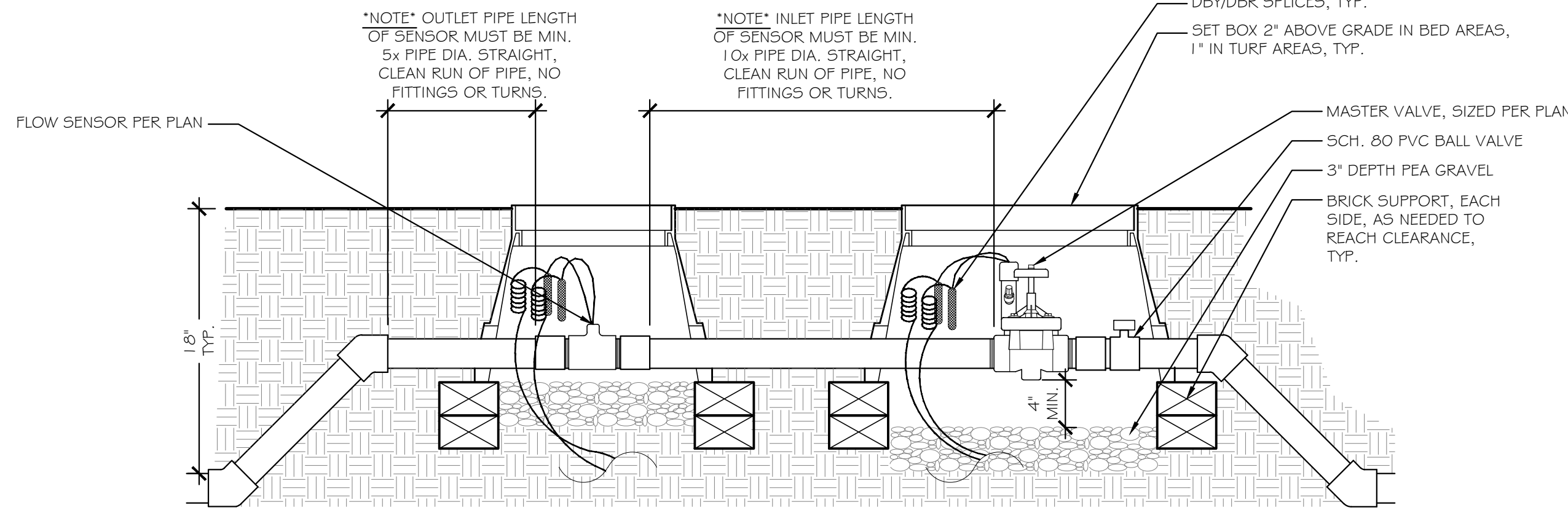
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- A graphic scale bar is shown below the map, marked from 0 to 60 feet in increments of 10. Above the scale bar is a circular north arrow pointing towards the top of the page, with a black triangle indicating North.

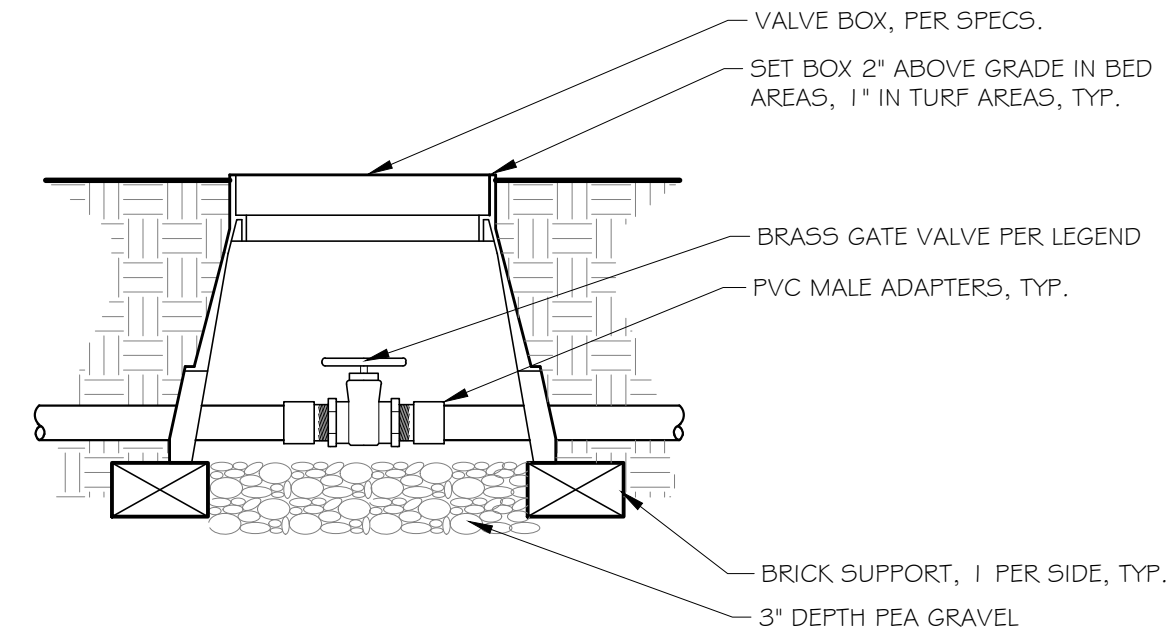
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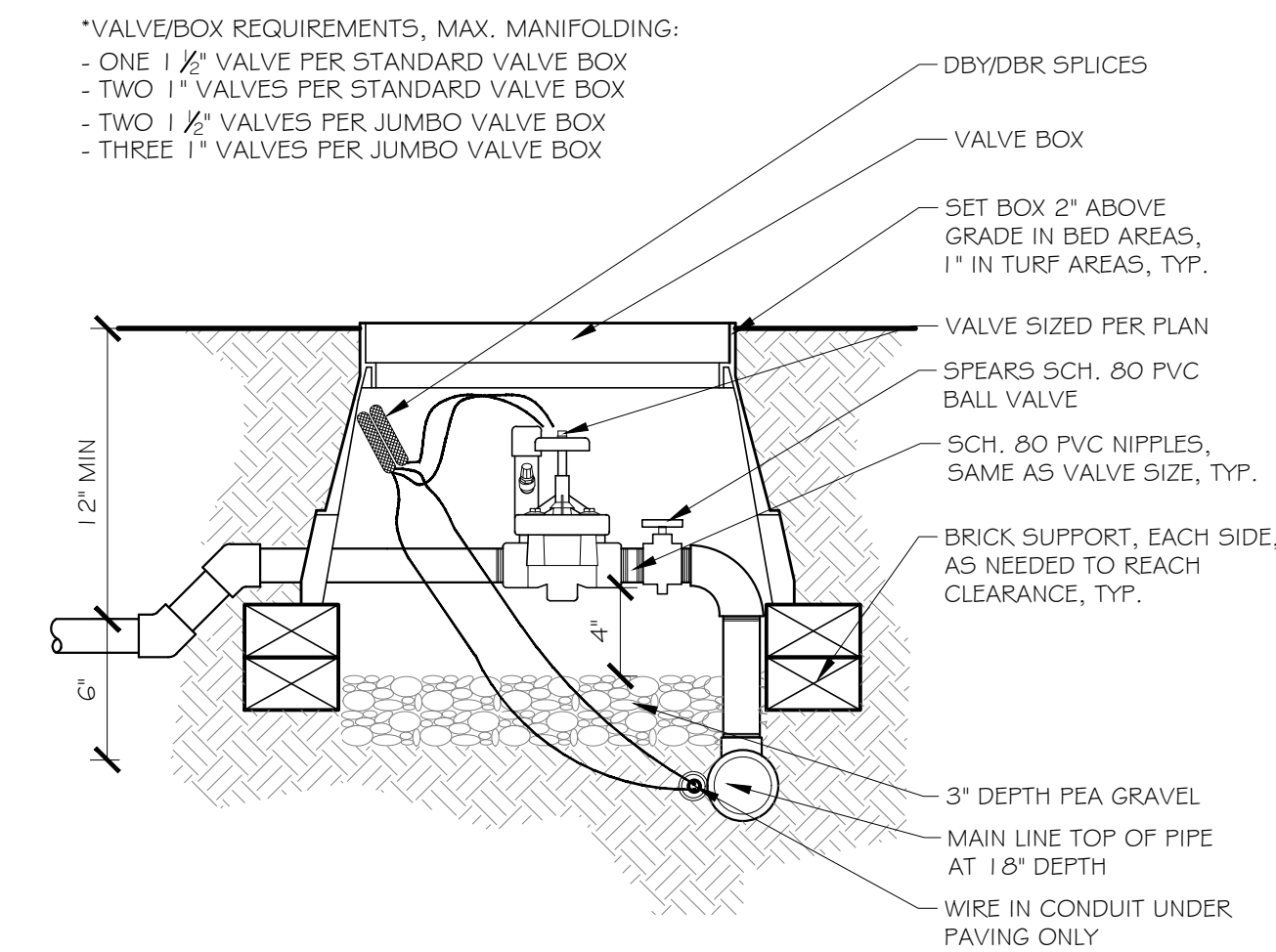
1 RPZ
1" = 1'-0"



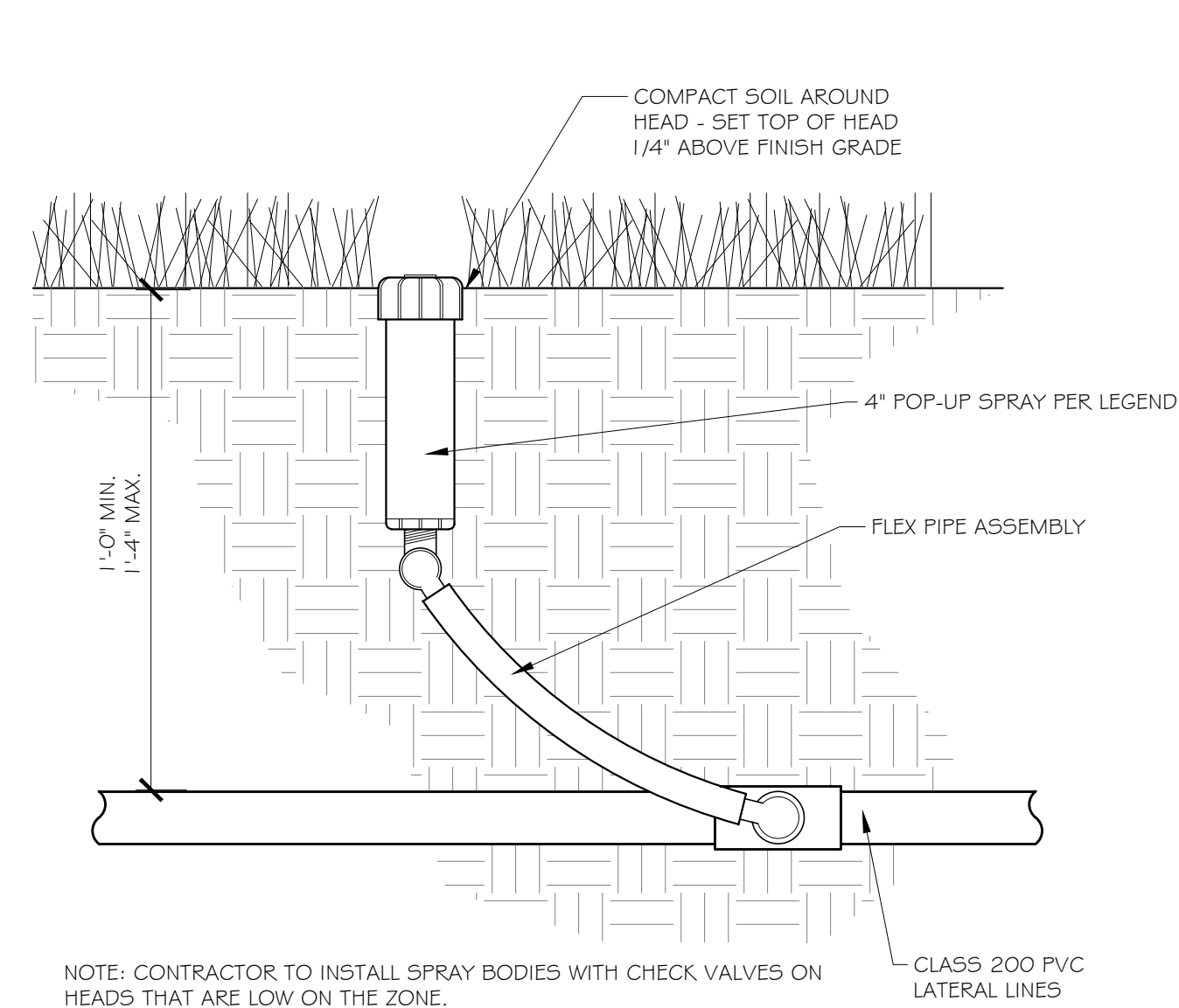
2 MASTER VALVE AND FLOW METER
1 1/2" = 1'-0"



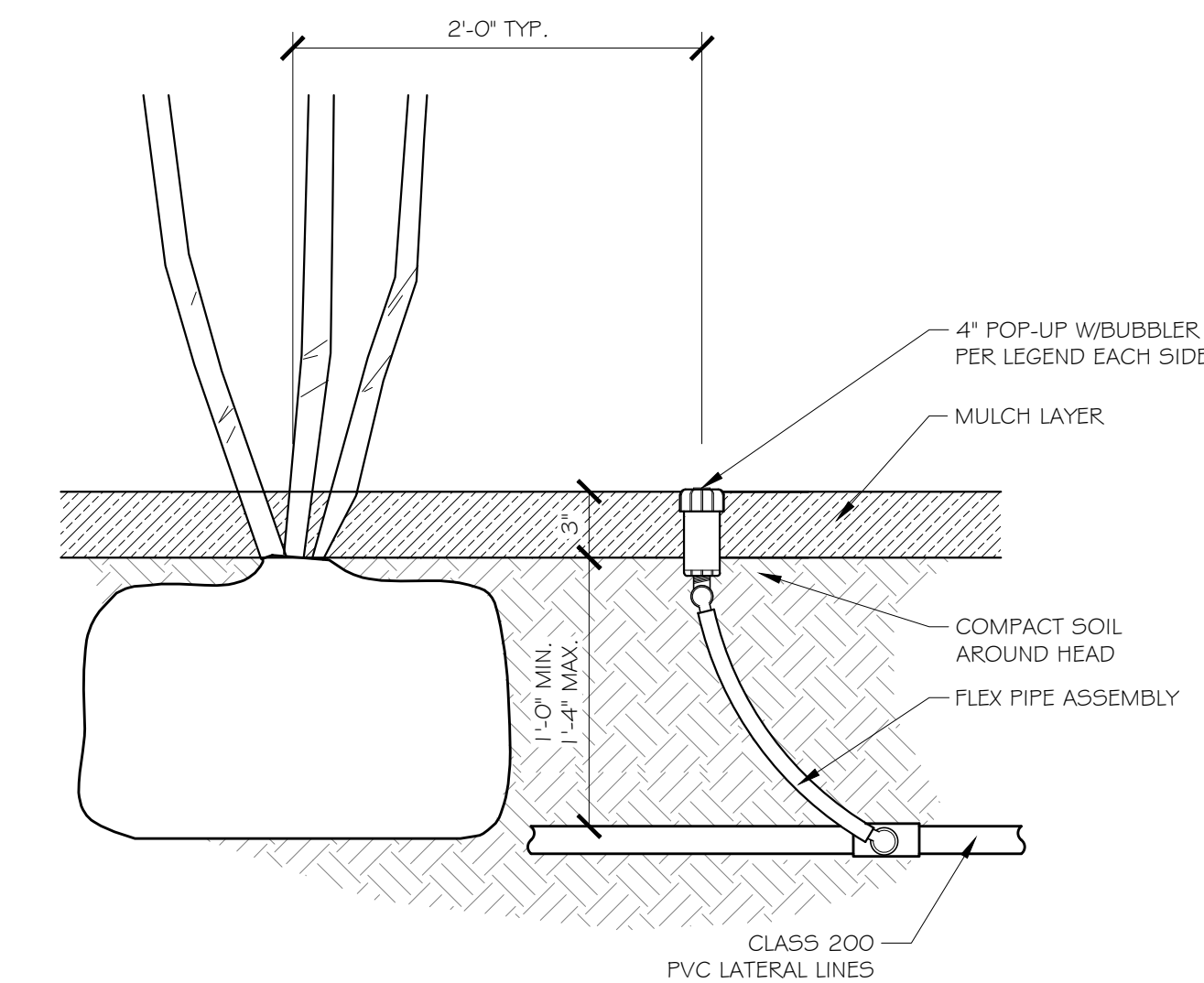
3 BRASS ISOLATION VALVE
1 1/2" = 1'-0"



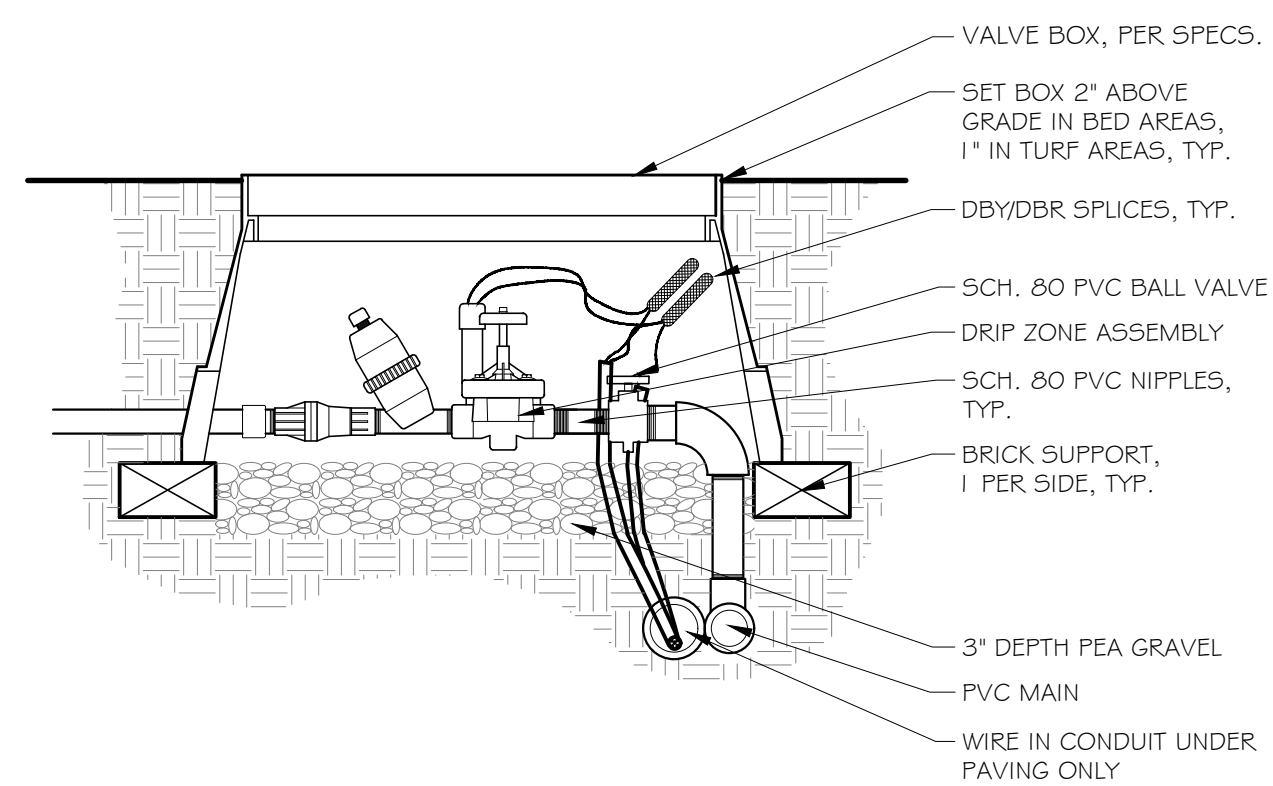
4 AUTOMATIC SYSTEM VALVE
1 1/2" = 1'-0"



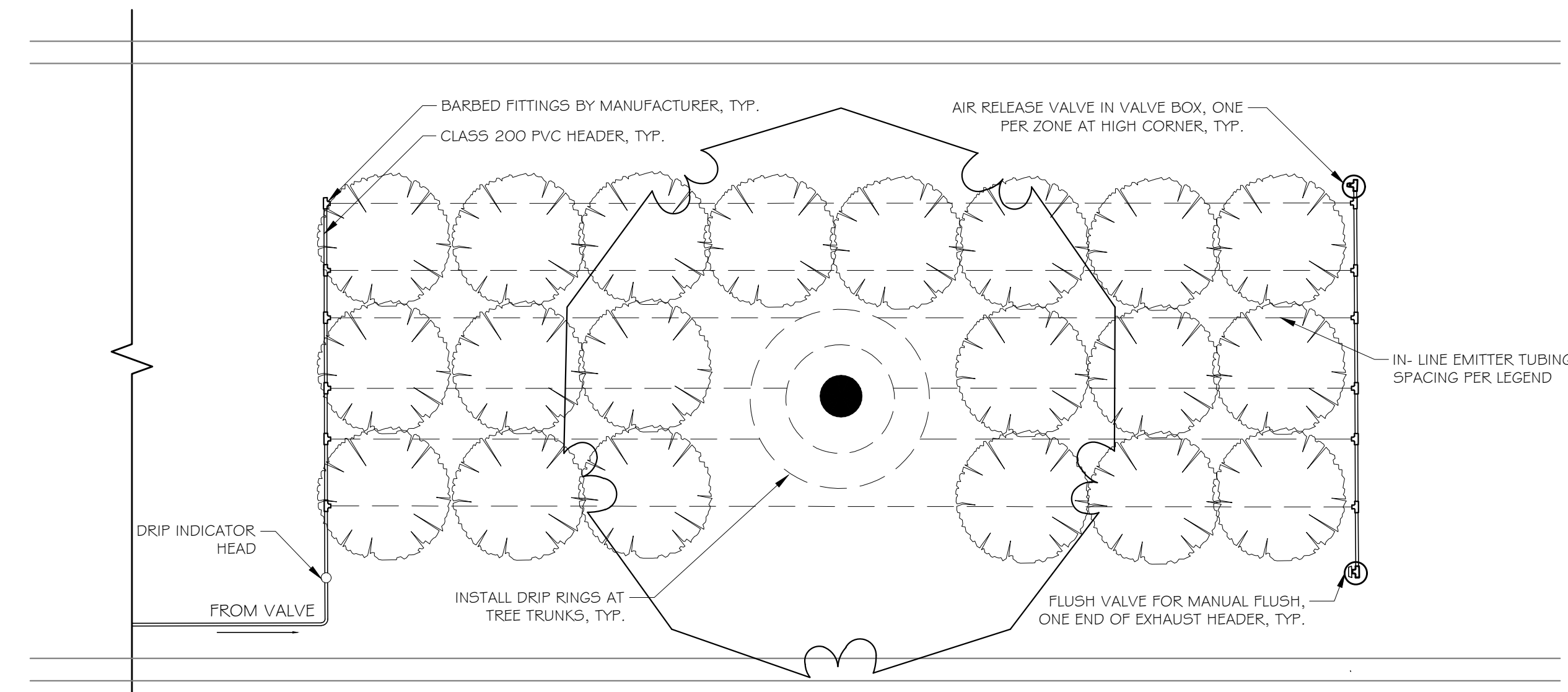
5 SPRAY HEAD
3" = 1'-0"



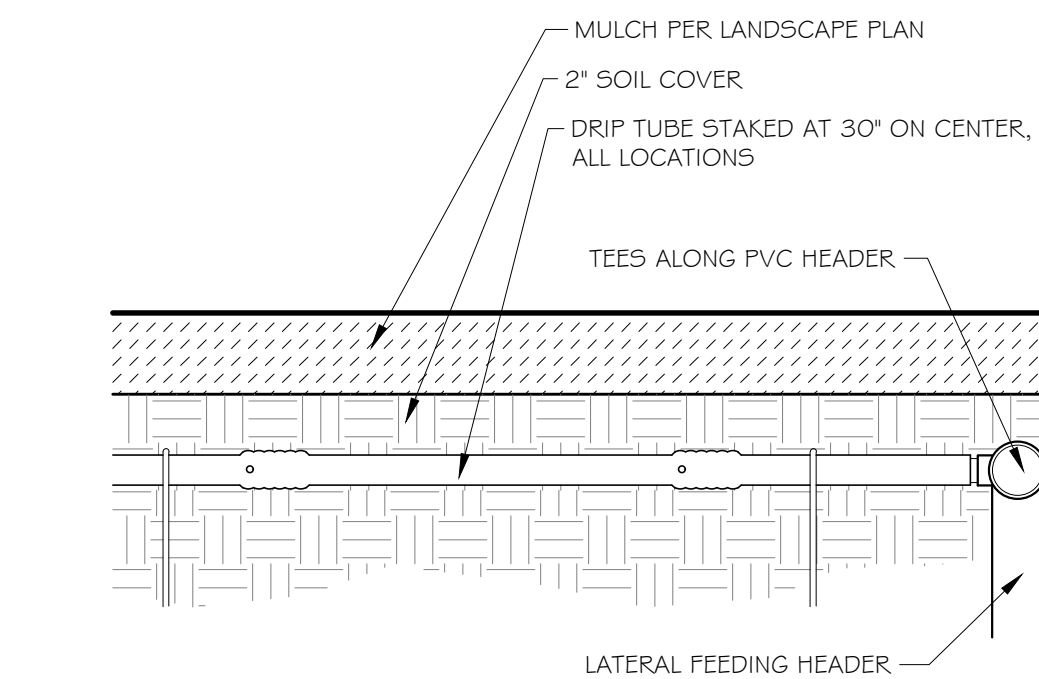
6 BUBBLER HEAD
1 1/2" = 1'-0"



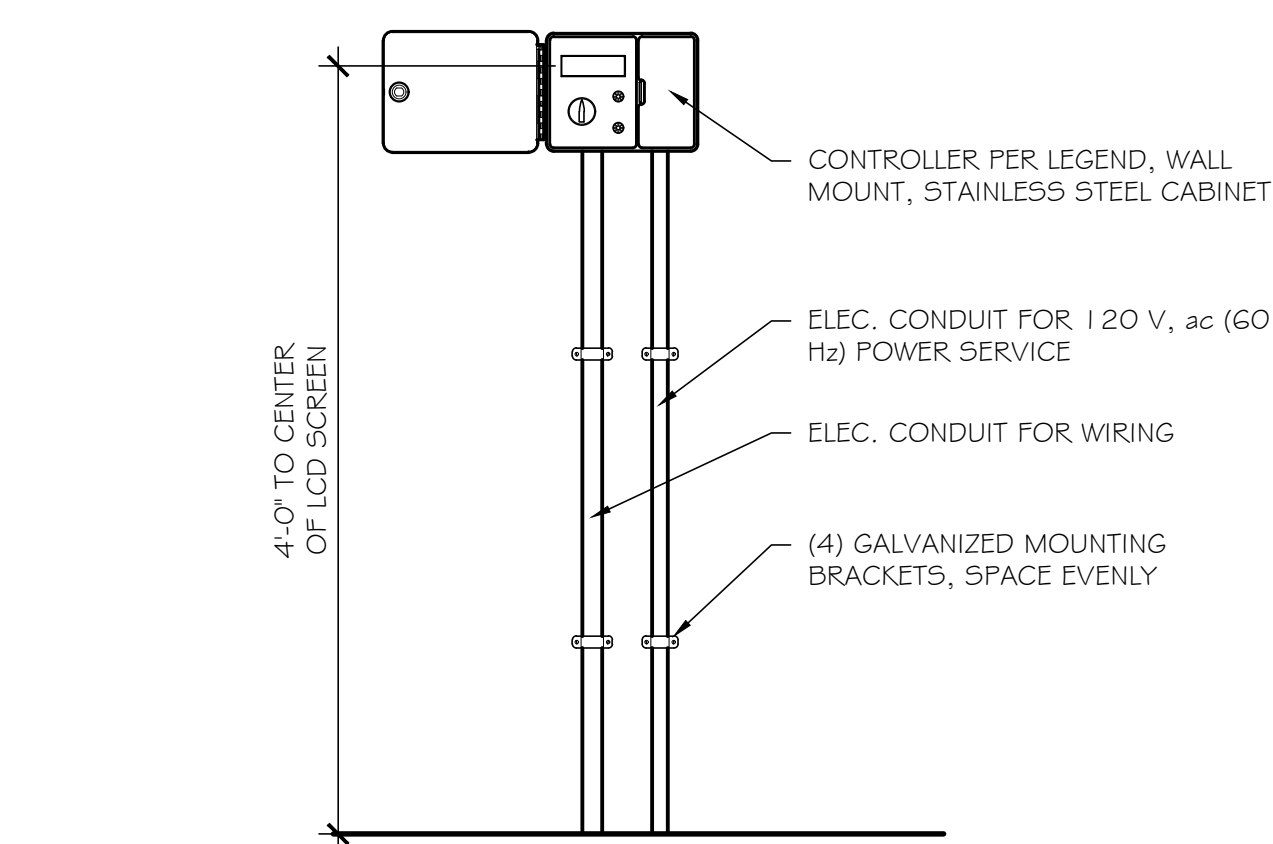
7 DRIP ZONE VALVE ASSEMBLY-AT GRADE
1 1/2" = 1'-0"



8 DRIP ZONE TYPICAL ENLARGEMENT
3/8" = 1'-0"



9 DRIP TUBE INSTALLATION - AT GRADE
3" = 1'-0"



10 IRRIGATION CONTROLLER - WALL MOUNT
1" = 1'-0"

REVISONS	NO.	DATE	DESCRIPTION	BY

DESIGN	DRAWN	DATE
BBB	BBB	05/10/2021

LANDOWNER AUTHORIZATION AND AFFIDAVIT OF OWNERSHIP

SUBJECT PROPERTY INFORMATION

Subdivision Name, Block, Lot, or legal description if not subdivided: Hays Commerce Phase 2A, Block B, Lot 3

of lots (if subdivided): 1 # of acres: 3.394

Site APN/Property ID #(s): R151735

Location: 350 Gateway Blvd. County: Hays

Development Name: Kyle Flex Office

OWNER

Company/Applicant Name: MES Real Estate, LLC

Authorized Company Representative (if company is owner): John Shaddix

Type of Company and State of Formation: Texas LLC, Partnership

Title of Authorized Company Representative (if company is owner): Chief Financial Officer

Applicant Address: 25825 Aldine Westfield Spring, TX 77373

Applicant Fax: na

Applicant Phone: 281-502-8088

Applicant/Authorized Company Representative Email: John.Shaddix@momentum-glass.com

APPLICANT REPRESENTATIVE

Check one of the following:

 . I will represent the application myself; or

 X I hereby designate Clayton Strolle (name of project representative) to act in the capacity as the agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

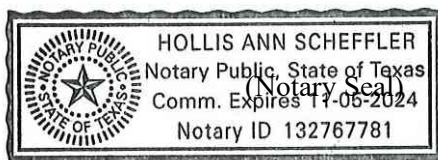
I hereby certify that the above-named owner is the rightful owner of the Property. I am either the owner of the property identified above or a partner/manager/officer/director/member of the company who is authorized to act on behalf of the company. I further certify that the information provided herein and in the application for the development is true and correct. By signing below, I agree that the City of Kyle (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public.

Owner's Signature: John W. Strolle Date: 5/25/2021

State of Texas §

County of Travis §

This instrument was acknowledged before me on (date) by (name of authorized company representative) who is a(n) (member, manager, authorized officer, etc.) of (name of company), a (Texas) (limited liability company, corporation, partnership, etc.).



SUBSCRIBED AND SWORN TO before me, this
the 25th day of May, 2021.

[Signature]
Notary Public's Signature
11/05/2024

My Commission Expires

PROJECT REPRESENTATIVE

Representative Name: Clayton Strolle
Representative Address: 8701 N Mopac Expy, Suite 320, Austin, Texas, 78759
Representative Phone: 512-485-0831
Representative Email: cstrolle@pkce.com
Representative's Signature: Date:

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

SPECIAL WARRANTY DEED

STATE OF TEXAS §
 §
COUNTY OF HAYS §

Effective Date: February 12, 2021

Grantor: RR HPI, LP, a Texas limited partnership

Grantor's Mailing Address: 3700 Capital of Texas Highway North
Suite 420
Austin, Texas 78746

Grantee: MES REAL ESTATE, LLC, a Texas limited liability company

Grantee's Mailing Address: 25825 Aldine Westfield Road
Spring, Texas 77373
Attn: John Shaddix

Consideration: TEN and No/100 DOLLARS (\$10.00) cash in hand and other good and valuable consideration paid by Grantee, the receipt and legal sufficiency of which are hereby acknowledged.

Property (including any improvements):

Lot 3, Block B, HAYS COMMERCE PHASE 2A, a subdivision in Hays County, Texas, according to the map or plat thereof, recorded under Document No. 16034294 of the Official Public Records of Hays County, Texas.

Exceptions to Conveyance and Warranty:

This conveyance is made subject to all easements, rights-of-way and other matters, if any, listed on the attached **Exhibit A.**

Grantor, for the consideration and subject to the Exceptions to Conveyance and Warranty, GRANTS, SELLS and CONVEYS to Grantee the Property, together with, all and singular, the rights and appurtenances thereto in any wise belonging, to have and hold to Grantee, Grantee's

successors or assigns forever. Grantor hereby binds Grantor and Grantor's successors to WARRANT and FOREVER DEFEND, all and singular, the Property to Grantee and Grantee's successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Exceptions to Conveyance and Warranty, when the claim is by, through or under Grantor, but not otherwise.

When the context requires, singular nouns and pronouns include the plural.

Executed on the date set forth in the acknowledgment line below, to be effective for all purposes as of the Effective Date.

GRANTOR:

RR HPI, LP, a Texas limited partnership

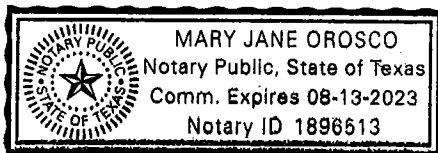
By: RR HPI GP, Inc.,
a Texas corporation,
its General Partner

By: [Signature]
Richard S. Hill, President

STATE OF TEXAS §

COUNTY OF TRAVIS §

This instrument was acknowledged before me on this 12 day of FEB, 2021 by Richard S. Hill, President of RR HPI GP, Inc., a Texas corporation, the General Partner of RR HPI, LP, a Texas limited partnership, on behalf of said limited partnership.



[Signature]
Notary Public in and for the State of Texas

11-GF# 202003083 DRK
RETURN TO: HERITAGE TITLE
401 CONGRESS AVE., STE. 1500
AUSTIN, TEXAS 78701

EXHIBIT A
EXCEPTIONS TO CONVEYANCE AND WARRANTY

1. Restrictive covenants recorded in Volume 1772, Page 570, Document No. 16034481 and Document No. 16034294, of the Official Public Records of Hays County, Texas.
2. Public utility easement 15 feet in width along all street right of way property line(s), 5 feet in width along the side property lines, and 10 feet in width along rear property lines, as stated on the Plat(s) recorded under Document No(s). 16034294, further affected by instrument recorded under Document No. 18013020 of the Official Public Records of Hays County, Texas, as shown on the survey dated November 17, 2020, last revised December 2, 2020, prepared by Travis S. Tabor, Registered Professional Land Surveyor No. 6428 (the "Survey").
3. Communications easement (blanket) granted to General Telephone Company of the Southwest by instrument dated December 16, 1960, recorded in Volume 185, Page 220, of the Deed Records of Hays County, Texas.
4. Subject to all definitions, easements, covenants, limitations, conditions, rights, privileges, obligations, liabilities, and all other terms and provisions of that certain Declaration Regarding Common Areas, Stormwater Drainage and Detention Pond Easements, recorded under Document No. 16034481 of the Official Public Records of Hays County, Texas.
5. Liens securing assessments and/or charges payable to the Common Improvements Maintenance Coordinator which are assessed after the Effective Date of this Special Warranty Deed as set out in Declaration Regarding Common Areas, Stormwater Drainage and Detention Pond Easements recorded under Document No. 16034481 of the Official Public Records of Hays County, Texas.
6. The terms, conditions and stipulations of that certain Boundary Line Agreement dated November 1, 2018, recorded under Document No. 18039067, corrected under Document No. 18040518 of the Official Public Records of Hays County, Texas.
7. The terms, conditions and stipulations of that certain Sign Easement Declaration dated February 5, 2019, recorded under Document No. 19004547 of the Official Public Records of Hays County, Texas.
8. Subject to all definitions, easements, covenants, conditions, rights, privileges, obligations, liabilities, and all other terms and provisions of that certain Declaration of Restrictive Covenants Regarding Construction, Development and Improvements executed by Grantor, as Declarant, and recorded in the Official Public Records of Hays County, Texas.
9. The terms, conditions and stipulations of that certain Right of First Refusal Agreement dated as of the Effective Date of this Special Warranty Deed, as evidenced by Memorandum of Right of First Refusal Agreement executed by Grantor and Grantee, and recorded in the Official Public Records of Hays County, Texas.

10. Apparent easement evidenced by the location of 42" RCP storm outside of a dedicated easement as shown on the Survey.
11. Rights or claims, if any, of adjoining property owner in and to that portion of the Property lying between the fence and the north property line(s), as shown on the Survey.

**THE STATE OF TEXAS
COUNTY OF HAYS**

I hereby certify that this instrument was FILED on the
date and the time stamped hereon by me and was duly
RECORDED in the Records of Hays County, Texas.

21007514 DEED
02/22/2021 10:22:06 AM Total Fees: \$38.00

Elaine H. Cárdenas, MBA, PhD, County Clerk
Hays County, Texas





CITY OF KYLE, TEXAS

Alliance Industrial Company - Height Exception (CUP-21-0046)

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Consider a request for a Conditional Use Permit for the purposes of allowing a height increase for future buildings located at 24801 IH-35 (Ord. No. 1161, Sec. 53-1047(12)).
(Alliance Industrial Company - CUP-22-0046)

- Public Hearing
- Recommendation to City Council

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Staff Memo
- ☐ Summary Letter
- ☐ Ordinance
- ☐ Elevations
- ☐ Landscape Plan
- ☐ Deed
- ☐ Landowner Authorization Letter
- ☐ Franchise Tax Account Status



CITY OF KYLE

Community Development Department



MEMORANDUM

TO: Planning & Zoning Commission

FROM: Will Atkinson – Senior Planner

DATE: Tuesday, February 8, 2021

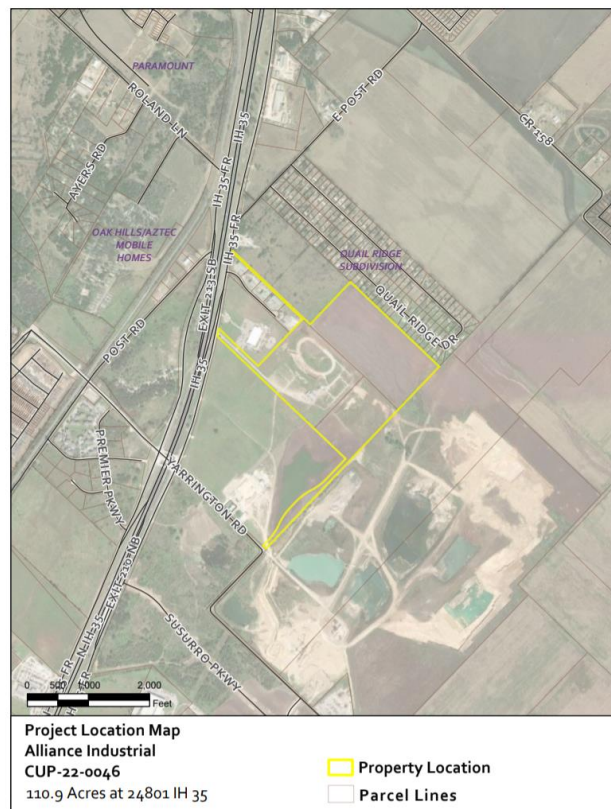
SUBJECT: Alliance Industrial, Height Increase (CUP-22-0046)

REQUEST

Consider a request for a Conditional Use Permit for the purposes of allowing a height increase for future buildings located at 24801 IH-35 (Ord. No. 1161, Sec. 53-1047(12)).

LOCATION

The property is located at 24801 IH-35, Kyle, TX 78640.



TEXT OF THE ZONING ORDINANCE

Sec. 53-1046. - Purpose.

The city council may by ordinance, adopted by four affirmative votes after receiving the recommendation of the commission, grant a conditional use permit in compliance with this division for the conditional uses as listed in [section 53-1047](#). The city council may impose appropriate conditions and safeguards, including a specified period of time for the permit, to protect the comprehensive plan and to conserve and protect property and property values in the neighborhood.

(Ord. No. 438, § 63(a), 11-24-2003; Ord. No. 526, § 8, 1-8-2008)

Sec. 53-1047. - Authorized conditional uses.

The following listed conditional uses, and none other, may be authorized subject to the terms of this section and compliance with all conditional terms, regulations and requirements established by the city council:

- (1) Heliport in CM, W and PUD districts only;
- (2) Municipal service facilities and buildings in all districts;
- (3) Circus or carnival, but not within 300 feet of any residential district;
- (4) Privately operated community building or recreation field in all districts;
- (5) Telephone, radio or television broadcasting tower or station in T, CM, W and PUD districts only;
- (6) Cemeteries in A, TU, E, CBD-2, RS, W, CM, or PUD districts;
- (7) Schools, public and denominational, but not day care in all districts where not otherwise specifically permitted;
- (8) Manufactured homes in the limited areas as specifically authorized by this chapter;
- (9) Quarry operations are permitted in the CM district as conditional uses, subject to the requirements in division 2 of this article;
- (10) The specific manufacturing and warehouse uses set forth in the table in section 53-1106 may be permitted as provided in division 3 in this article;
- (11) RV sales in the RS district within the I-35 overlay district only; and
- (12) Buildings with a height of up to 150 feet in all zoning districts, including Planned Unit Developments, but not including the Plum Creek PUD.

Zoning districts not allowed a height exception:

• Single-family residential zoning districts (both attached and detached), including two-family structures (duplexes), three-family structures (triplexes), and townhomes.

Sec. 53-1048. - Procedure.

Before authorization of any of the conditional uses authorized in [section 53-1047](#), public notice shall be given and public hearings shall be held as provided in V.T.C.A., Local Government Code ch. 211; provided that a conditional use permit for a period not to exceed seven calendar days may be given for a use set forth in [section 53-1047](#)(3) after a public hearing is held by the city council after having received a report and recommendation from the planning and zoning commission concerning the effect of the proposed use on the adjacent and neighboring properties and neighborhoods.

(Ord. No. 438, § 63(c), 11-24-2003)

STAFF ANALYSIS

Staff has reviewed the request and has made the following findings:

1. The included elevations have a height expectation maximum of 49' (feet).
2. The buildings are large enough in scale, that a difference of 5' (feet), will be difficult to notice from a distance or close to the buildings.
3. Landscape buffering is adjacent to the Quail Ridge residential neighborhood and will help shield the view of the commercial buildings close to the north property boundary.
4. This request only applies to the project shown on the site plan, with the Mayor & Council having discretion on a project-to-project basis.

RECOMMENDATION

Staff has reviewed the elevations for compliance with the Sec. 53-1047(12) and the request associated for the project site, and does not find any harm or detriment to the surrounding properties. Staff asks the Planning & Zoning Commission to vote recommending approval of the request. Following this meeting, City Council will consider the request on February 15, 2022.

ATTACHMENTS

1. Summary Letter

2. Ordinance
3. Elevations
4. Site Plan
5. Deed
6. Landowner Authorization Letter
7. Franchise Tax Account Status



January 5, 2022

William Atkinson
Senior Planner
City of Kyle
512-233-1144
100 W. Center Street
Kyle, Texas 78640

Dear Mr. Atkinson,

Yarrington Logistics Owner, L.P. ("Owner"), the owner of the 110-acre tract (97 acres after public improvements dedication to City of Kyle) located at 24801 N. IH-35 in Kyle ("Property"), together with its developer, Alliance Industrial Company ("Alliance"), is requesting a Conditional Use Permit ("CUP") to increase the building height allowance from 45' to 50' for its speculative industrial development project. Below is a list of justifications for the increased building height allowance:

- The Property is zoned industrial and market trends for industrial buildings continue to increase in height so that end users can maximize storage volume. It allows for the most efficient use of the real estate.
- The increased clear height will help to attract a wider variety of tenants and a wider array of jobs for the area.
- Our project consists of 1.4 MM SF across 5 buildings that will range from 45' to 50' tall. The large scale of the project supports the taller heights.
- We're seeking only a 5' increase from 45' to 50'. At this scale, the additional 5' will not be noticeable from those interacting with the built environment.
- The adjacent uses of quarry, future commercial development and a new Amazon facility to the south are not harmed by the taller heights.

Thank you in advance for your consideration of this matter. Please let us know if we can provide any other helpful information. We'll look forward to working together in obtaining the CUP in the near term.

Sincerely,

A handwritten signature in black ink, appearing to read "Levi Hermes", written in a cursive style.

Levi Hermes
Development Manager

ORDINANCE NO. 1161

AN ORDINANCE AMENDING CHAPTER 53 (ZONING) OF THE CITY OF KYLE, TEXAS, FOR THE PURPOSE OF MODIFYING SECTION 53-1047 – AUTHORIZED CONDITIONAL USES AND CHAPTER 53 ZONING, EXHIBIT A. – PLUM CREEK PLANNED UNIT DEVELOPMENT, ARTICLE II. – PLANNED UNIT DEVELOPMENT DISTRICT, PART D. – ADDITIONAL USE REGULATIONS, SECTION 1. – ADDITIONAL USE, HEIGHT AND AREA REGULATIONS AND EXCEPTIONS APPLICABLE TO PUD DISTRICTS UNLESS OTHERWISE APPROVED BY THE CITY COUNCIL; AUTHORIZING THE CITY SECRETARY TO AMEND THE CITY OF KYLE CODE OF ORDINANCES SO AS TO REFLECT THIS CHANGE; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE; PROVIDING FOR SEVERABILITY; AND ORDAINING OTHER PROVISIONS RELATED TO THE SUBJECT MATTER HEREOF; FINDING AND DETERMINING THAT THE MEETING AT WHICH THIS ORDINANCE WAS PASSED WAS OPEN TO THE PUBLIC AS REQUIRED BY LAW.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KYLE, TEXAS, THAT:

SECTION 1. That Section 53-1047 and Part D. – Additional Use Regulations, Section 1 (Plum Creek PUD) of the City of Kyle adopted in Chapter 53 (Zoning) be and the same is hereby amended to modify conditional uses and building height exceptions, as shown on the code section labeled Exhibit A.

SECTION 2. That the City Secretary is hereby authorized and directed to amend Section 53-1047 and Part D. – Additional Use Regulations, Section 1 (Plum Creek PUD) in the Code of Ordinances of the City of Kyle, as shown in Exhibit A and by proper endorsement indicate the authority for said notation.

SECTION 3. If any provision, section, sentence, clause, or phrase of this Ordinance, or the application of same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid (or for any reason unenforceable), the validity of the remaining portions of this Ordinance or the application to such other persons or sets of circumstances shall not be affected hereby, it being the intent of the City Council of the City of Kyle in adopting this Ordinance, that no portion hereof or provision contained herein shall become inoperative or fail by reason of any unconstitutionality or invalidity of any other portion or provision.

SECTION 4. This Ordinance shall be published according to law and shall be and remain in full force and effect from and after the date of publication.

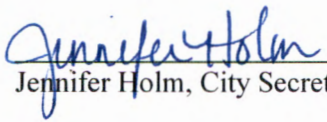
SECTION 5. It is hereby officially found and determined that the meeting at which this ordinance was passed was open to the public as required by law.

READ, CONSIDERED, PASSED AND APPROVED ON FIRST READING by the City Council of Kyle at a regular meeting on the 3rd day of August, 2021, at which a quorum was present and for which due notice was given pursuant to Section 551.001, et. Seq. of the Government Code.

READ, CONSIDERED, PASSED AND APPROVED ON SECOND AND FINAL READING by the City Council of Kyle at a regular meeting on the 3rd day of August, 2021, at which a quorum was present and for which due notice was given pursuant to Section 551.001, et. Seq. of the Government Code.

APPROVED this 3rd day of August, 2021.

ATTEST:


Jennifer Holm, City Secretary



Travis Mitchell, Mayor

Exhibit A

Sec. 53-1047. - Authorized conditional uses.

The following listed conditional uses, and none other, may be authorized subject to the terms of this section and compliance with all conditional terms, regulations and requirements established by the city council:

- (1) Heliport in CM, W and PUD districts only;
- (2) Municipal service facilities and buildings in all districts;
- (3) Circus or carnival, but not within 300 feet of any residential district;
- (4) Privately operated community building or recreation field in all districts;
- (5) Telephone, radio or television broadcasting tower or station in T, CM, W and PUD districts only;
- (6) Cemeteries in A, TU, E, CBD-2, RS, W, CM, or PUD districts;
- (7) Schools, public and denominational, but not day care in all districts where not otherwise specifically permitted;
- (8) Manufactured homes in the limited areas as specifically authorized by this chapter;
- (9) Quarry operations are permitted in the CM district as conditional uses, subject to the requirements in division 2 of this article;
- (10) The specific manufacturing and warehouse uses set forth in the table in [section 53-1106](#) may be permitted as provided in division 3 in this article;
- (11) RV sales in the RS district within the I-35 overlay district only; and
- (12) Buildings with a height of up to 150 feet in the RS district in all zoning districts, including Planned Unit Developments, but not including the Plum Creek PUD.

Zoning districts not allowed a height exception:

- Single-family residential zoning districts (both attached and detached), including two-family structures (duplexes), three-family structures (triplexes), and townhomes.

**Chapter 53 Zoning, Exhibit A. – Plum Creek Planned Unit Development, Article II. –
Planned Unit Development District, Part D. – Additional Use Regulations**

**Sec. 1. - Additional use, height and area regulations and exceptions applicable to PUD
districts unless otherwise approved by the city council.**

(F) *Exceptions to height regulations.* The height limitations set forth in the ordinance do not apply to spires, belfries, cupolas, water tanks, ventilators, chimneys or other appurtenances usually required to be placed above the roof level and not intended for occupation. A maximum height of 80 feet is allowed for all civic structures not within 150 feet of a single-family residence. Civic is defined as a not-for-profit organization dedicated to arts, culture, education, religion, recreation, government, transit, and municipal parking, or for use approved by the city council.

1) The City Council is permitted to approve exceptions to height maximums for multifamily, vertical mixed use, or commercial structures. The City Council may consider and act on exceptions to allow increase of height for such structures, following the special exceptions process.

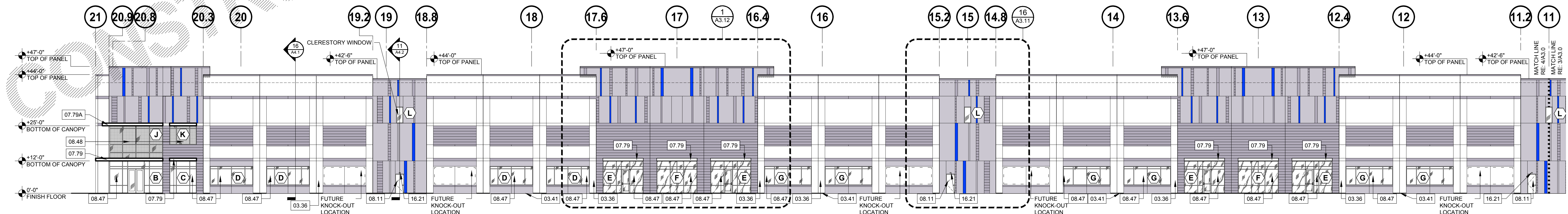
a) *Special Exceptions Process.* An applicant may request to be placed on the City Council agenda for consideration. City staff will review the request, draft a report regarding the request, and City Council will determine if the request is appropriate. No public hearing is required.

b) The City Council may, with an affirmative vote of four or more of the Council, request a recommendation from the Planning Commission prior to making a decision on the special exception request.

COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR (BC-1)			COLOR TO BE SELECTED
ACCENT COLOR 1 (P-1)			COLOR TO BE SELECTED
ACCENT COLOR 2 (P-2)			COLOR TO BE SELECTED
ACCENT COLOR 3 (P-3)			COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES			
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH. - FREE OF GALVANIC COATED BARRIS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING			
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)			
			RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS

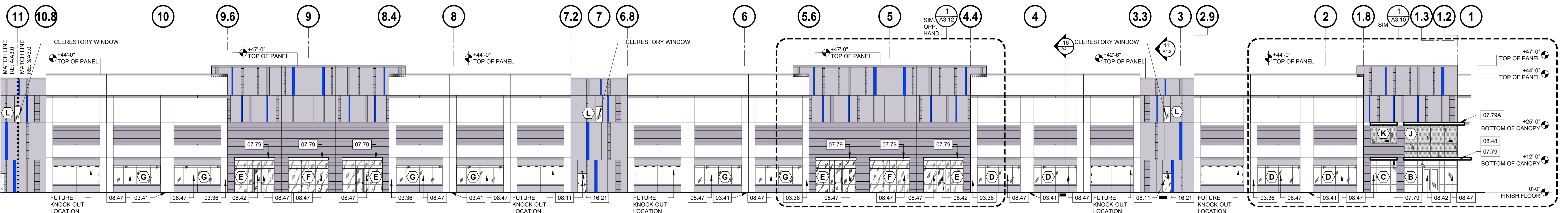
ARCHITECTURAL SYMBOL LEGEND			
100	OFFICE	X'-X"	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
X	DOOR TYPE - SEE DOOR SCHEDULE RE-SHEET A2.22 & A2.23	X'-X"	INSIDE CLEAR DIMENSION
X	GLASS TYPE - SEE GLASS SCHEDULE RE-SHEET A2.24	X'-X"	VERIFY DIMENSION IN FIELD
X	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X'-X"	ARC LENGTH DIMENSION
X	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER		NEW PARTITION
X-X	PARTITION TYPE RE-SHEET A0.2		SOUND INSULATED PARTITION
FE	FE = FIRE EXTINGUISHER		LOW PARTITION
SFE	SFE = SEMI-RECESSED FIRE EXTINGUISHER		THERMAL INSULATED PARTITION
EXIT	EXIT SIGNAGE	AS-X	THR RATED PARTITION
		DS	ACCESSORY TYPE RE-SHEET A0.2
		DS	DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
02 - SITE	02.02 NEW CONCRETE DOCK HIGH RAMP
03 - CONCRETE	03.36 TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
05 - METALS	05.09 METAL STAIR
05.36	STEEL PIPE BOLLARD FILLED WITH CONCRETE, GALVANIZED & PAINTED
07 - THERMAL/MOISTURE BARRIER	07.29 CONTINUOUS METAL GUTTER (PREFINISHED - PAINT)
07.30	DOWNSPOUT (PREFINISHED - PAINT)
07.79	PREFINISHED METAL CANOPY RE: SPECS.
07.79A	PREFINISHED METAL SUNSCREEN RE: SPECS.
08 - DOORS/WINDOWS	08.11 HOLLOW METAL DOOR
08.15	SECTIONAL OVERHEAD DOOR
08.42	STOREFRONT DOOR
08.47	ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS
08.48	SPANDREL GLASS
11 - EQUIPMENT	11.14 DOCK BUMPER
16 - ELECTRICAL	16.21 WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS



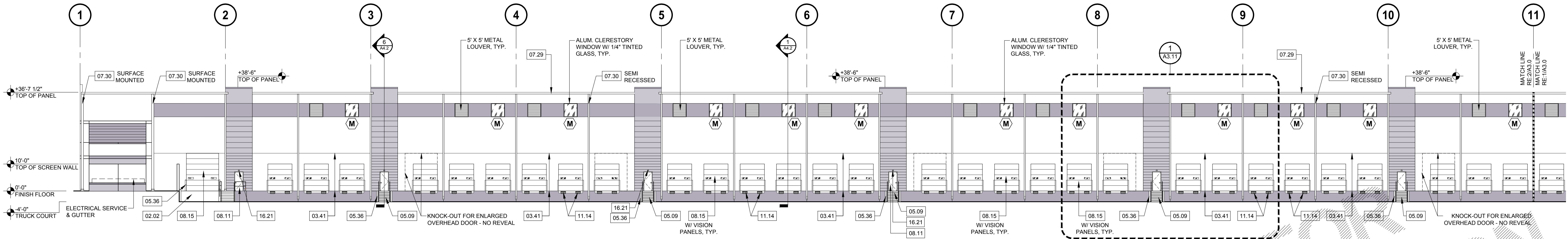
BUILDING 1 SOUTH ELEVATION - WEST HALF

1/16"=1'-0" 4



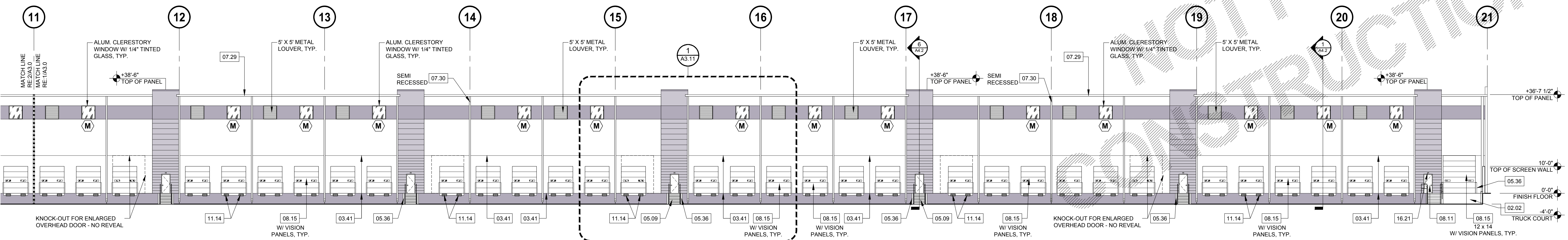
BUILDING 1 SOUTH ELEVATION - EAST HALF

1/16"=1'-0" 3



BUILDING 1 NORTH ELEVATION - EAST HALF

1/16"=1'-0" 2



BUILDING 1 NORTH ELEVATION - WEST HALF

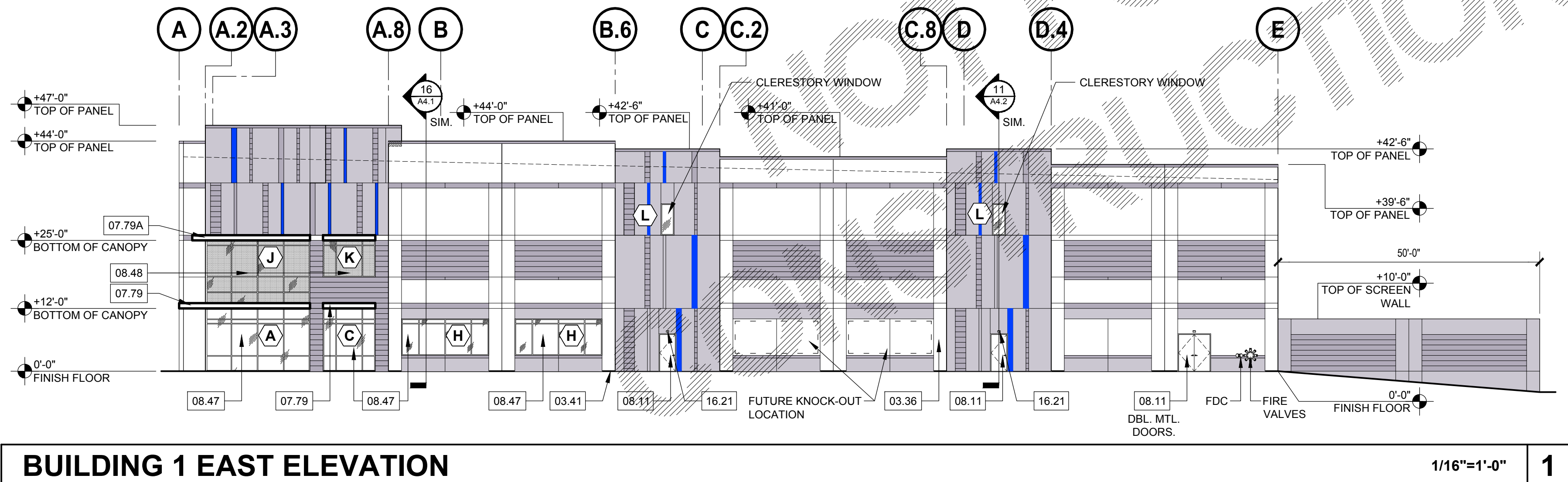
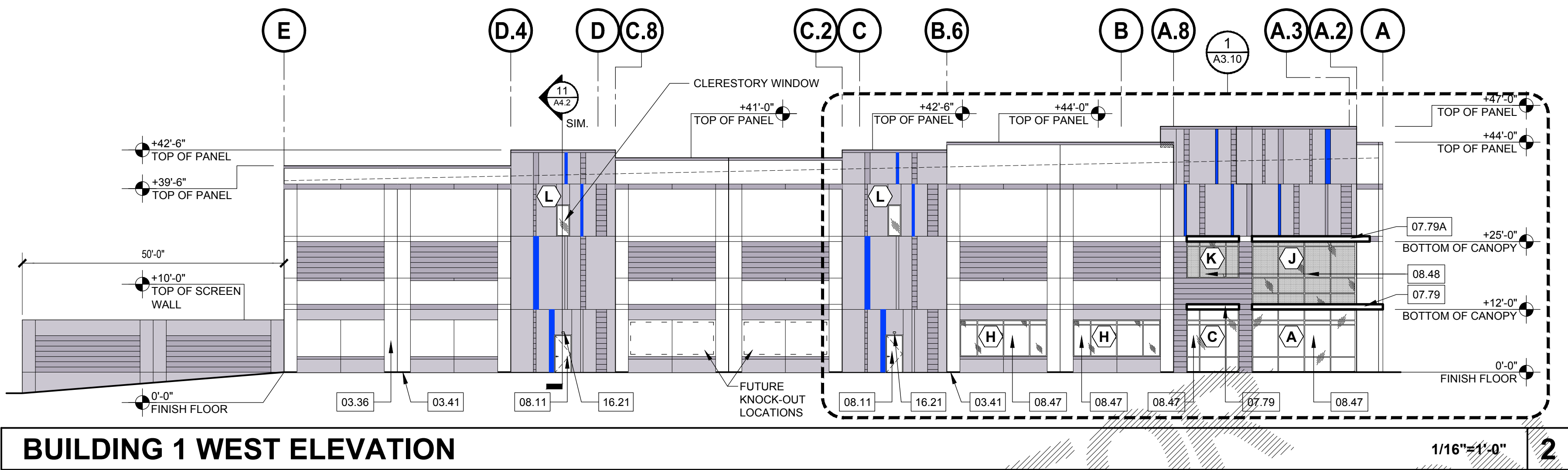
1/16"=1'-0" 1

NOT FOR CONSTRUCTION

COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR	(BC-1)	<div></div>	COLOR TO BE SELECTED
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<div>X</div>	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER	<div>X-X"</div>	NEW PARTITION
<div>X-X</div>	PARTITION TYPE RE: SHEET A0.2	<div>X-X"</div>	SOUND INSULATED PARTITION
<div>X</div>	FE = FIRE EXTINGUISHER	<div>X-X"</div>	LOW PARTITION
<div>X</div>	SFE = SEMI-RECESSED FIRE EXTINGUISHER	<div>X-X"</div>	THERMAL INSULATED PARTITION
<div>X</div>	EXIT SIGNAGE	<div>X-X"</div>	1HR RATED PARTITION
		<div>AS-X</div>	ACCESSORY TYPE RE: SHEET AXX
		<div>DS</div>	DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

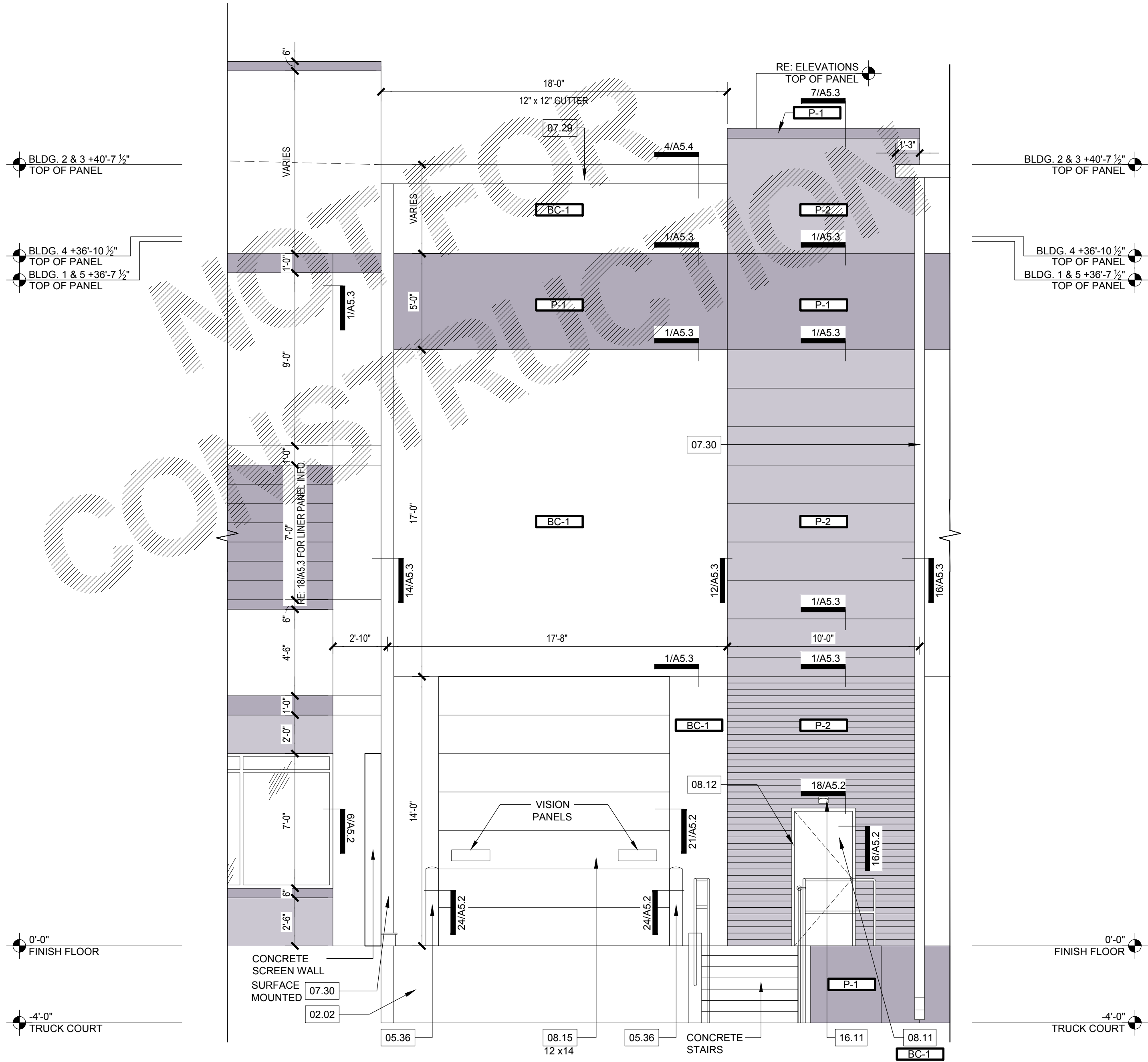
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HANDRAILS		
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- PAINT ACCENT COLOR 1 (P-1)		
		RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS

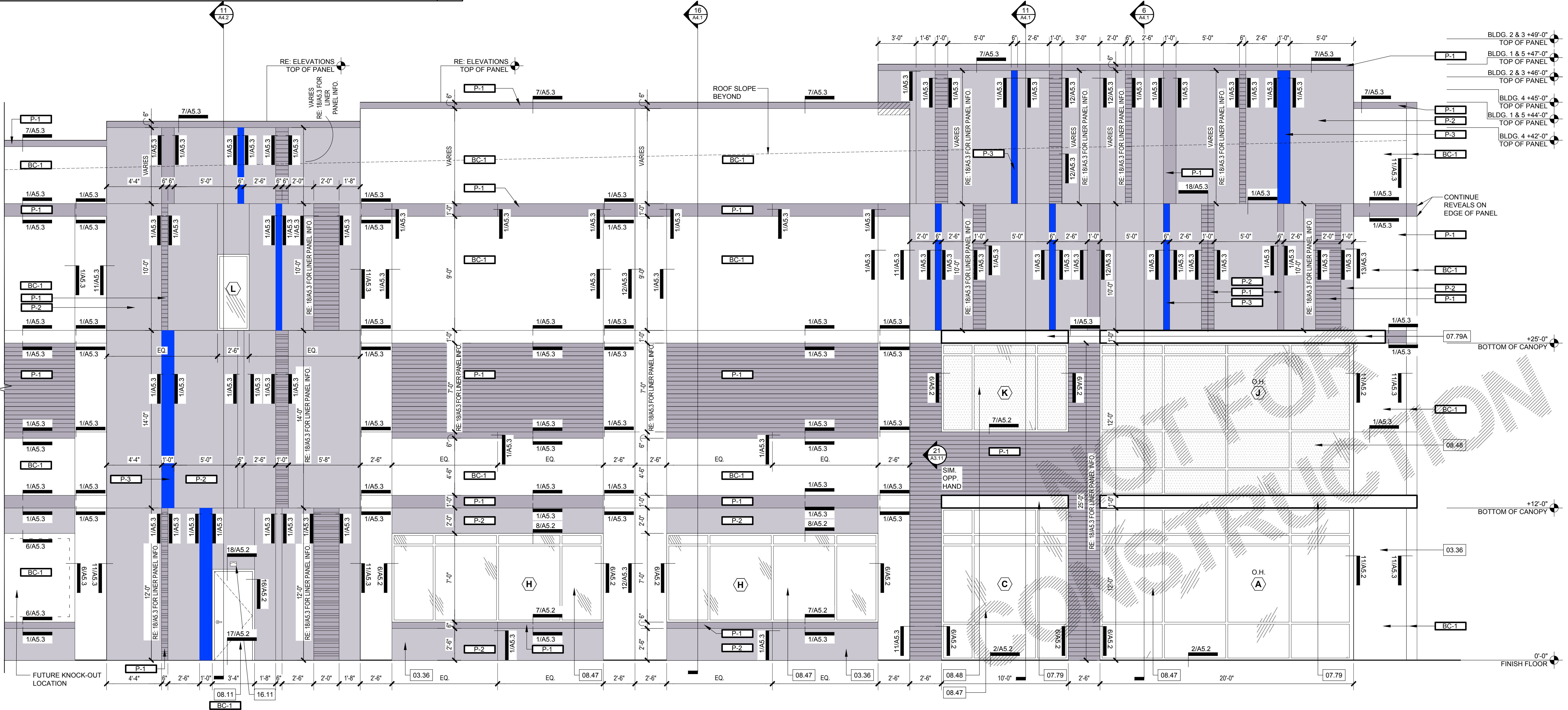
ARCHITECTURAL SYMBOL LEGEND			
	OFFICE	ROOM NUMBER	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
	DOOR TYPE - SEE DOOR SCHEDULE	ROOM NAME	
	GLASS TYPE - SEE GLASS SCHEDULE	RE: SHEET A2.22 & A2.23	
	SECTION MARK -	DETAIL NUMBER	INSIDE CLEAR DIMENSION
	ELEVATION MARK -	SHEET NUMBER	VERIFY DIMENSION IN FIELD
	PARTITION TYPE	RE: SHEET A0.2	
	FE = FIRE EXTINGUISHER		ARC LENGTH DIMENSION
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		NEW PARTITION
	EXIT SIGNAGE		SOUND INSULATED PARTITION
			LOW PARTITION
			THERMAL INSULATED PARTITION
			1HR RATED PARTITION
			ACCESSORY TYPE
			RE: SHEET AX-X
			DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
02 - SITE	02.02 NEW CONCRETE DOCK HIGH RAMP
03 - CONCRETE	03.36 TILT-UP CONCRETE PANELS
05 - METALS	05.36 STEEL PIPE BOLLARD FILLED WITH CONCRETE, GALVANIZED & PAINTED
07 - THERMAL/MOISTURE BARRIER	07.29 CONTINUOUS METAL GUTTER (PREFINISHED - PAINT)
07.30 DOWNSPOUT (PREFINISHED - PAINT)	
07.79 PREFINISHED METAL CANOPY RE: SPECS.	
07.79A PREFINISHED METAL SUNSCREEN RE: SPECS.	
08 - DOORS/WINDOWS	08.11 HOLLOW METAL DOOR
08.12 HOLLOW METAL FRAME	
08.15 SECTIONAL OVERHEAD DOOR	
08.47 ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS	
08.48 SPANDREL GLASS	
16 - ELECTRICAL	16.11 WALL PACK LIGHT RE: MEP



ENLARGED ELEVATION

1/4" = 1'-0" 2



ENLARGED ELEVATION

Item # 13

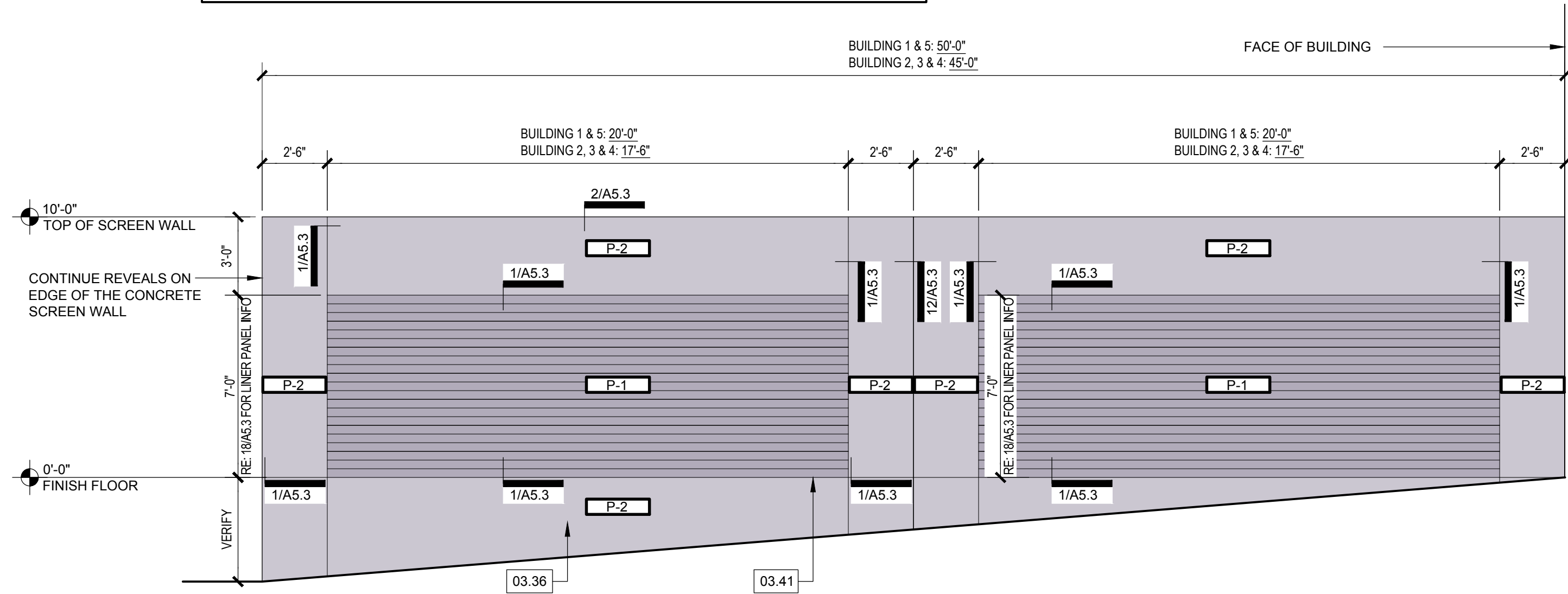
1/4" = 1'-0" 1

NOT FOR CONSTRUCTION

COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR	(BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1	(P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2	(P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3	(P-3)		COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES			
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH, FREE OF GALVANIC COATED BARS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING			
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)		RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS	

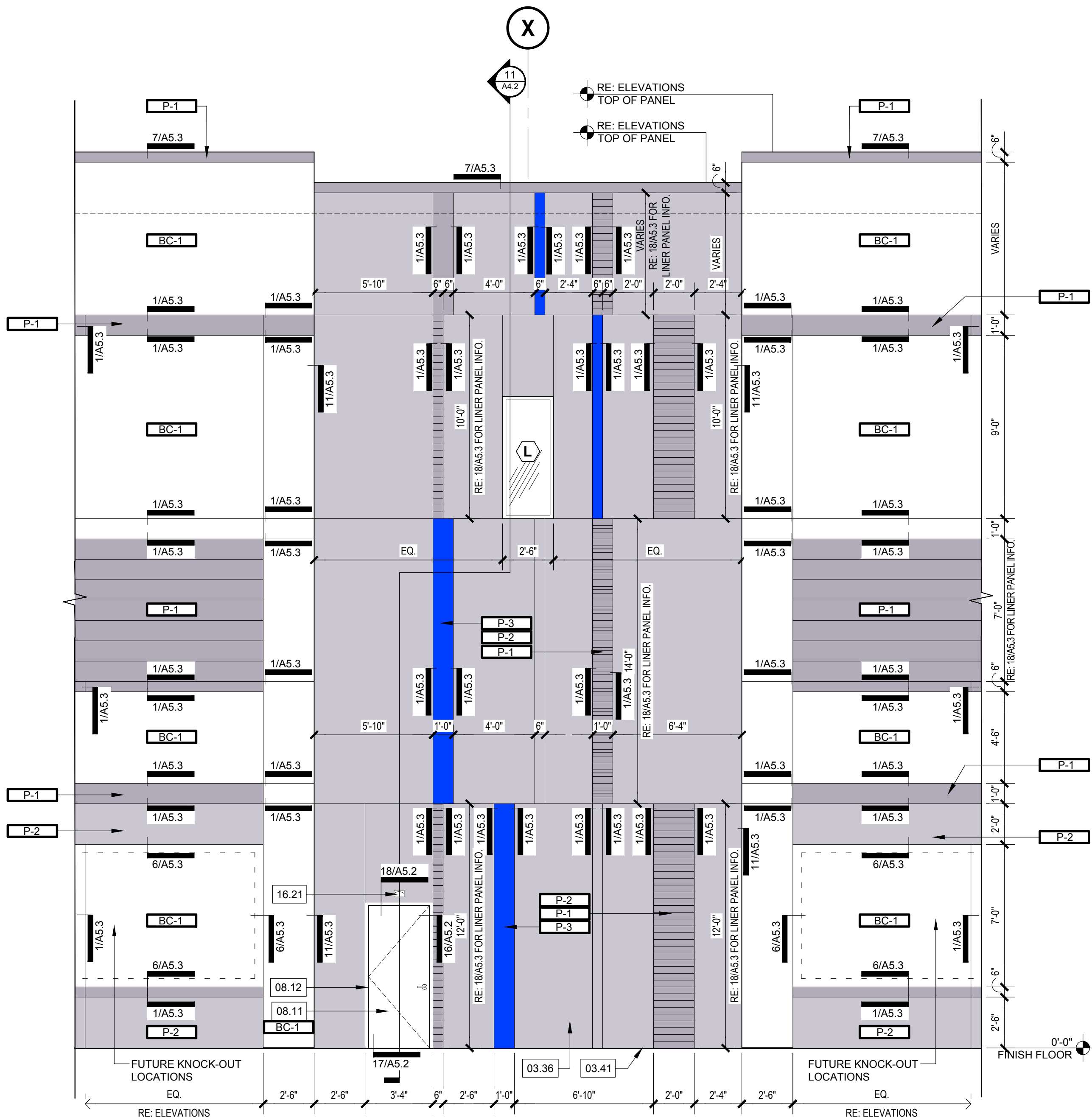
ARCHITECTURAL SYMBOL LEGEND			
100	OFFICE	X-X"	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
X	DOOR TYPE - SEE DOOR SCHEDULE RE: SHEET A2.22 & A2.23	X-X"	INSIDE CLEAR DIMENSION
X	GLASS TYPE - SEE GLASS SCHEDULE RE: SHEET A2.24	X-X"	VERIFY DIMENSION IN FIELD
X	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X-X"	ARC LENGTH DIMENSION
X	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER		NEW PARTITION
X	PARTITION TYPE RE: SHEET A0.2		SOUND INSULATED PARTITION
	FE = FIRE EXTINGUISHER		LOW PARTITION
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		THERMAL INSULATED PARTITION
	EXIT SIGNAGE		1HR RATED PARTITION
		AS-X	ACCESSORY TYPE RE: SHEET AXX-X
		DS	DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
03 - CONCRETE	
03.36	TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
05 - METALS	
05.09	METAL STAIR
05.13	STEEL ANGLE (GALVANIZED & PAINTED)
07 - THERMAL/MOISTURE BARRIER	
07.29	CONTINUOUS METAL GUTTER (PREFINISHED - PAINT)
07.30	DOWNSPOUT (PREFINISHED - PAINT)
08 - DOORS/WINDOWS	
08.11	HOLLOW METAL DOOR
08.12	HOLLOW METAL FRAME
08.15	SECTIONAL OVERHEAD DOOR
11 - EQUIPMENT	
11.14	DOCK BUMPER
16 - ELECTRICAL	
16.21	WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS



ENLARGED ELEVATION

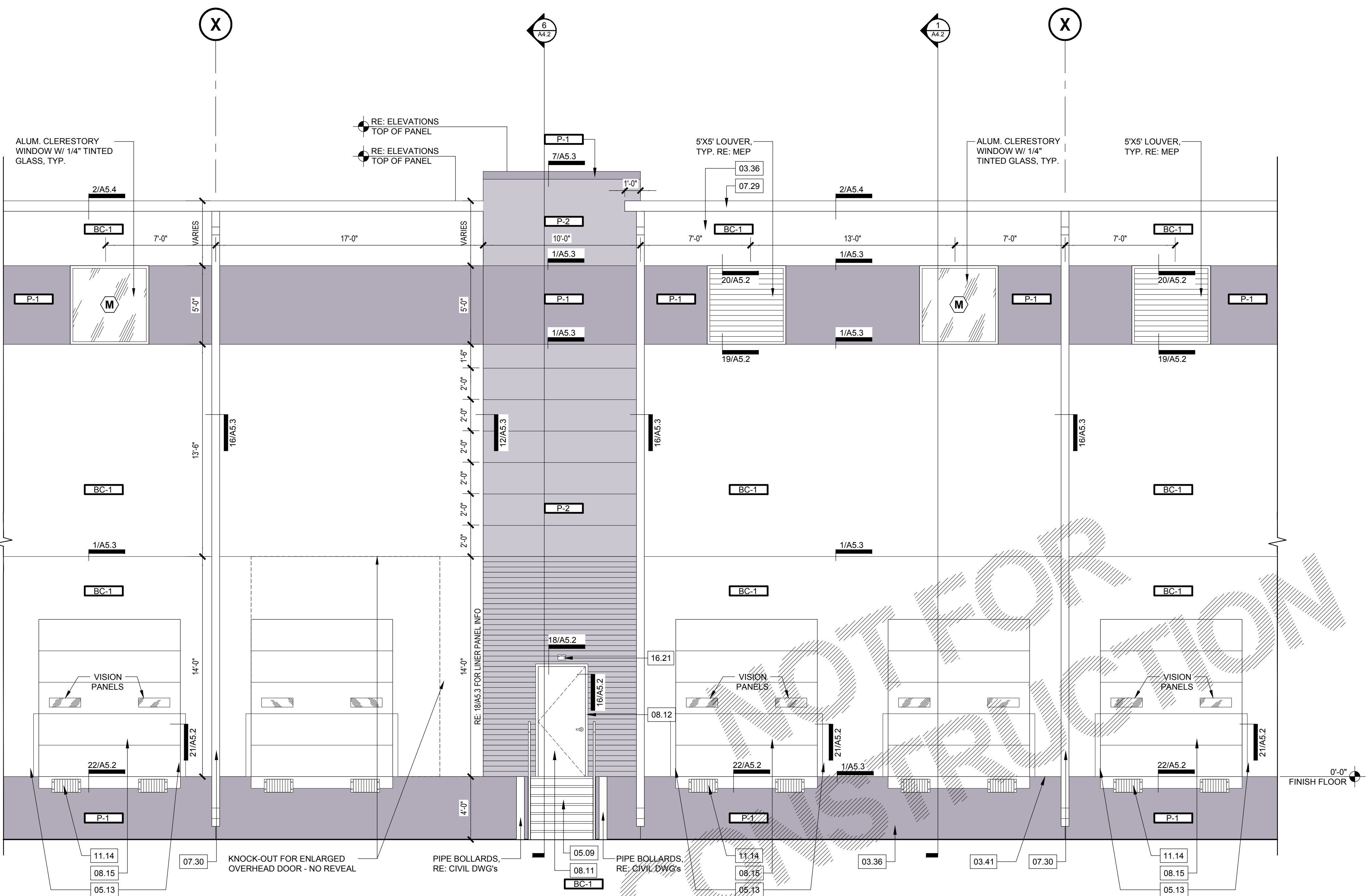
1/4" = 1'-0" 4



ENLARGED ELEVATION

Item # 13





1/4" = 1'-0" 16



ENLARGED ELEVATION

1/4" = 1'-0" 1

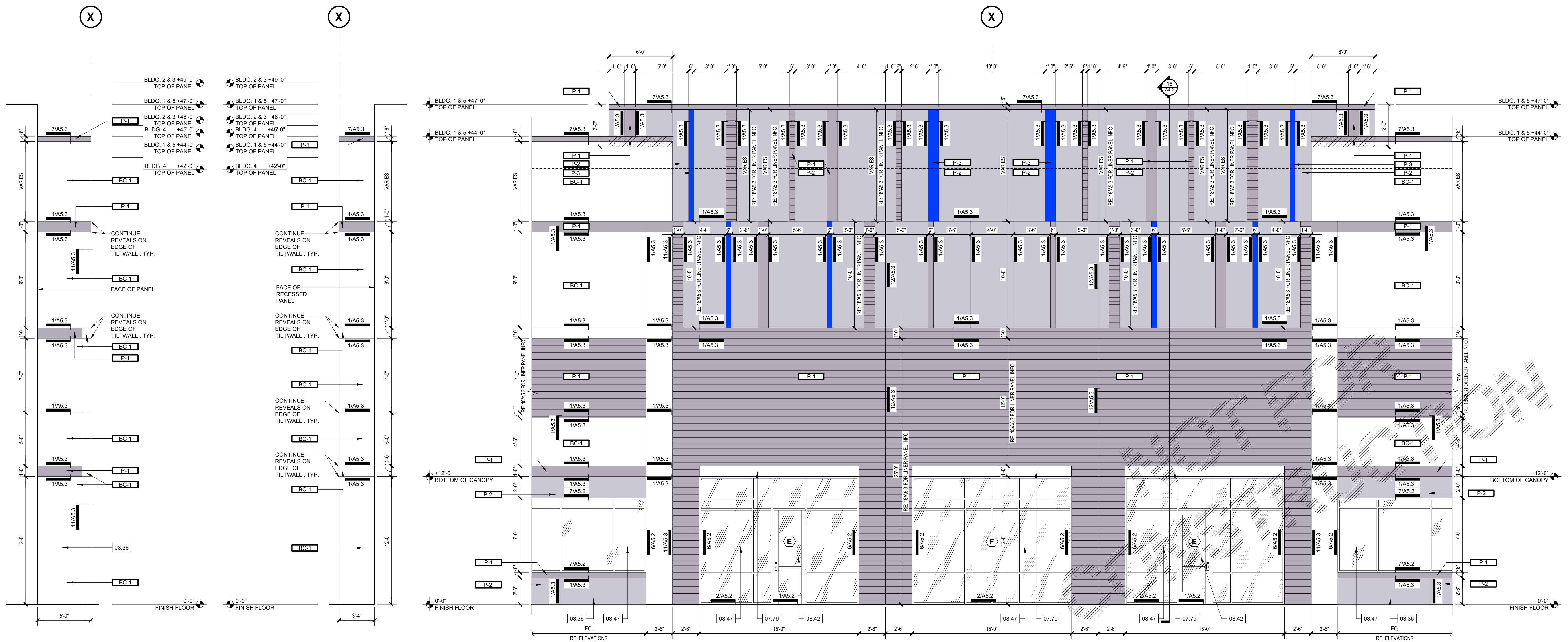
NOT FOR
CONSTRUCTION

COLOR SCHEME - PAINT		COLORS SIMILAR TO:
BASE COLOR (BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1 (P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2 (P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3 (P-3)		COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES		
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH. FREE OF GALVANIC COATED BARBS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING		
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)		
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)		RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS

ARCHITECTURAL SYMBOL LEGEND

	ROOM NUMBER ROOM NAME		FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
	DOOR TYPE - SEE DOOR SCHEDULE RE:SHEET A2 22 & A2 23		INSIDE CLEAR DIMENSION
	GLASS TYPE - SEE GLASS SCHEDULE RE:SHEET A2 24		VERIFY DIMENSION IN FIELD
	SECTION MARK - SHEET NUMBER		ARC LENGTH DIMENSION
	ELEVATION MARK - SHEET NUMBER		NEW PARTITION
	PARTITION TYPE RE:SHEET A0 2		SOUND INSULATED PARTITION
	FE = FIRE EXTINGUISHER		LOW PARTITION
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		Thermal INSULATED PARTITION
	EXIT SIGNAGE		1HR RATED PARTITION
			ACCESSORY TYPE RE:SHEET AS X
			DS = SEMI-RECESSED DOWNPOUT, U.N.O.

PROJECT KEYNOTES	
03 - CONCRETE	
03.36	TILT UP CONCRETE PANELS
07 - THERMAL/MOISTURE BARRIER	
07.79	PRE-FINISHED METAL CANOPY RE: SPECS
08 - DOORS/WINDOWS	
08.42	STOREFRONT DOOR
08.47	ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS



COLOR SCHEME - PAINT	COLORS SIMILAR TO:
BASE COLOR (BC-1)	COLOR TO BE SELECTED
ACCENT COLOR 1 (P-1)	COLOR TO BE SELECTED
ACCENT COLOR 2 (P-2)	COLOR TO BE SELECTED
ACCENT COLOR 3 (P-3)	COLOR TO BE SELECTED

ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES

HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH. FREE OF GALVANIC COATED BARBS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING

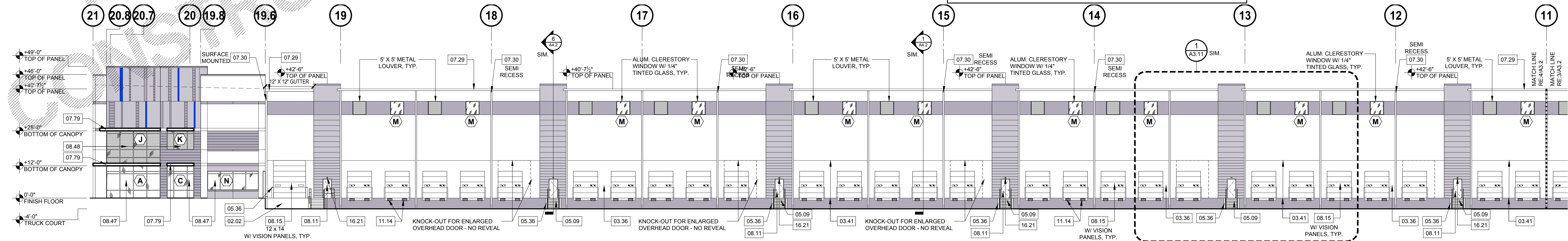
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)

RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)

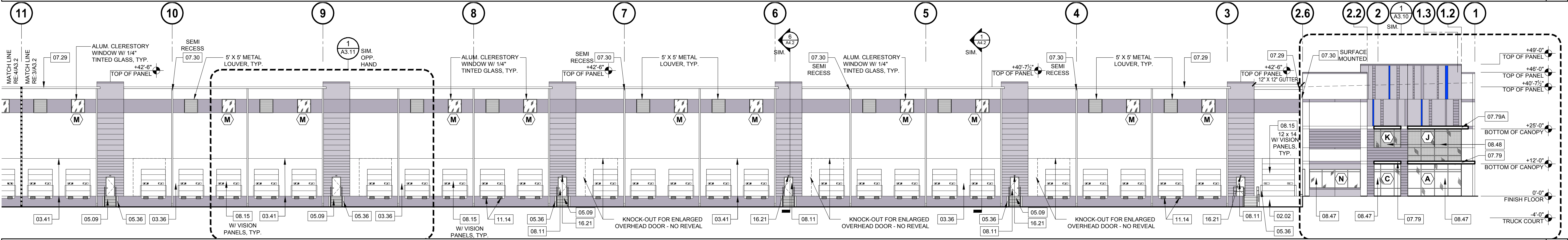
RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS

ARCHITECTURAL SYMBOL LEGEND		
100	OFFICE	ROOM NUMBER
X	DOOR TYPE - SEE DOOR SCHEDULE	ROOM NAME
X	GLASS TYPE - SEE GLASS SCHEDULE	RE: SHEET A2.24
X	SECTION MARK - DETAIL NUMBER	FACE TO FACE DIMENSION (TYP. UNLESS OTHERWISE NOTED)
X	ELEVATION MARK - DETAIL NUMBER	INSIDE CLEAR DIMENSION
X	PARTITION TYPE	VERIFY DIMENSION IN FIELD
FE	FIRE EXTINGUISHER	ARC LENGTH DIMENSION
SFE	SEMI-RECESSED FIRE EXTINGUISHER	NEW PARTITION
EXIT	EXIT SIGNAGE	SOUND INSULATED PARTITION
		LOW PARTITION
		THERMAL INSULATED PARTITION
		1HR RATED PARTITION
		ACCESSORY TYPE
		RE: SHEET AX.X
		DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

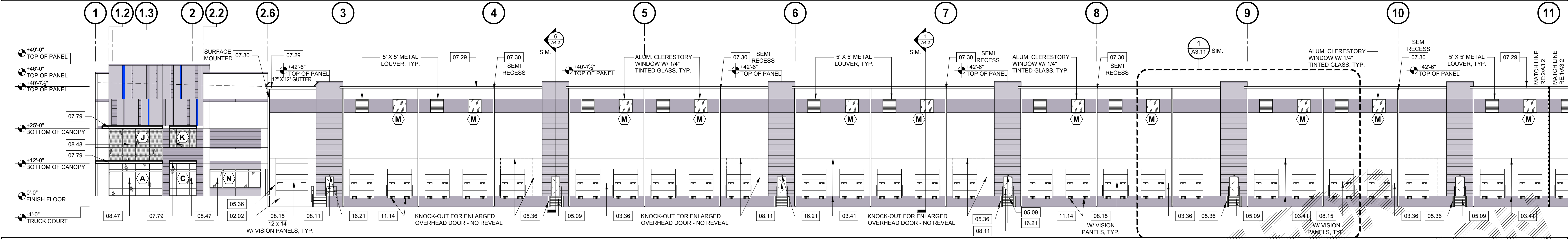
PROJECT KEYNOTES	
02 - SITE	NEW CONCRETE DOCK HIGH RAMP
03 - CONCRETE	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
05 - METALS	METAL STAIR
07 - THERMAL/MOISTURE BARRIER	CONTINUOUS METAL GUTTER (PREFINISHED - PAINT)
08 - DOORS/WINDOWS	DOWNSPOUT (PREFINISHED - PAINT)
09 - METALS	PREFINISHED METAL CANOPY RE: SPECS
10 - METALS	PREFINISHED METAL SUNSCREEN RE: SPECS
11 - EQUIPMENT	DOCK BUMPER
12 - ELECTRICAL	WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS



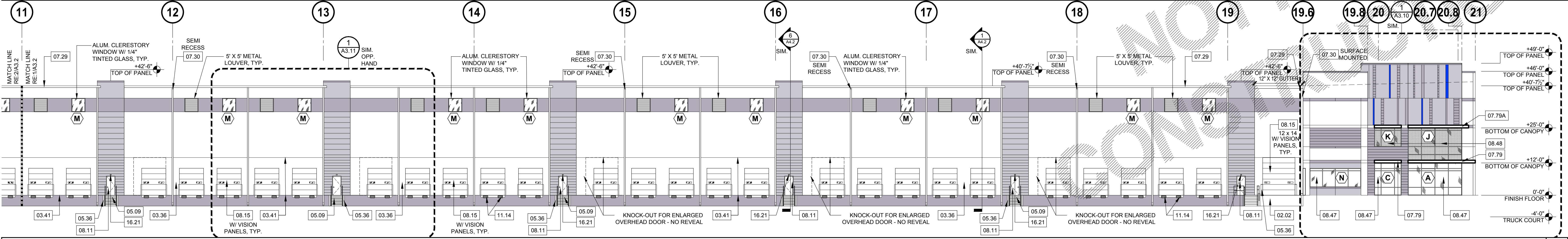
BUILDING 2 NORTH ELEVATION - WEST HALF 1/16"=1'-0" 4



BUILDING 2 NORTH ELEVATION - EAST HALF 1/16"=1'-0" 3



BUILDING 2 SOUTH ELEVATION - WEST HALF 1/16"=1'-0" 2



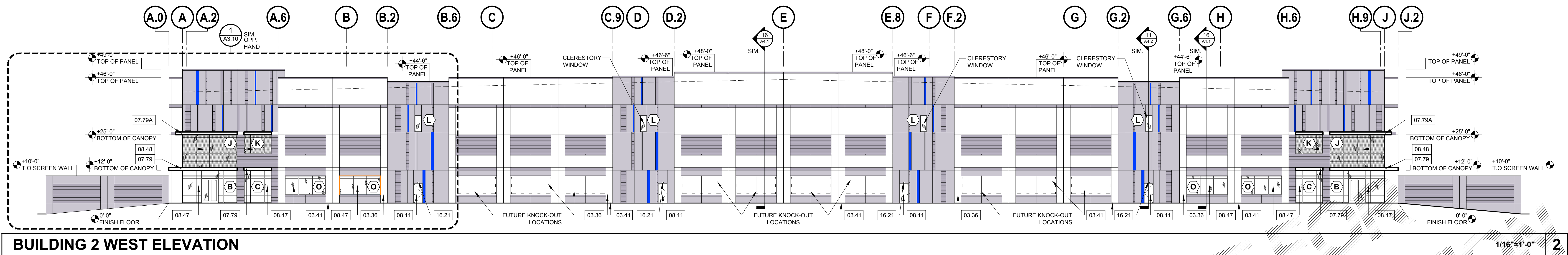
BUILDING 2 SOUTH ELEVATION - EAST HALF 1/16"=1'-0" 1

NOT FOR CONSTRUCTION

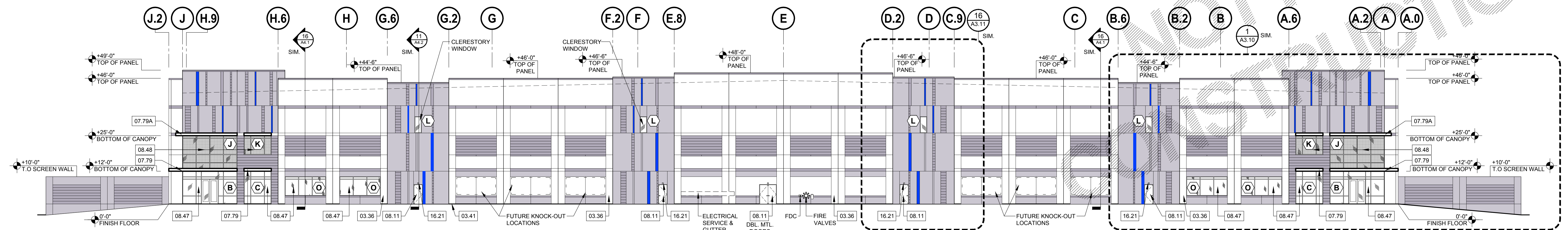
COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR	(BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1	(P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2	(P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3	(P-3)		COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES			
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH, FREE OF GALVANIC COATED BARBS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING			
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)		RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS	

ARCHITECTURAL SYMBOL LEGEND			
100 OFFICE	ROOM NUMBER ROOM NAME	X'-X"	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
X	DOOR TYPE - SEE DOOR SCHEDULE RE: SHEET A2.22 & A2.23	X'-X"	INSIDE CLEAR DIMENSION
X	GLASS TYPE - SEE GLASS SCHEDULE RE: SHEET A2.24	X'-X"	VERIFY DIMENSION IN FIELD
X AX	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X'-X"	ARC LENGTH DIMENSION
X AX	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER		NEW PARTITION
X X	PARTITION TYPE RE: SHEET A0.2		SOUND INSULATED PARTITION
FE	FE = FIRE EXTINGUISHER		LOW PARTITION
SFE	SFE = SEMI-RECESSED FIRE EXTINGUISHER		THERMAL INSULATED PARTITION
EXIT	EXIT SIGNAGE	AS-X	1HR RATED PARTITION
		DS	ACCESSORY TYPE RE: SHEET AX-X
			DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
03 - CONCRETE	
03.36	TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
07 - THERMAL/MOISTURE BARRIER	
07.79	PREFINISHED METAL CANOPY RE: SPECS.
07.79A	PREFINISHED METAL SUNSCREEN RE: SPECS.
08 - DOORS/WINDOWS	
08.11	HOLLOW METAL DOOR
08.47	ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS
08.48	SPANDREL GLASS
16 - ELECTRICAL	
16.21	WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS







BUILDING 2 WEST ELEVATION



BUILDING 2 EAST ELEVATION

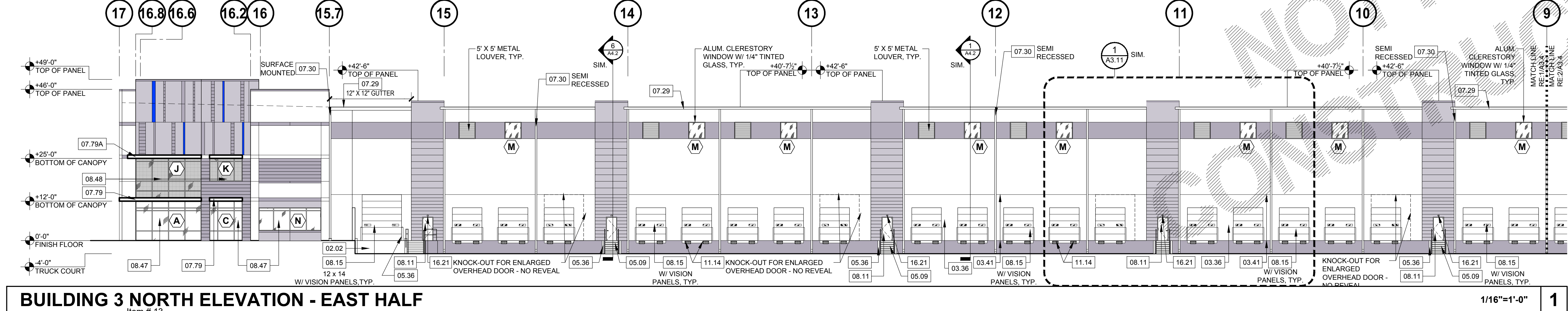
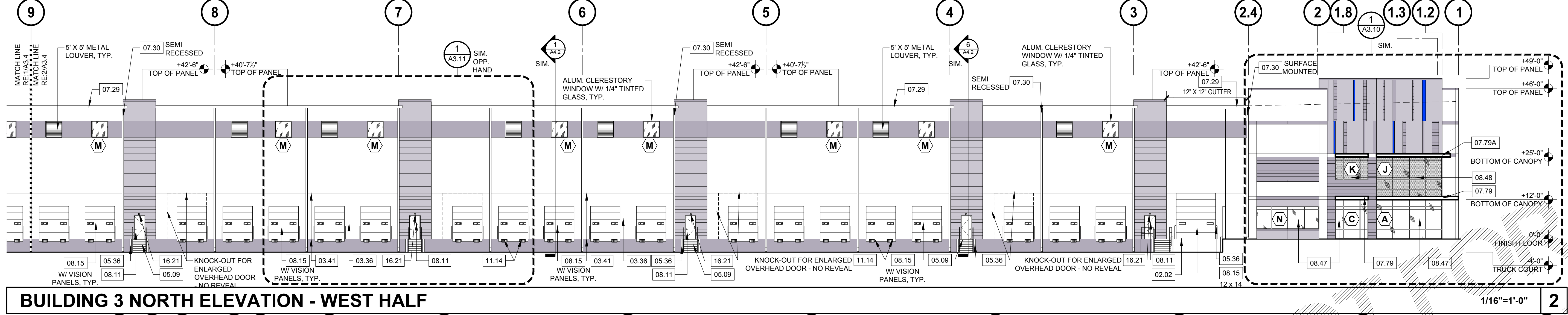
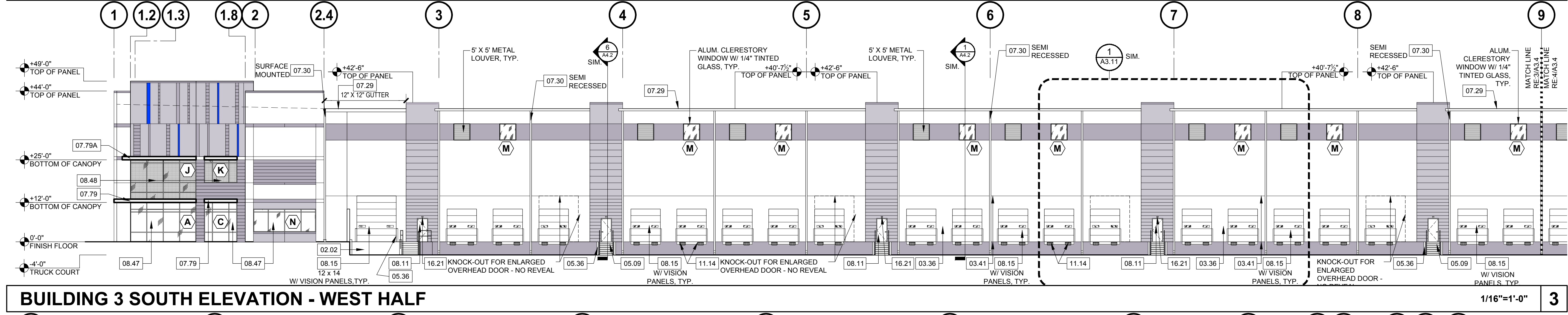
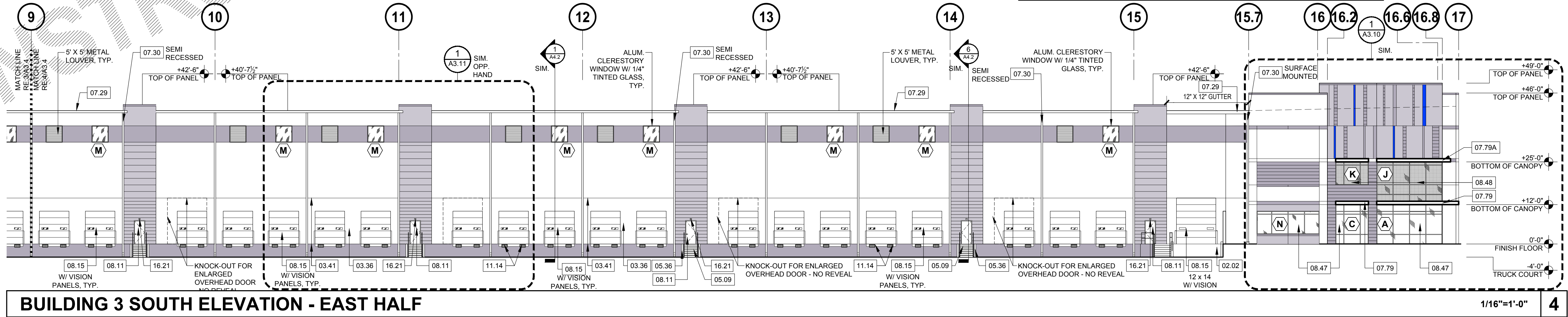
Item # 13

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COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR	(BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1	(P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2	(P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3	(P-3)		COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES			
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH. FREE OF GALVANIC COATED BARS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING			
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)		RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS	

ARCHITECTURAL SYMBOL LEGEND			
	ROOM NUMBER ROOM NAME	X'-X"	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
	DOOR TYPE - SEE DOOR SCHEDULE RE: SHEET A2.22 & A2.23	X'-X"	INSIDE CLEAR DIMENSION
	GLASS TYPE - SEE GLASS SCHEDULE RE: SHEET A2.24	VERIFY	VERIFY DIMENSION IN FIELD
	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X'-X"	ARC LENGTH DIMENSION
	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER		NEW PARTITION
	PARTITION TYPE RE: SHEET A0.2		SOUND INSULATED PARTITION
	FE = FIRE EXTINGUISHER		LOW PARTITION
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		THERMAL INSULATED PARTITION
	EXIT SIGNAGE	AS-X	1HR RATED PARTITION
		DS	ACCESSORY TYPE RE: SHEET AXX
			DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
02 - SITE	02.02 NEW CONCRETE DOCK HIGH RAMP
03 - CONCRETE	03.36 TILT-UP CONCRETE PANELS
	03.41 RECESSED CONCRETE REVEAL RE: WALL SECTIONS
05 - METALS	05.09 METAL STAIR
	05.36 STEEL PIPE BOLLARD FILLED WITH CONCRETE, GALVANIZED & PAINTED
07 - THERMAL/MOISTURE BARRIER	07.29 CONTINUOUS METAL GUTTER (PREFINISHED - PAINT)
	07.30 DOWNSPOUT (PREFINISHED - PAINT)
	07.79 PREFINISHED METAL CANOPY RE: SPECS.
	07.79A PREFINISHED METAL SUNSCREEN RE: SPECS.
08 - DOORS/WINDOWS	08.11 HOLLOW METAL DOOR
	08.15 SECTIONAL OVERHEAD DOOR
	08.47 ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS
	08.48 SPANDREL GLASS
11 - EQUIPMENT	11.14 DOCK BUMPER
16 - ELECTRICAL	16.21 WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS

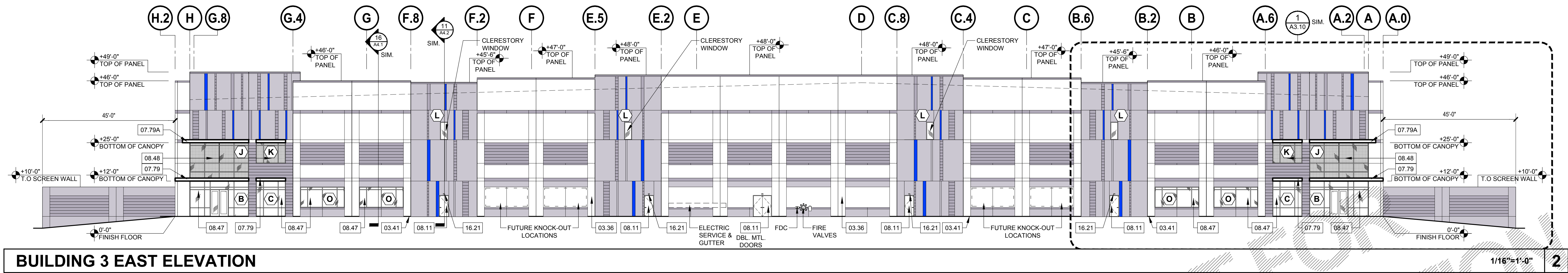


NOT FOR CONSTRUCTION

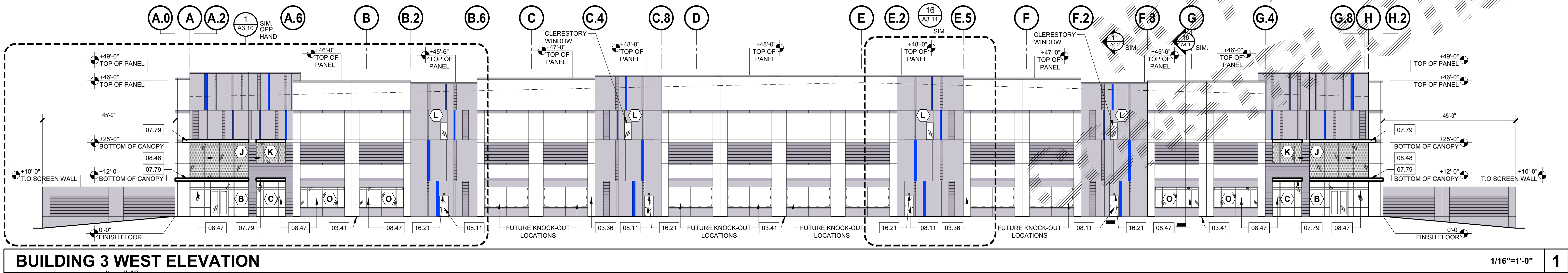
COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR	(BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1	(P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2	(P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3	(P-3)		COLOR TO BE SELECTED
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ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)		RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS	

ARCHITECTURAL SYMBOL LEGEND			
100	OFFICE	ROOM NUMBER ROOM NAME	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
X	DOOR TYPE - SEE DOOR SCHEDULE RE: SHEET A2.22 & A2.23	X'-X"	INSIDE CLEAR DIMENSION
X	GLASS TYPE - SEE GLASS SCHEDULE RE: SHEET A2.24	X'-X"	VERIFY DIMENSION IN FIELD
X	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X'-X"	ARC LENGTH DIMENSION
X	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER	X'-X"	NEW PARTITION
X	PARTITION TYPE RE: SHEET A0.2	X'-X"	SOUND INSULATED PARTITION
FE	FE = FIRE EXTINGUISHER	X'-X"	LOW PARTITION
SFE	SFE = SEMI-RECESSED FIRE EXTINGUISHER	X'-X"	THERMAL INSULATED PARTITION
EXIT	EXIT SIGNAGE	X'-X"	1HR RATED PARTITION
		AS-X	ACCESSORY TYPE RE: SHEET AXX
		DS	DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
03 - CONCRETE	
03.36	TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
07 - THERMAL/MOISTURE BARRIER	
07.79	PREFINISHED METAL CANOPY RE: SPECS.
07.79A	PREFINISHED METAL SUNSCREEN RE: SPECS.
08 - DOORS/WINDOWS	
08.11	HOLLOW METAL DOOR
08.47	ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS
08.48	SPANDREL GLASS
16 - ELECTRICAL	
16.21	WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS



BUILDING 3 EAST ELEVATION



BUILDING 3 WEST ELEVATION

SEEBERGER
ARCHITECTURE

2555 Central Parkway, Houston TX 77092
(713) 977-5400
www.seeberger.com

ALLIANCE
INDUSTRIAL COMPANY

YARRINGTON DISTRIBUTION CENTER
XXX IH 35
KYLE, TX, 78640

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DATE: 11/5/2021
PERRY E. SEEBERGER, AIA
STATE LICENSE # 7571

DRAWING HISTORY
1 PERMIT PRICING - 11/5/2021
2
3
4
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7
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9

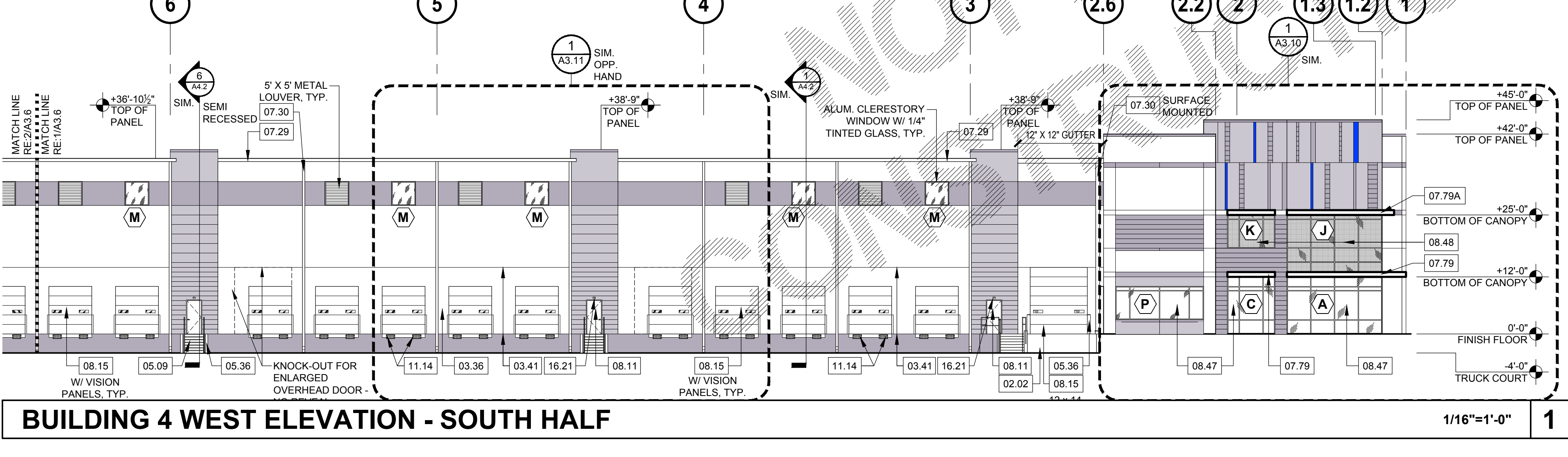
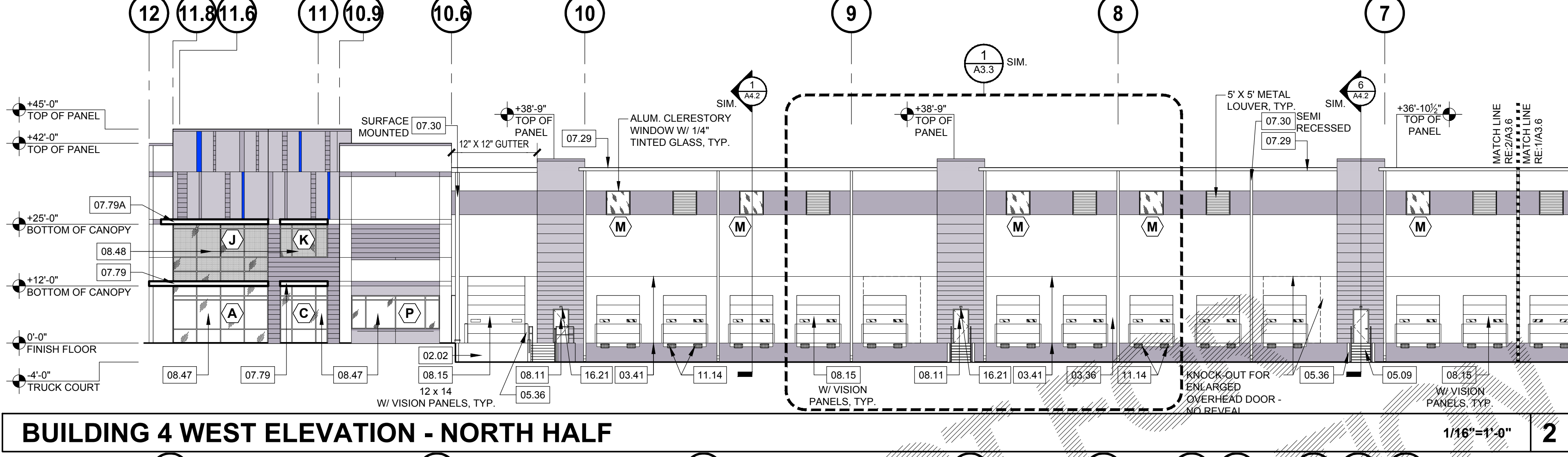
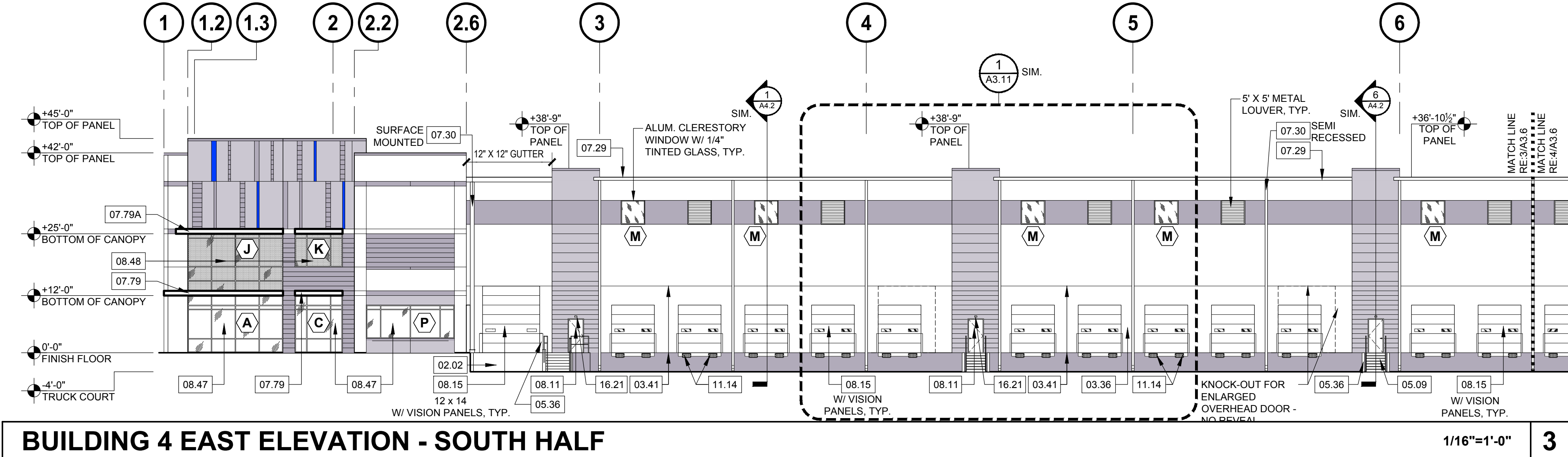
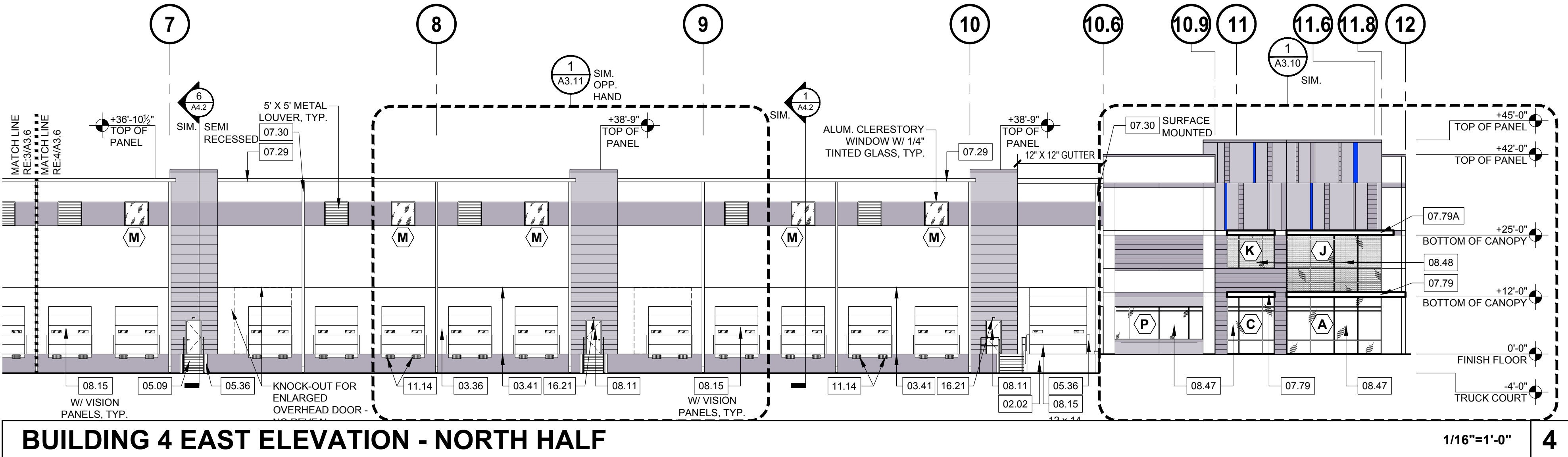
DWGTYPE
BLDG.3 - ELEVATIONS
PROJECT
221024

A3.5

ARCHITECTURAL SYMBOL LEGEND			
	ROOM NUMBER ROOM NAME	X'-X"	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
	DOOR TYPE - SEE DOOR SCHEDULE RE-SHEET A2.22 & A2.23	X'-X"	INSIDE CLEAR DIMENSION
	GLASS TYPE - SEE GLASS SCHEDULE RE-SHEET A2.24	X'-X"	VERIFY
	SECTION MARK DETAIL NUMBER SHEET NUMBER	X'-X"	VERIFY DIMENSION IN FIELD
	ELEVATION MARK DETAIL NUMBER SHEET NUMBER	X'-X"	ARC LENGTH DIMENSION
	PARTITION TYPE RE-SHEET A0.2		NEW PARTITION SOUND INSULATED PARTITION LOW PARTITION THERMAL INSULATED PARTITION 1HR RATED PARTITION ACCESSORY TYPE RE-SHEET AXX-X
	FE = FIRE EXTINGUISHER		DS = SEMI-RECESSED DOWNSPOUT, U.O.O.
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		
	EXIT SIGNAGE		

COLOR SCHEME - PAINT		COLORS SIMILAR TO:
BASE COLOR (BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1 (P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2 (P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3 (P-3)		COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES		
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH. FREE OF GALVANIC COATED BARRS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING		
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1) RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)		
RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS		

PROJECT KEYNOTES	
02 - SITE	02.02 NEW CONCRETE DOCK HIGH RAMP
03 - CONCRETE	03.36 TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
05 - METALS	05.09 METAL STAIR
05.36	STEEL PIPE BOLLARD FILLED WITH CONCRETE, GALVANIZED & PAINTED
07 - THERMAL/MOISTURE BARRIER	07.29 CONTINUOUS METAL GUTTER (PREFINISHED - PAINT)
07.30	DOWNSPOUT (PREFINISHED - PAINT)
07.79	PREFINISHED METAL CANOPY RE: SPECS.
07.79A	PREFINISHED METAL SUNSCREEN RE: SPECS.
08 - DOORS/WINDOWS	08.11 HOLLOW METAL DOOR
08.15	SECTIONAL OVERHEAD DOOR
08.47	ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS
08.48	SPANDREL GLASS
11 - EQUIPMENT	11.14 DOCK BUMPER
16 - ELECTRICAL	16.21 WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS

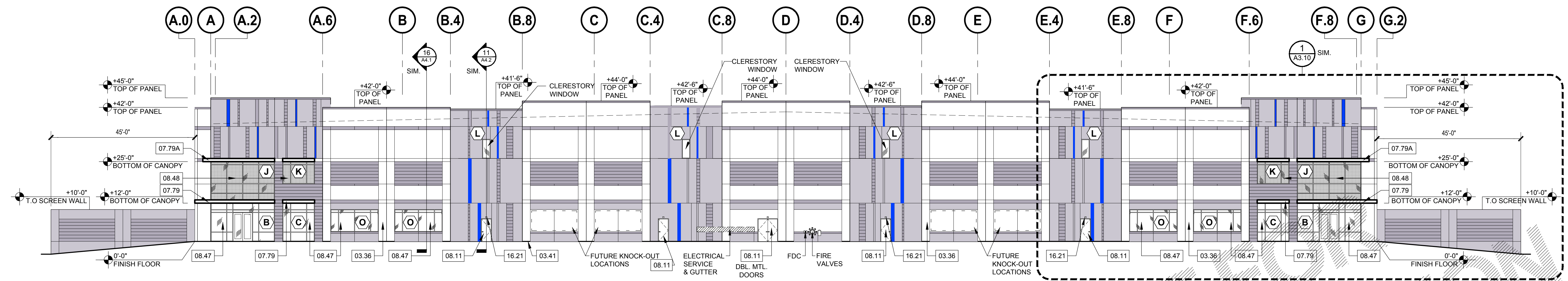


NOT FOR CONSTRUCTION

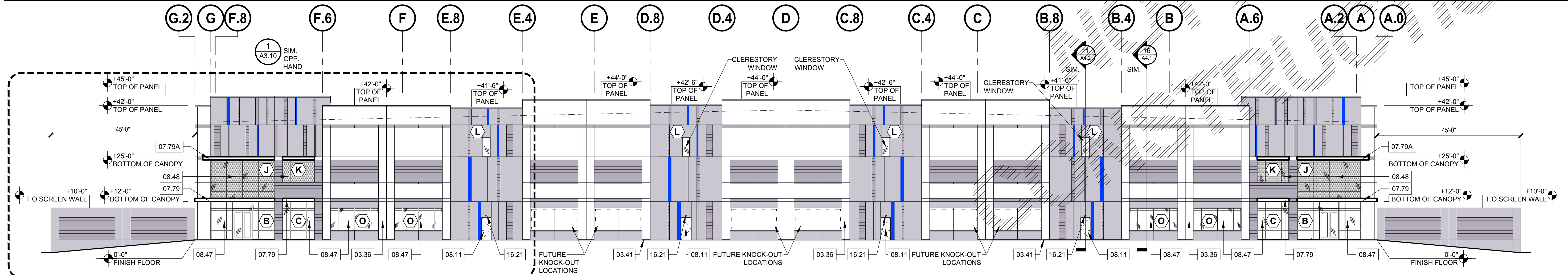
COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR	(BC-1)		COLOR TO BE SELECTED
ACCENT COLOR 1	(P-1)		COLOR TO BE SELECTED
ACCENT COLOR 2	(P-2)		COLOR TO BE SELECTED
ACCENT COLOR 3	(P-3)		COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES			
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH, FREE OF GALVANIC COATED BARBS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING			
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)			
RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS			

ARCHITECTURAL SYMBOL LEGEND			
	ROOM NUMBER ROOM NAME	X'-X"	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
	DOOR TYPE - SEE DOOR SCHEDULE RE: SHEET A2.22 & A2.23	X'-X"	INSIDE CLEAR DIMENSION
	GLASS TYPE - SEE GLASS SCHEDULE RE: SHEET A2.24	X'-X"	VERIFY DIMENSION IN FIELD
	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X'-X"	ARC LENGTH DIMENSION
	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER		NEW PARTITION
	PARTITION TYPE RE: SHEET A0.2		SOUND INSULATED PARTITION
	FE = FIRE EXTINGUISHER		LOW PARTITION
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		THERMAL INSULATED PARTITION
	EXIT SIGNAGE		1HR RATED PARTITION
		AS-X	ACCESSORY TYPE RE: SHEET A-X-X
		DS	DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

PROJECT KEYNOTES	
03 - CONCRETE	
03.36	TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
07 - THERMAL/MOISTURE BARRIER	
07.79	PREFINISHED METAL CANOPY RE: SPECS.
07.79A	PREFINISHED METAL SUNSCREEN RE: SPECS.
08 - DOORS/WINDOWS	
08.11	HOLLOW METAL DOOR
08.47	ALUMINUM & GLASS STOREFRONT SYSTEM RE: SPECS
08.48	SPANDREL GLASS
16 - ELECTRICAL	
16.21	WALL MOUNTED EGRESS LIGHT W/ BATTERY BACKUP RE: ELECTRICAL DRAWINGS



BUILDING 4 SOUTH ELEVATION



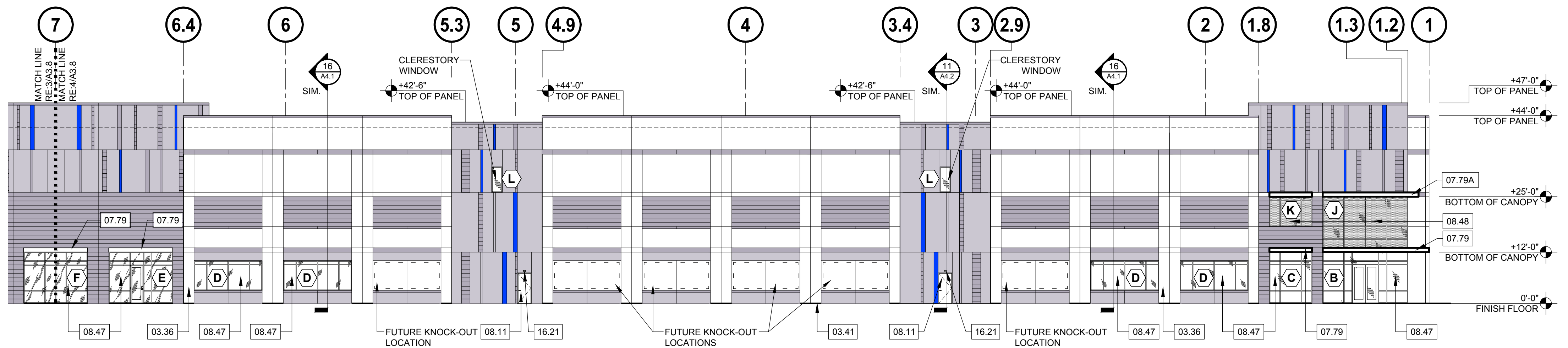
BUILDING 4 NORTH ELEVATION

NOT FOR CONSTRUCTION

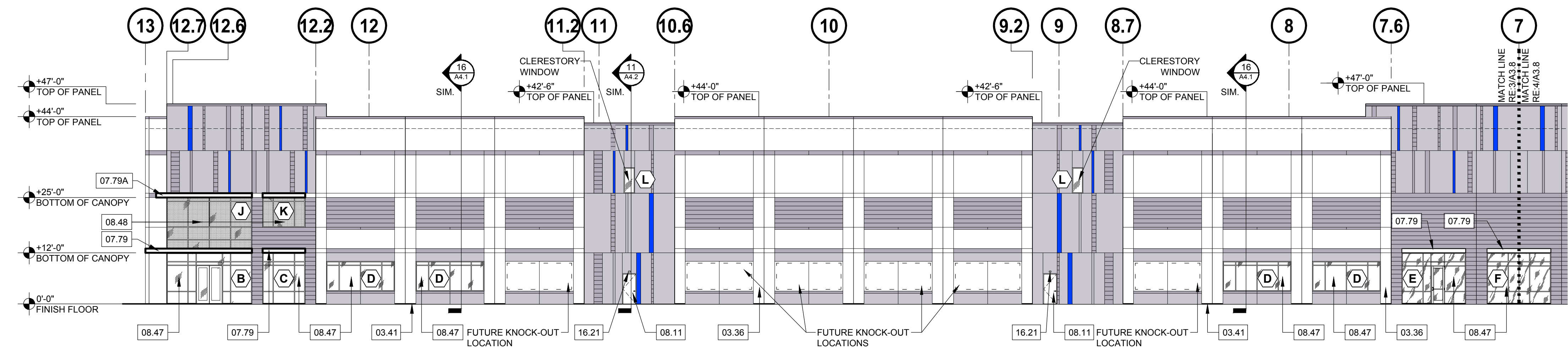
COLOR SCHEME - PAINT			COLORS SIMILAR TO:
BASE COLOR (BC-1)			COLOR TO BE SELECTED
ACCENT COLOR 1 (P-1)			COLOR TO BE SELECTED
ACCENT COLOR 2 (P-2)			COLOR TO BE SELECTED
ACCENT COLOR 3 (P-3)			COLOR TO BE SELECTED
ALL COLOR SELECTIONS TO BE APPROVED BY OWNER FROM MOCK-UP SAMPLES			
HANDRAILS - GALVANIZED NO PAINT. ALL GALVANIZED SURFACES SHALL BE SURVEYED AND MADE SMOOTH. FREE OF GALVANIC COATED BARBS. ALL SURFACES SUBJECT TO FIELD WELDING SHALL BE TREATED WITH GALVANIZED REPAIR COATING			
ALL PERSONNEL DOORS & H.M. FRAMES - PAINT ACCENT COLOR 1 (BC-1)			
RAMP AND CONCRETE STAIR SIDEWALLS - PAINT ACCENT COLOR 1 (P-1)			
			RE: ENLARGED ELEVATIONS & WALL SECTIONS FOR PAINT DESIGNATIONS

ARCHITECTURAL SYMBOL LEGEND			
100	OFFICE	X-X'	FACE TO FACE DIMENSION (TYP., UNLESS OTHERWISE NOTED)
X	DOOR TYPE - SEE DOOR SCHEDULE RE: SHEET A2.22 & A2.23	X-X'	INSIDE CLEAR DIMENSION
X	GLASS TYPE - SEE GLASS SCHEDULE RE: SHEET A2.24	X-X'	VERIFY DIMENSION IN FIELD
X	SECTION MARK - DETAIL NUMBER SHEET NUMBER	X-X'	ARC LENGTH DIMENSION
X	ELEVATION MARK - DETAIL NUMBER SHEET NUMBER		NEW PARTITION
X-X	PARTITION TYPE RE: SHEET A0.2		SOUND INSULATED PARTITION
	FE = FIRE EXTINGUISHER		LOW PARTITION
	SFE = SEMI-RECESSED FIRE EXTINGUISHER		THERMAL INSULATED PARTITION
	EXIT SIGNAGE		1HR RATED PARTITION
		AS-X	ACCESSORY TYPE RE: SHEET A-X-X
		DS	DS = SEMI-RECESSED DOWNSPOUT, U.N.O.

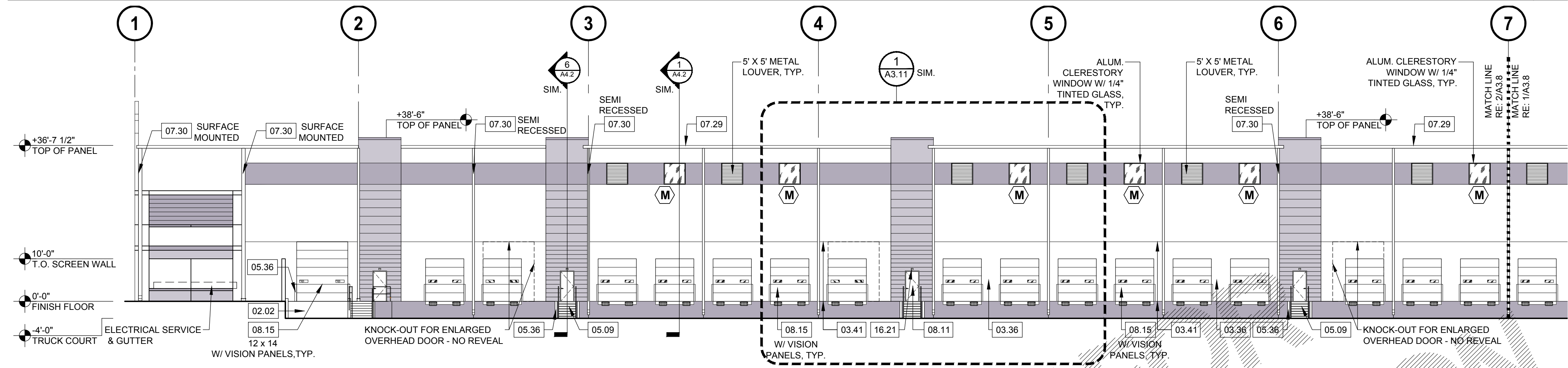
PROJECT KEYNOTES	
02 - SITE	02.02 NEW CONCRETE DOCK HIGH RAMP
03 - CONCRETE	03.36 TILT-UP CONCRETE PANELS
03.41	RECESSED CONCRETE REVEAL RE: WALL SECTIONS
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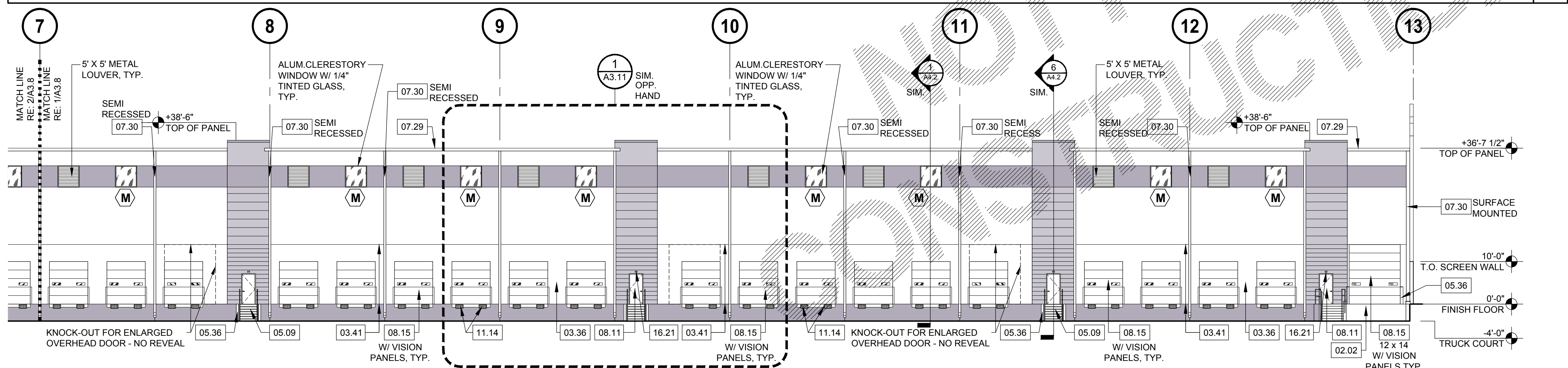
BUILDING 5 EAST ELEVATION - NORTH HALF 1/16"=1'-0" 4



BUILDING 5 EAST ELEVATION - SOUTH HALF 1/16"=1'-0" 3
















BUILDING 5 WEST ELEVATION - NORTH HALF 1/16"=1'-0" 2

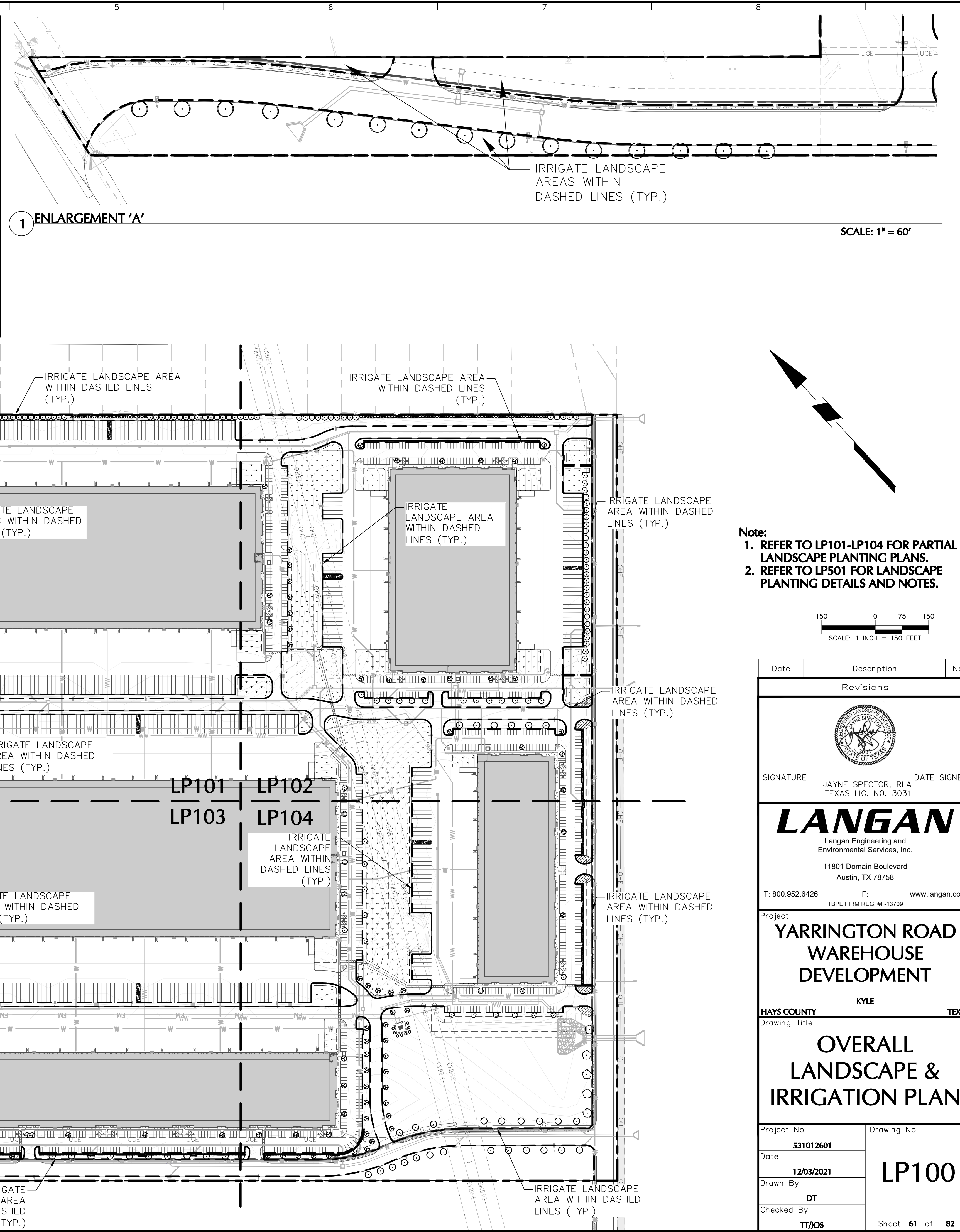


BUILDING 5 WEST ELEVATION - SOUTH HALF 1/16"=1'-0" 1

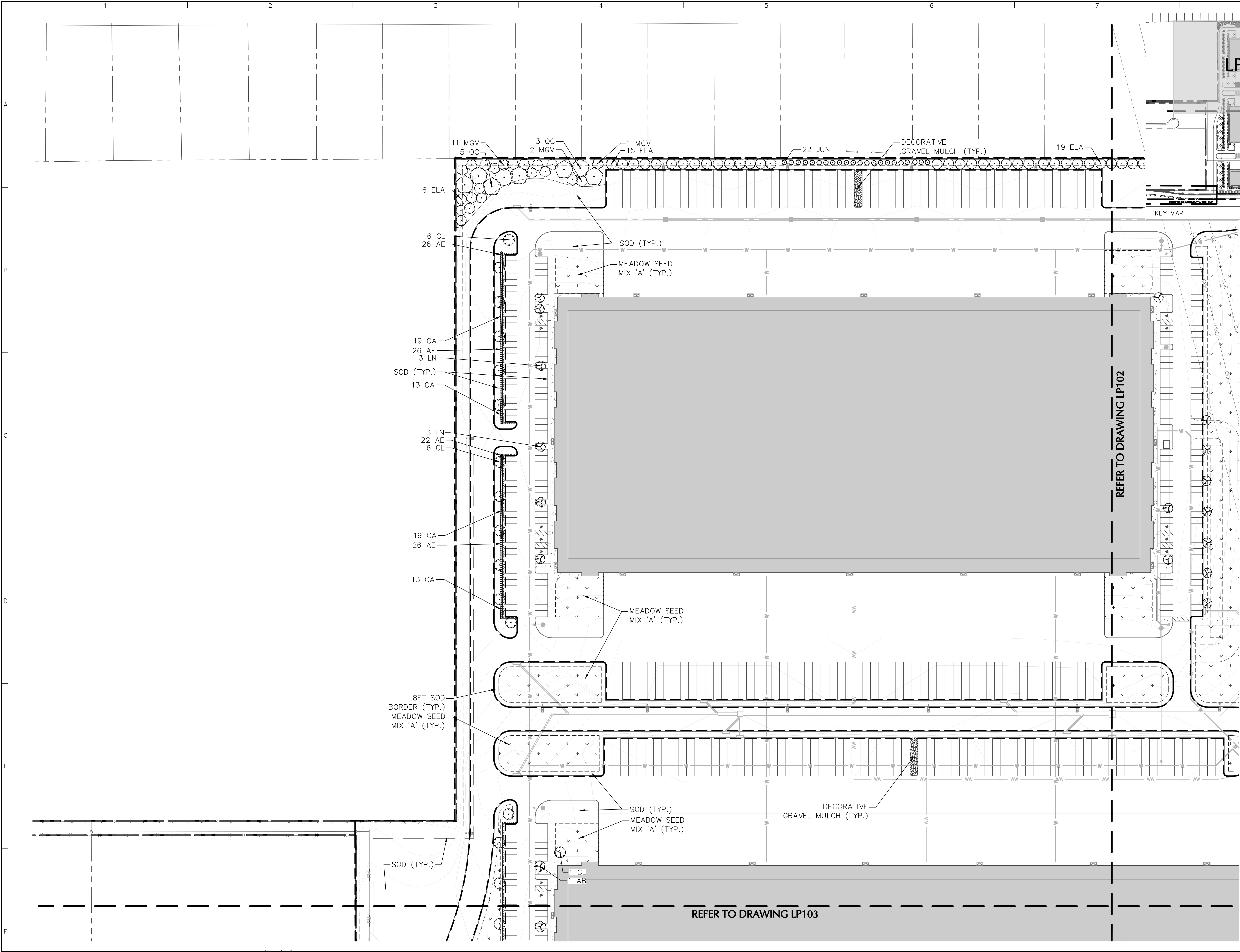
ORDINANCE COMPLIANCE TABLE				
ZONING DISTRICT (CITY OF KYLE, HAYS COUNTY): WAREHOUSE (W)				
ITEM	REQUIRED	PROVIDED	COMPLIES	ORDINANCE SECTION
Landscaping Requirements				
A minimum of 15% of the total lot area shall be devoted to landscape development.	97.31 acres x 0.15 = 14.60 acres required	967,867 sf / 43,560 sf = 22.22 acres provided	Yes	Sec. 54-5
Placement				
A minimum of 35% of the required landscaped area and required plantings shall be installed between the front property lines and the building being constructed.	14.60 acres x 0.35 = 5.11 acres required	285,430 sf / 43,560 sf = 6.55 acres provided	Yes	Sec. 54-7
Additional Required Plantings				
Case 3: Required landscape area - greater than 110,000 square feet = 50 three-inch caliper trees and 30 one-gallon shrubs plus one three-inch caliper tree per 10,000 square feet.	14.60 acres x 43,560 sf = 635,976 sf 63,5976 sf - 110,000 (50 trees) = 525,976 sf 525,976 sf / 10,000 sf = 53 53 x 1 tree = 53 trees and 53 x 30 shrubs = 1,590 shrubs 103 three-inch trees and 1590 one-gallon shrubs required	123 three-inch caliper trees and 1,659 shrubs provided	Yes	Sec. 54-9 (3)
If more than 30 trees will be used, a mixture of three or more tree species must be used. If more than 50 shrubs will be used, a mixture of three or more shrub species must be used.	Three or more tree species Three or more shrub species	Ten tree species provided and Three shrub species provided	Yes	Sec. 54-9 (4)
Screening				
All off-street parking lots serving five or more spaces, loading spaces and docks, outside storage areas, and mechanical equipment must be screened from view from the street or public rights-of-way.	Parking areas to be screened from right-of-way and adjacent residential properties.	All parking areas screened from right-of-way and residential properties.	Yes	Sec. 54-11 (1)
Evergreen plant materials shall be shrubs, at least 30 inches in height and at a minimum spacing of 48 inches at the time of installation.	A minimum of a 4ft wide planting strip adjacent to residential lots.	A 10ft wide evergreen buffer is provided along adjacent residential lots.	Yes	Sec. 54-11 (4)

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	AB	24	ACER BUERGERIANUM 'ABMTF' TM / AERYN TRIDENT MAPLE	30 GAL.	CONTAINER	10'-12' HT
	AG	7	ACER GRISEUM / PAPERBARK MAPLE	30 GAL.	CONTAINER	10'-12' HT
	CL	37	CHILOPSIS LINEARIS / DESERT WILLOW	3" CAL.	CONTAINER	10'-12' HT
	ELA	73	ELAEOCARPUS DECIPIENS / JAPANESE BLUEBERRY TREE	15 GAL.	CONTAINER	FTG
	JUN	97	JUNIPERUS VIRGINIANA / EASTERN REDCEDAR	15 GAL.	CONTAINER	8'-10' HT
	LN	74	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ GRAPE MYRTLE	30 GAL.	CONTAINER	STANDARD
	MGV	24	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA	30 GAL.	CONTAINER	MULTI-STEM
	PM	54	PLATANUS MEXICANA / MEXICAN SYCAMORE	3" CAL.	CONTAINER	10'-12' HT
	QC	13	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	3" CAL.	CONTAINER	10'-12' HT
	UD	19	ULMUS PARVIFOLIA 'DRAKE' / DRAKE LACEBARK ELM	3" CAL.	CONTAINER	10'-12' HT
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	DETAIL REMARKS
	AE	519	ABELIA X 'EDWARD GOUCHER' / EDWARD GOUCHER ABELIA	5 GAL.	CONTAINER	30"-36" SPREAD
	CA	461	CALLISTEMON ACUMINATUS / BOTTLEBRUSH	5 GAL.	CONTAINER	30"-36" SPREAD
	MIS	679	MISCANTHUS CAPENSIS / SILVERGRASS	1 GAL.	CONTAINER	SPACED @ 36" O.C.

ENLARGEMENT 'A'



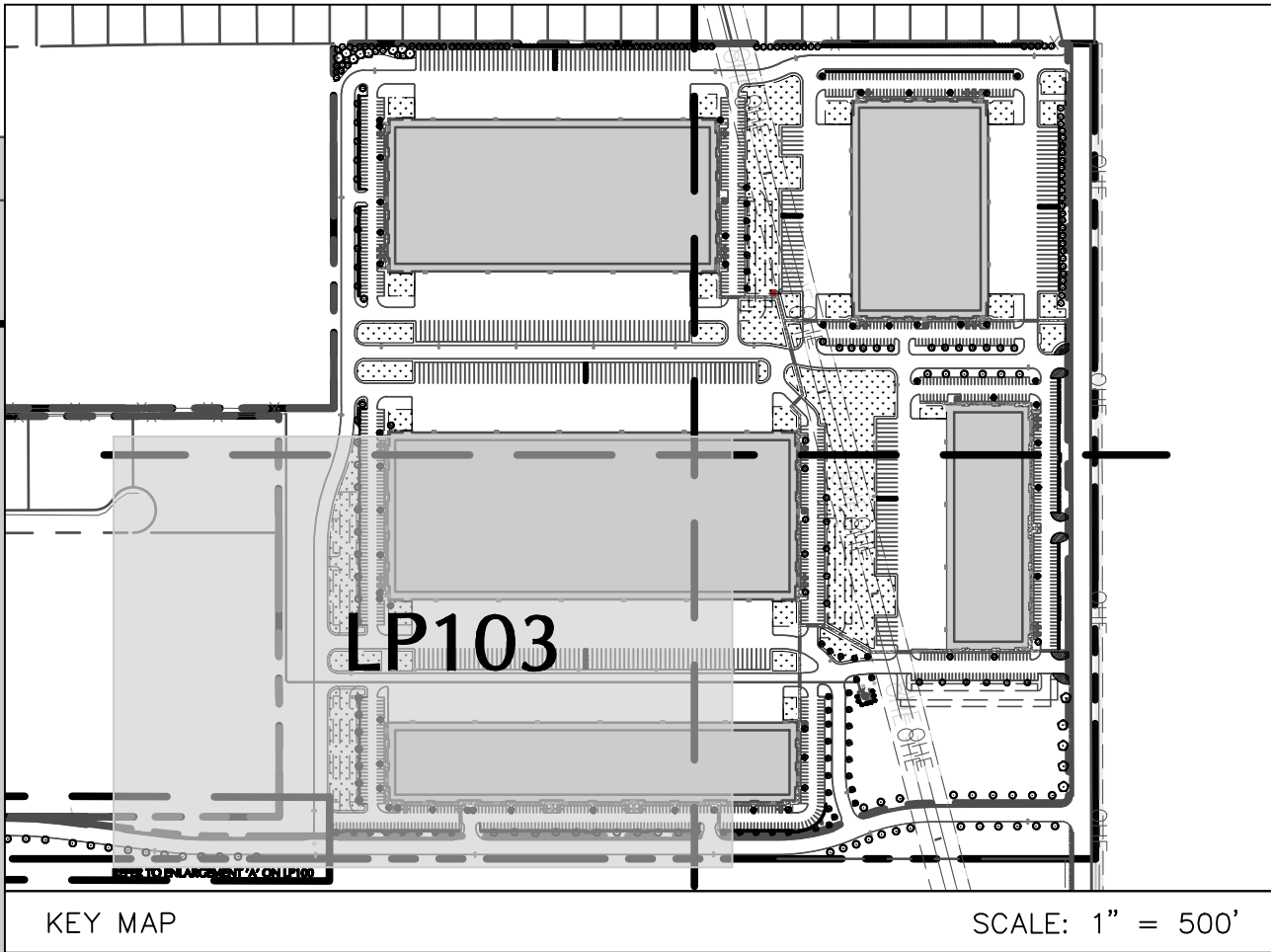
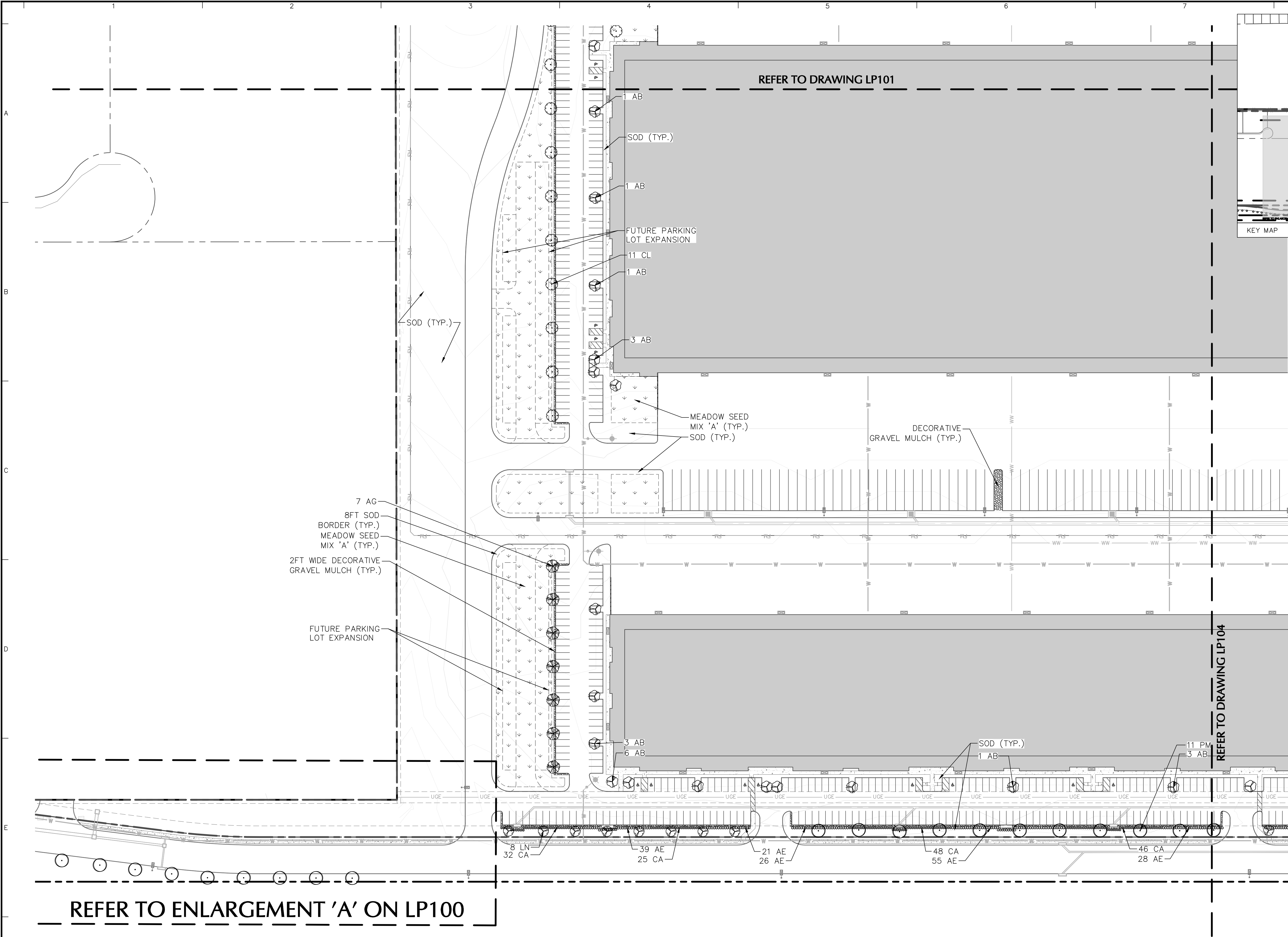
Date	Description	No.
Revisions		
		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE TEXAS		
HAYS COUNTY Drawing Title OVERALL LANDSCAPE & IRRIGATION PLAN		
Project No. 531012601	Drawing No. LP100	
Date 12/03/2021		
Drawn By DT		
Checked By TT/OS		
Sheet 61 of 82		



- NOTES:**
1. REFER TO LP100 FOR OVERALL LANDSCAPE & IRRIGATION PLAN.
 2. REFER TO LP102-LP104 FOR PARTIAL LANDSCAPE PLANTING PLANS.
 3. REFER TO LP501 FOR LANDSCAPE & IRRIGATION DETAILS AND NOTES.



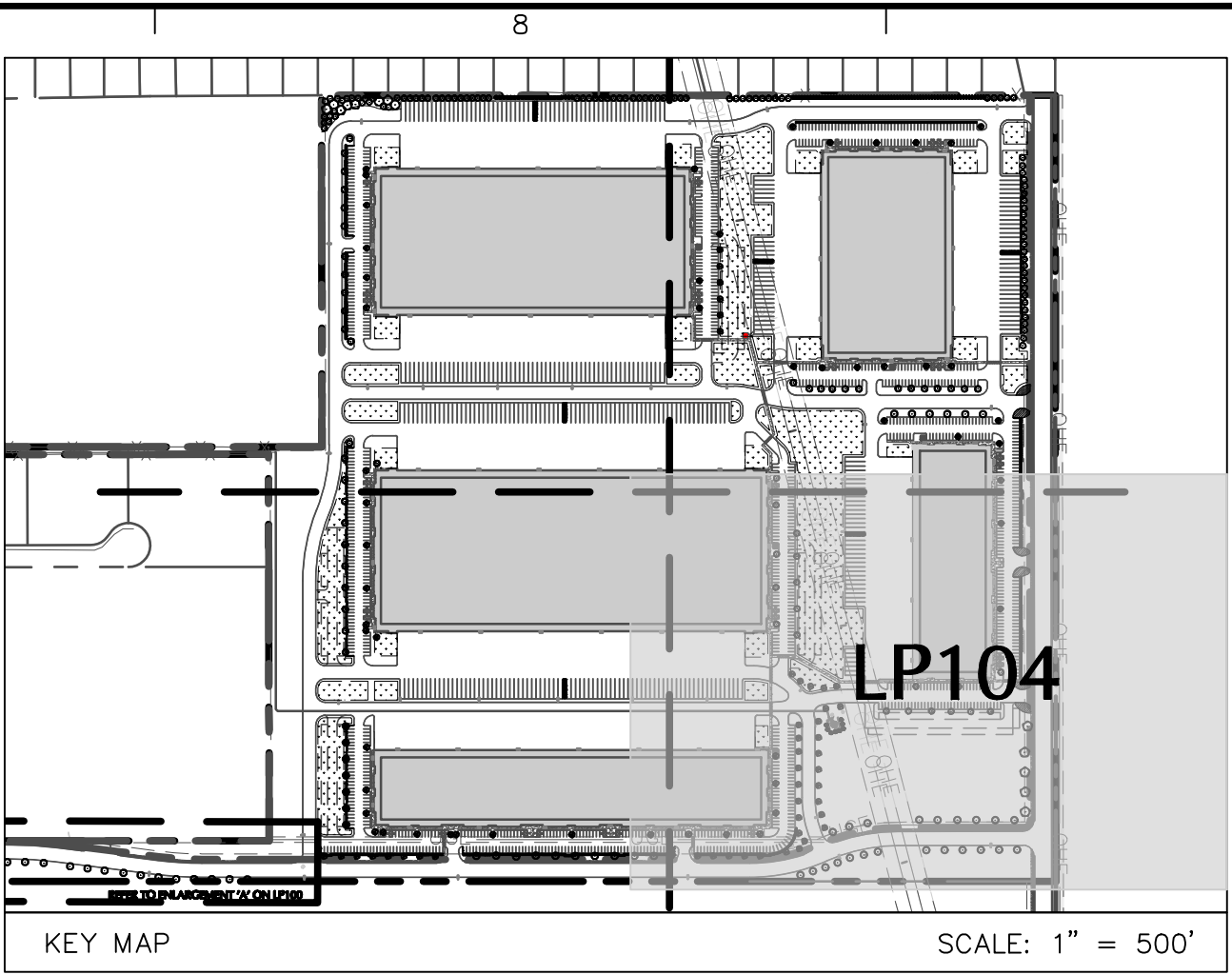
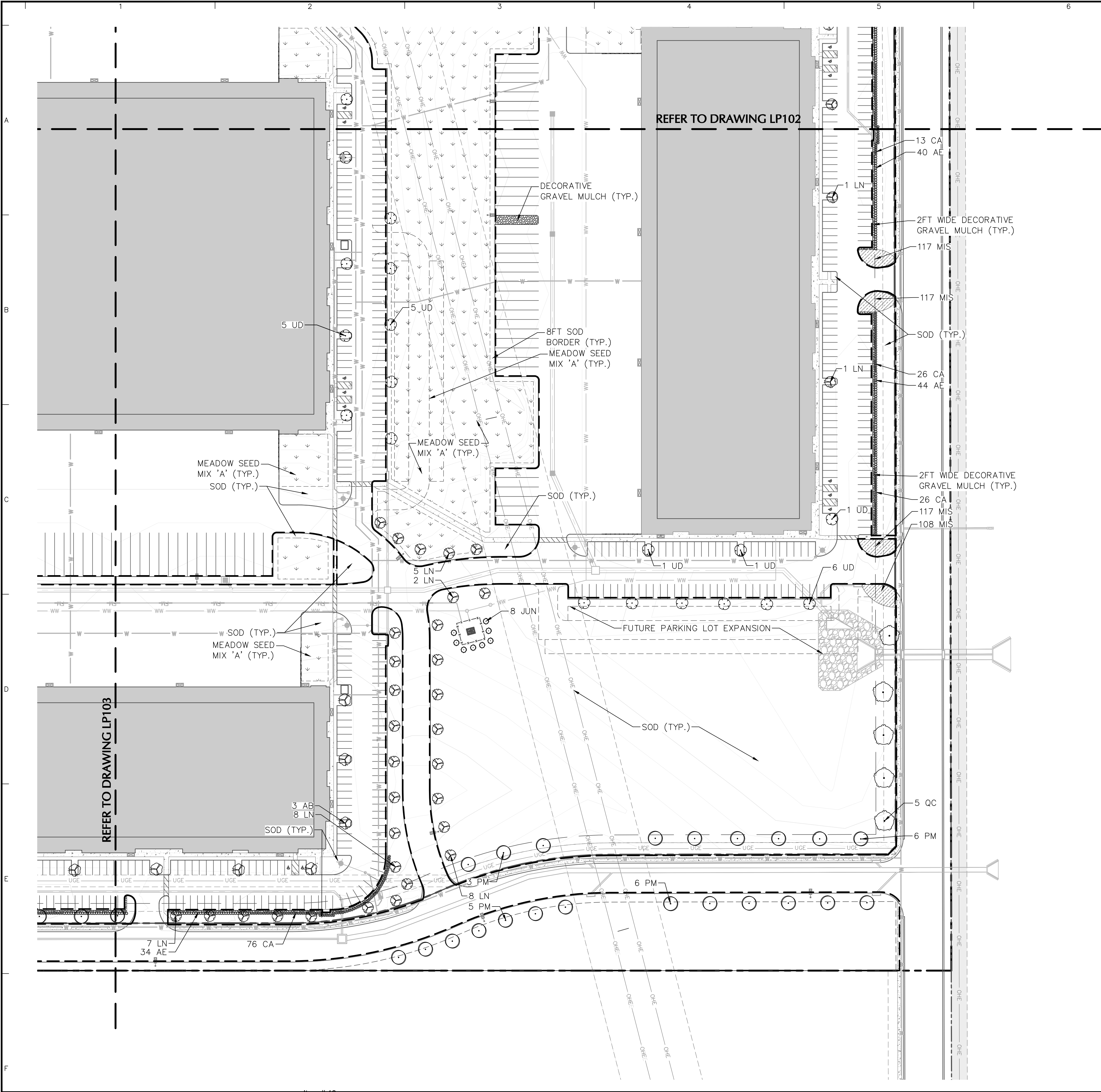
Date	Description	No.
Revisions		
		
SIGNATURE		DATE SIGNED
JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031		
<div>LANGAN</div> <div>Langan Engineering and Environmental Services, Inc.</div> <div>11801 Domain Boulevard Austin, TX 78758</div> <div>T: 800.952.6426 F: www.langan.com</div> <div>TBPE FIRM REG. #F-13709</div>		
Project		
YARRINGTON ROAD WAREHOUSE DEVELOPMENT		
KYLE		TEXAS
HAYS COUNTY		
Drawing Title		
PARTIAL LANDSCAPE PLANTING PLAN I		
Project No.		Drawing No.
531012601		LP101
Date		
12/03/2021		
Drawn By		
DT		
Checked By		
TT/OS		Sheet 62 of 82



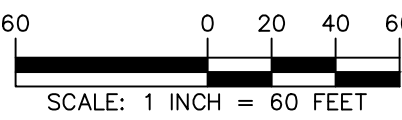
- NOTES:
1. REFER TO LP100 FOR OVERALL LANDSCAPE & IRRIGATION PLAN.
 2. REFER TO LP101, LP102 AND LP104 FOR PARTIAL LANDSCAPE PLANTING PLANS.
 3. REFER TO LP501 FOR LANDSCAPE & IRRIGATION DETAILS AND NOTES.



Date	Description	No.
Revisions		
		
SIGNATURE		DATE SIGNED
JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031		
<div>LANGAN</div> <div>Langan Engineering and Environmental Services, Inc.</div> <div>11801 Domain Boulevard Austin, TX 78758</div> <div>T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709</div>		
Project		
YARRINGTON ROAD WAREHOUSE DEVELOPMENT		
KYLE		
HAYS COUNTY		
Drawing Title		
PARTIAL LANDSCAPE PLANTING PLAN II		
Project No.		Drawing No.
531012601		LP103
Date		
12/03/2021		
Drawn By		
DT		
Checked By		
TT/OS		Sheet 64 of 82



- NOTES:
1. REFER TO LP100 FOR OVERALL LANDSCAPE & IRRIGATION PLAN.
 2. REFER TO LP101 - LP103 FOR PARTIAL LANDSCAPE PLANTING PLANS.
 3. REFER TO LP501 FOR LANDSCAPE & IRRIGATION DETAILS AND NOTES.



Date	Description	No.
Revisions		
		
SIGNATURE		DATE SIGNED
JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031		
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project		
YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE HAYS COUNTY TEXAS		
Drawing Title		
PARTIAL LANDSCAPE PLANTING PLAN IV		
Project No.		Drawing No.
531012601		LP104
Date		
12/03/2021		
Drawn By		
DT		
Checked By		
TT/OS		Sheet 65 of 82

GENERAL LANDSCAPE PLANTING NOTES

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EROSION OF DUST.
3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
4. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
5. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
7. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
8. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
9. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RESAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE PROJECT. IF THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
10. DELIVERY, STORAGE, AND HANDLING:
 - A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - B. TREES AND SHRUBS: TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED, DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BEND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT MATERIAL IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN PLACE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
11. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH IMMEDIATELY OF ANY CLUMPS AND OR UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
12. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
13. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL DYING OR DEAD BEFORE THE END OF THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
14. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
15. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
16. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
17. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN 1/3 OF THE ROOT BALL AS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
18. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
19. ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
20. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
21. PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
22. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

LANDSCAPE MAINTENANCE NOTES

1. MAINTENANCE OPERATIONS DURING CONSTRUCTION AND BEFORE APPROVAL.
 - A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.
 - B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
 - D. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.
 - E. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.
 - F. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
 - G. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
 - H. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.
3. LAWN MAINTENANCE.
 - A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.
 - B. WATER TO KEEP SURFACE SOIL MOIST. REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING. MOW TO 2 1/2" - 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHES. WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

MEADOW SEED MIX:

1. MEADOW SEED MIX A NATIVE AMERICAN SEED ITEM #2804 "MIDWAY MIX"
 - NOTE: 1. SEED AT A RATE OF 1 LBS./ 1000 SF OF 100% PURE LIVE SEED.

MEADOW SEEDING NOTES:

1. SEEDING SHALL TAKE PLACE IN THE SPRING (MAR 1 TO MAY 15) OR THE FALL (AUGUST 15 TO OCTOBER 1).
2. ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A BROAD-SPECTRUM NON-SELECTIVE HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
3. IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUX-XTYPE DRILL WHERE APPLICABLE.
4. CONTINUOUS MOISTURE FOR 4-6 WEEKS MUST BE INSURED TO ALLOW PROPER GERMINATION.

MEADOW WEED CONTROL / MAINTENANCE

1. DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW MEADOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW AT A HEIGHT OF 8"-10". DO NOT MOW CLOSE, AS SOME OF THE MEADOW MIX MAY BE DAMAGED.
2. AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED, THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER DURING THE MONTH OF MARCH.

PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOWNS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
2. PLANTING SOIL:
 - A. REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
 - B. SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPOSED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
 - C. CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRODUCTION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF ACTUAL USE.
 - D. ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUIVALENT, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
 - E. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
 - a. PARTICLE SIZE ANALYSIS: LOAMY SAND: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY.
 - b. FERTILITY ANALYSIS: PH (5.5-6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM.
 - c. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS.
 - d. TOXIC SUBSTANCE ANALYSIS.
 - e. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED.
 - f. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE.
 - F. SOIL AMENDMENT FOR PLANT MATERIAL:
 - a. IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8, MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 M OH/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
 - b. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT, SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
 - c. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.
 - d. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
 - a. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
 - b. BRING PH LEVELS TO 6.5 MIN. TO 6.5 FOR NON-ERIGACIOUS PLANTS
 - c. BRING PH LEVELS TO 6.5 MIN. TO 6.5 FOR ERIGACIOUS PLANTS
 - d. TERRA-SORB BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER
 - e. MYCOR-ROOT SAVER BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.

4. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
5. CLEAN SOIL FILL IN LANDSCAPE AREAS:
 - A. LANDSCAPE FILL MATERIAL BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.
 - B. SOIL PLACEMENT:
 - a. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUND COVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
 - b. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
 - c. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
 - C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
 - a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 80% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

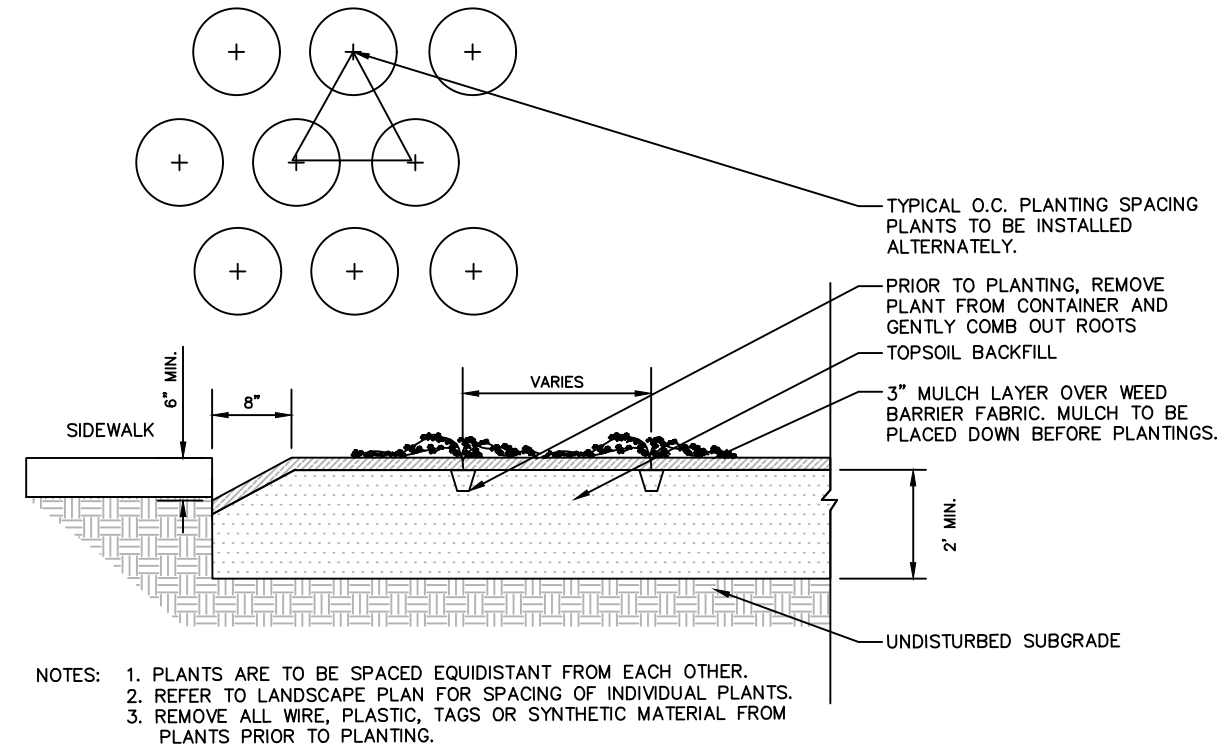
7. SOIL CONDITIONING:
 - A. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH USING ELEMENTAL SULFUR ONLY. FEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE.
 - B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
 - a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 80% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

LAWN (SOD) SPECIFICATIONS

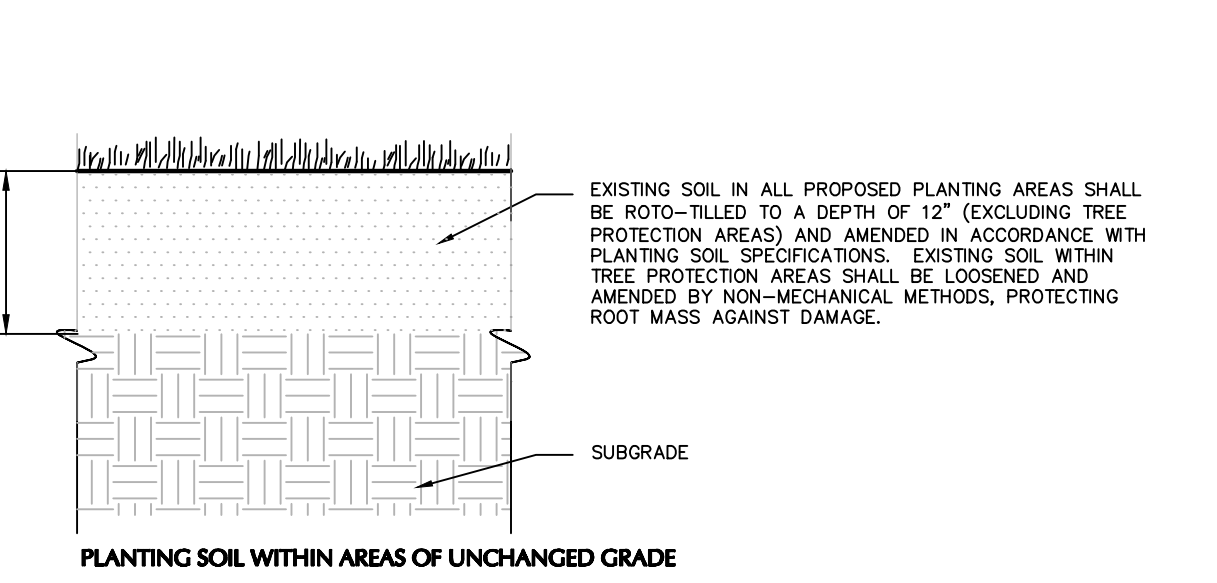
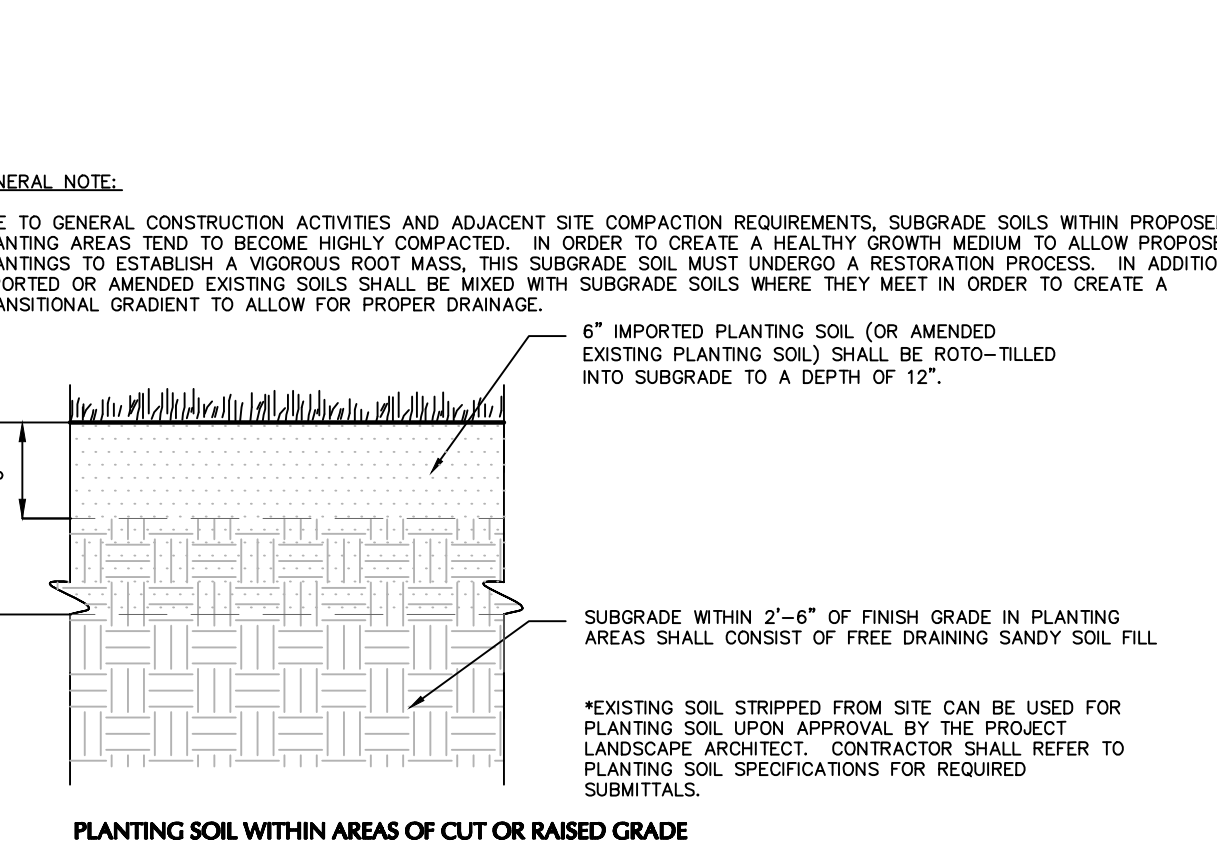
1. LAWN (SOD).
 - A. SOD IS TO BE A BUFFALO GRASS (BOULBOUVA DACTYLOIDES) OR MATCH EXISTING. SOD IS TO BE INDIGENOUS TO THE AREA AND BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.
 - B. PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.
 - C. ALL STONES GREATER THAN 1/2" DIAMETER SHALL BE REMOVED.
 - D. SOD IS TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAID OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.
 - E. SOD IS TO BE WATERED PER LOCAL RECOMMENDATIONS AT A RATE TO ENSURE ROOT MASS MEETS WITH SOIL. AFTER THIS HAS OCCURRED, NORMAL WATERING SHALL BE PERFORMED.
 - F. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

DECORATIVE STONE MULCH NOTES

1. LANDSCAPED AREAS BETWEEN THE BUILDING AND THE PARKING LOT CURB SHALL BE MULCHED WITH STONE.
2. DECORATIVE STONE MULCH DEPTH AT PLANTINGS SHALL BE 3" DEPTH WITH WEED BLOCK FABRIC BENEATH.
3. REFER TO PLANS FOR EXACT LOCATIONS.

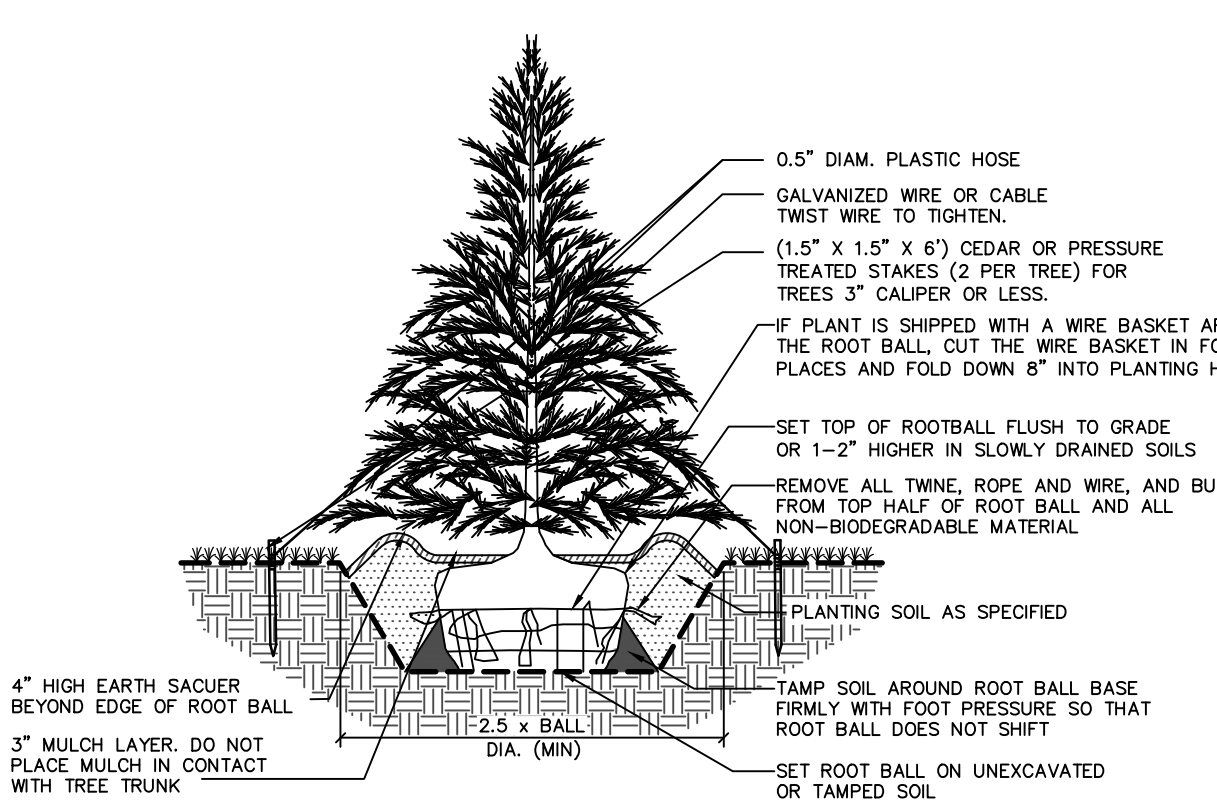


1 GROUNDCOVER/ PERENNIAL PLANTING NTS

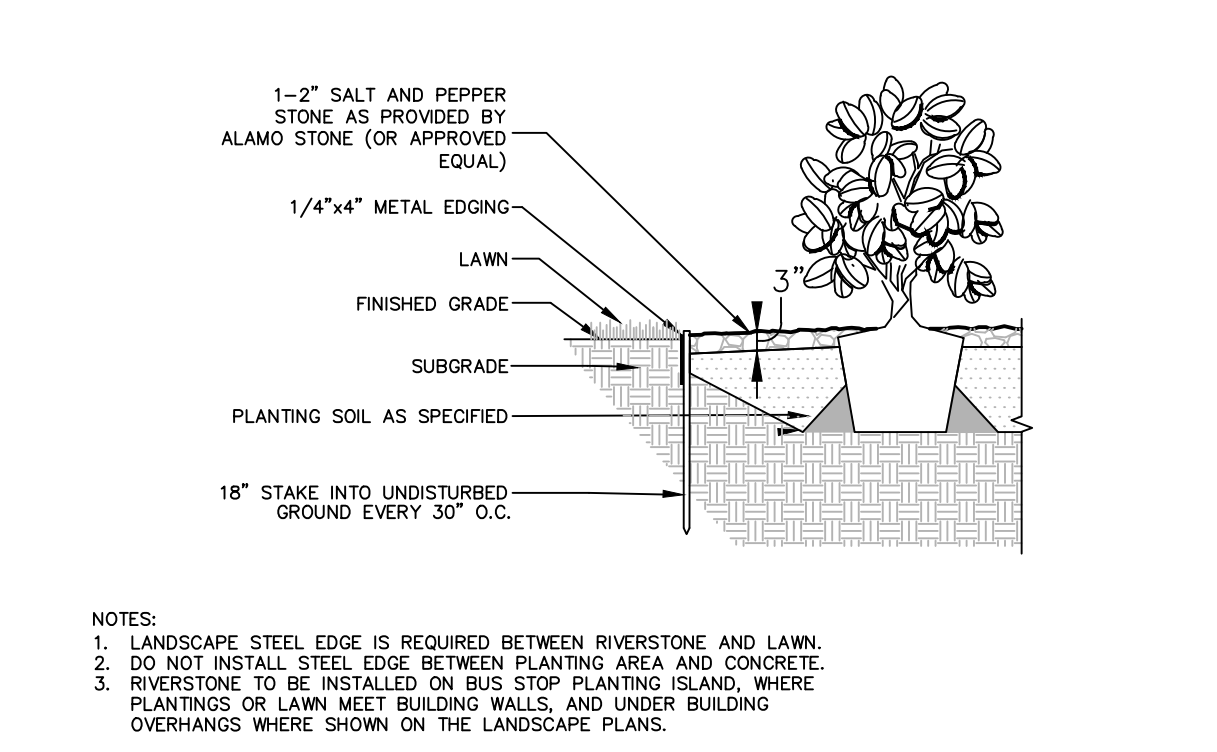
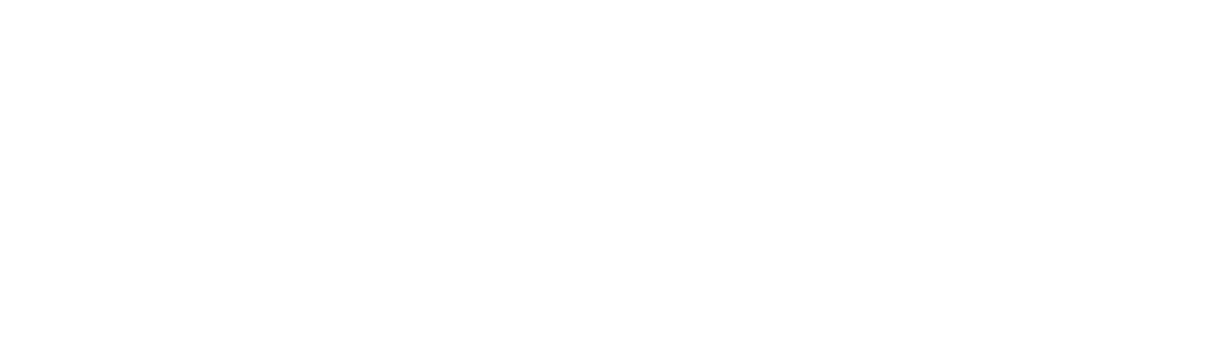


- NOTES:
1. CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
 2. RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
 3. IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCEEDENCE OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
 4. CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
 5. NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

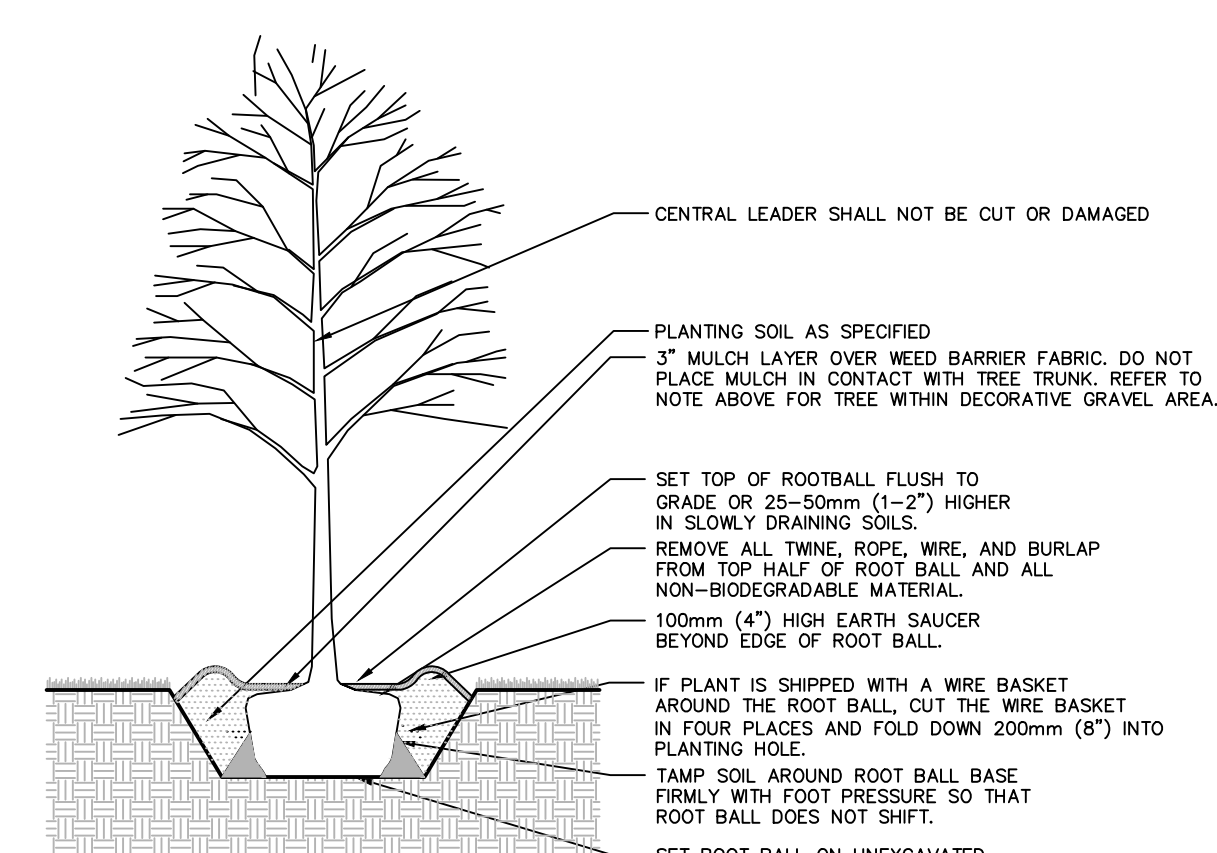
3 PLANTING SOIL NTS



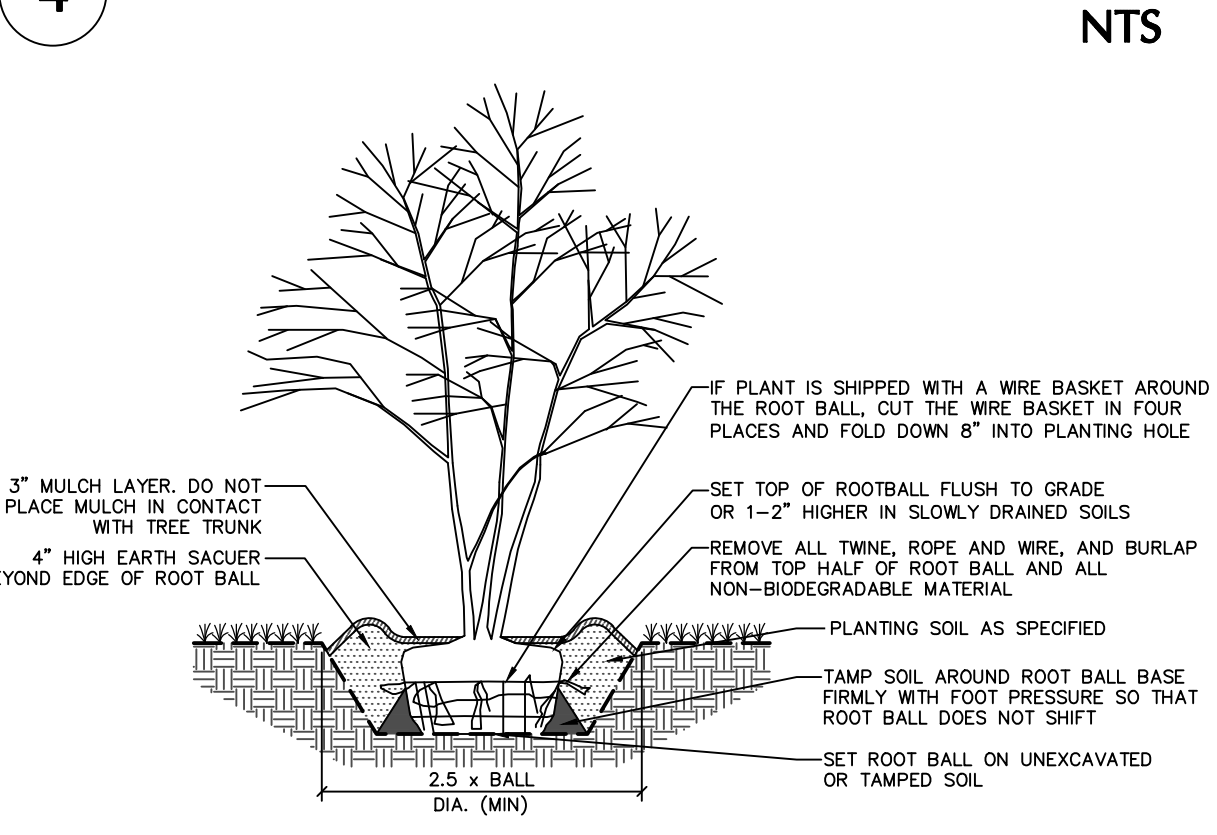
6 EVERGREEN TREE PLANTING NTS



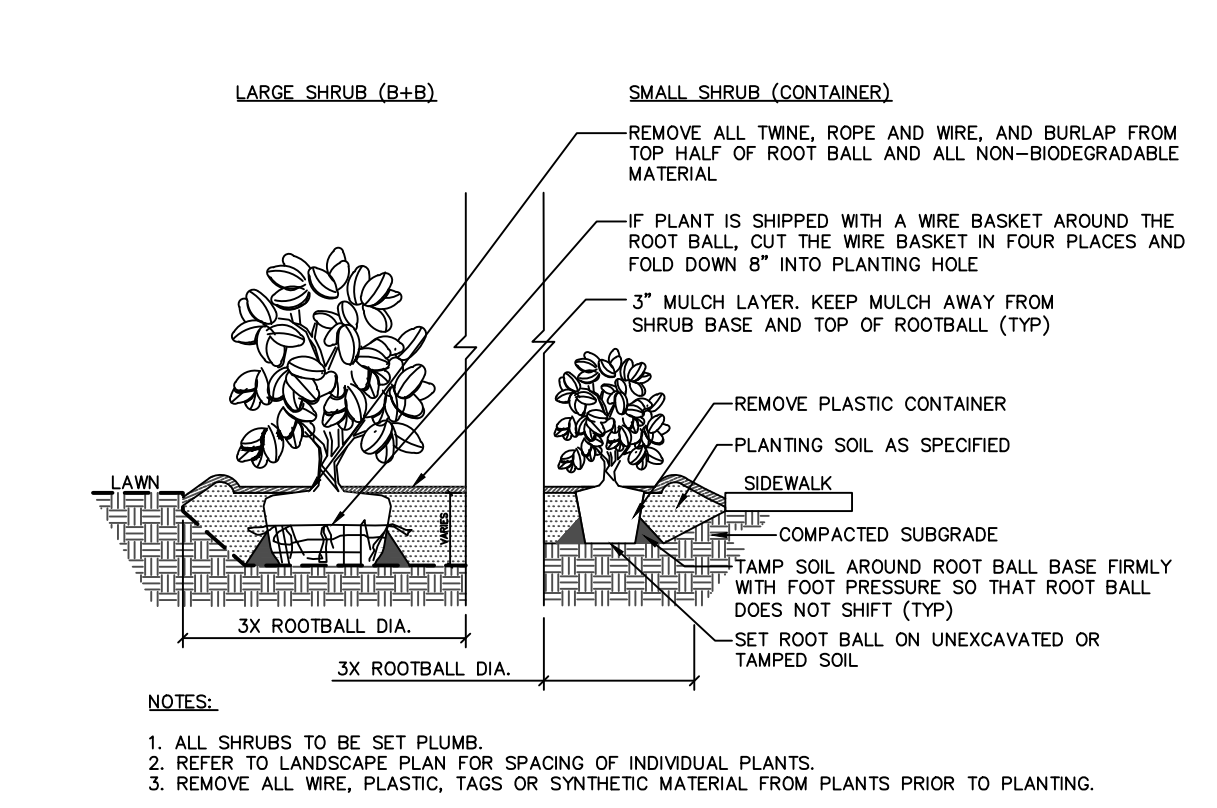
2 DECORATIVE STONE NTS



4 DECIDUOUS TREE PLANTING NTS



5 ORNAMENTAL TREE PLANTING NTS

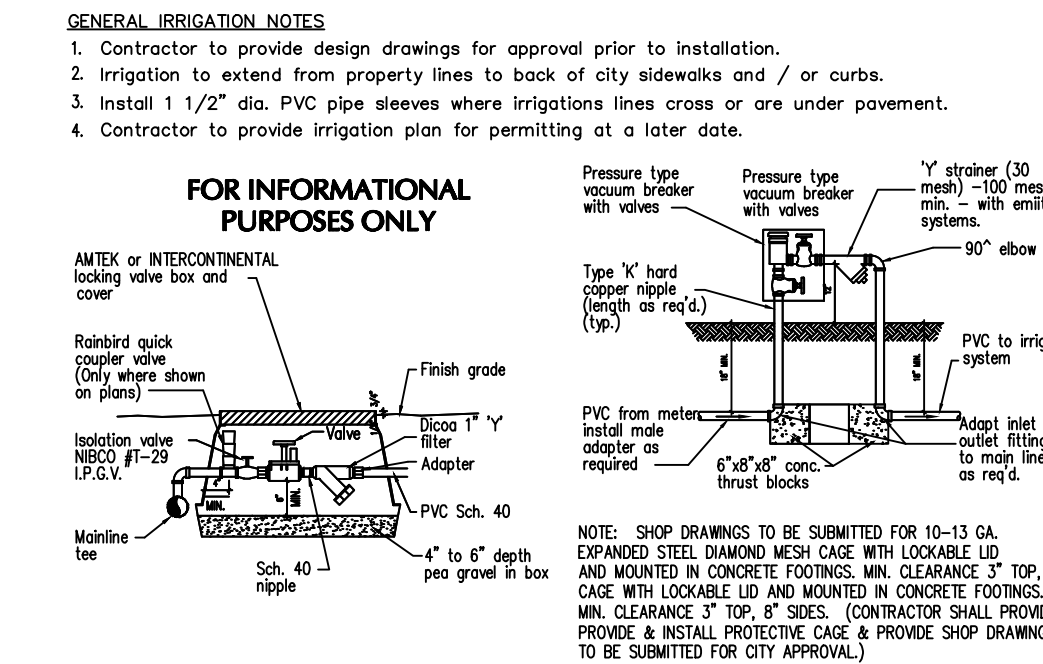


7 SHRUB PLANTING NTS




IRRIGATION NOTES:

1. THE IRRIGATION CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE IRRIGATION INSTALLATION PLAN AND CUT-SHEETS FOR ALL COMPONENTS FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE IRRIGATION INSTALLATION PLAN SHALL BE COMPLETE WITH ZONE DESIGNATIONS AND WATER USAGE IN GALLONS PER MINUTE PER ZONE. RUN TIME SCHEDULE, LEGEND OF COMPONENTS AND PLAN GRAPHICS WITH QUANTITIES, MINIMUM SYSTEM REQUIREMENTS INCLUDING STATIC PRESSURE AT THE WATER CONNECTION POINT, ESTIMATED WATER BUDGET, CONSTRUCTION DETAILS AND IRRIGATION NOTES. THE PLAN SHALL ALSO INCLUDE LOCATIONS OF ALL PROPOSED SLEEVES AND THEIR SIZES. LOCATIONS OF ALL LATERAL LINE SIZE STEP-DOWNS WITH SIZE INDICATIONS, LOCATION OF ALL SOIL MOISTURE SENSORS, CONTROLLER, VALVES AND ALL OTHER COMPONENTS NECESSARY FOR THE SYSTEMS OPERATION.
2. LANDSCAPE AREAS SHALL BE IRRIGATED WITH POP-UP SPRAY AND ROTARY IRRIGATION HEADS IN SUFFICIENT DENSITY TO COVER THE ENTIRE AREA.
3. CONTRACTOR TO AVOID DISTURBANCE OF EXISTING PLANT MATERIAL. WHEN LOCATING VALVES AND PIPE LINES, ANY PLANT MATERIAL DAMAGED AS A RESULT OF IRRIGATION INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. ALL EXCAVATION MATERIAL SHALL BE PLACED BACK IN TRENCHES.
5. ALL DISTURBED LANDSCAPE AND PAVED AREAS SHALL BE RESTORED TO THE CONDITION FOUND PRIOR TO START OF INSTALLATION.
6. DEPTH OF TRENCHES SHALL BE SUFFICIENT OR PROVIDE A MINIMUM COVER ABOVE THE TOP OF PIPE AS FOLLOWS:
 - a. 12" OVER NON-PRESSURE LATERAL LINES
 - b. 18" OVER NON-PRESSURE LATERAL LINES UNDER PAVING
 - c. 18" OVER CONTROL WIRES
 - d. 18" OVER MAIN LINE
 - e. 24" OVER MAIN LINE UNDER PAVING
7. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE PLUMBING TIE-INS, SLEEVES UNDER PAVEMENTS (AS NECESSARY), AND CONTROL DEVICES WITH THE GENERAL CONTRACTOR, OWNER, AND OWNER'S REPRESENTATIVE.
8. CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING.
9. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING INSTALLATION WORK.
10. WATERPROOF ALL WIRE CONNECTORS USING 3M DBF WATERPROOF CONNECTORS OR EQUIVALENT.
11. DRAIN VALVES ARE TO BE PROVIDED AT SUFFICIENT INTERVALS TO PROVIDE COMPLETE DRAINAGE OF ALL PIPING.
12. COORDINATE THE LOCATION OF CONTROLS, IRRIGATION CONTROLLER, AND SOIL MOISTURE SENSORS WITH THE PROJECT MEP AND OWNER PRIOR TO INSTALLATION.
13. IRRIGATION CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO IRRIGATION DESIGN WHERE REQUIRED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS, AS DESIGNATED ON THIS PLAN.
14. INSTALLATION MUST COMPLY WITH ALL LOCAL CODES AND CONDITIONS.
15. ALL IRRIGATION WORK SHALL BE GUARANTEED FOR 1 YEAR AFTER COMPLETION OF ALL WORK.
16. CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS-BUILTS, SERVICE MANUALS AND INSTRUCTIONS TO THE OWNER OR OWNERS REPRESENTATIVE.
17. ALL SPRINKLER HEADS SHALL BE SET BACK 4" MINIMUM FROM BACK OF ALL CURBS.
18. CONTRACTOR MAY SUBMIT ALTERNATE EQUIVALENT MATERIALS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT.



- 8 VALVE, REGULATOR, & FILTER NTS 9 PRESSURE TYPE VACUUM BRKR. NTS

Date	Description	No.
Revisions		
		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project		

YARRINGTON ROAD WAREHOUSE DEVELOPMENT






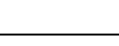
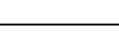

KYLE TEXAS
Drawing Title

LANDSCAPE & IRRIGATION DETAILS & NOTES

Project No.	Drawing No.
531012601	LP501
Date	12/03/2021
Drawn By	DT
Checked By	TT/JOS
Sheet	66 of 82



- NOTES:
- 1.REFER TO LP100 FOR OVERALL LANDSCAPE & IRRIGATION PLAN, ORDINANCE COMPLIANCE CHART AND PLANT SCHEDULE.
 - 2.REFER TO LP101-LP104 FOR PARTIAL LANDSCAPE PLANS.

SITE LIGHTING SCHEDULE

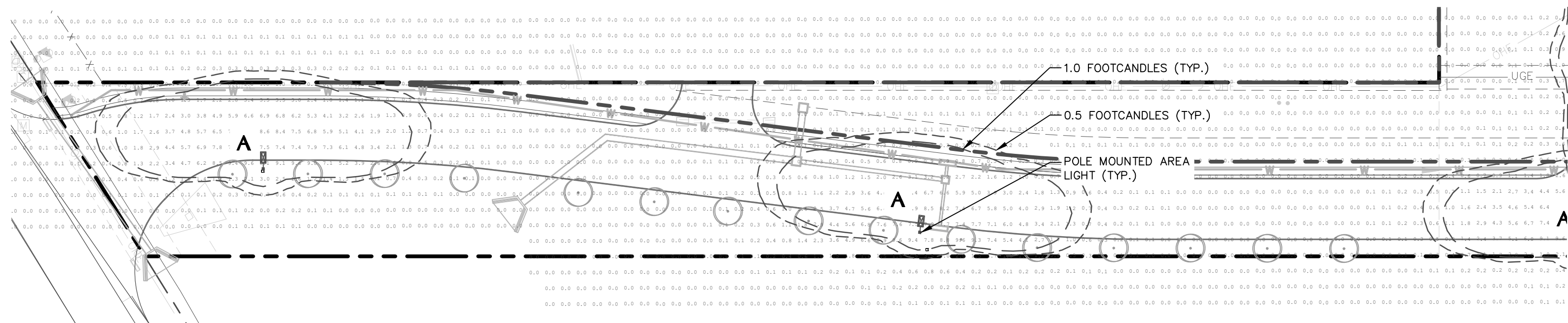
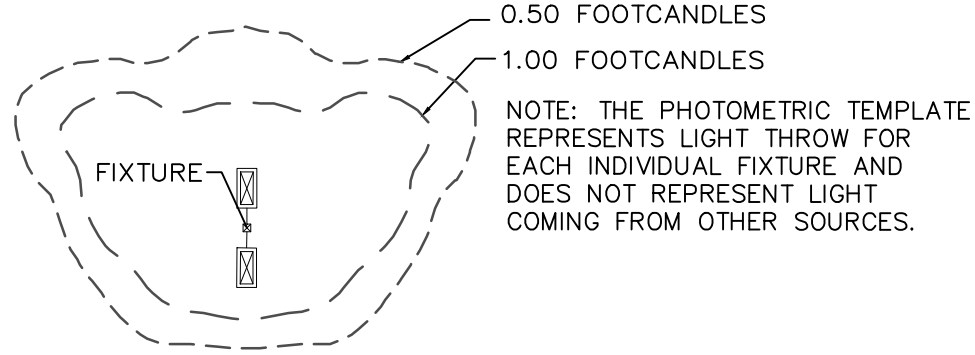
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LLF	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
	A	15	COOPER LIGHTING	GALN GALLEON II	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30'	552W LED	TYPE II WITH HOUSE SIDE SHIELD	70,530	0.90	GALN-SA9D-740-U-T2-AP-HSS	HAPCO	ROUND TAPERED STEEL	30'	RTS-30-D-4-4-D190-GC FACTORY CUT TO 27'-6"
	B	36	COOPER LIGHTING	GALN GALLEON II	WALL MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30' ABOVE FFE	552W LED	TYPE III	69,546	0.90	GALN-SA9D-740-U-T3-AP	N/A			
	B1	5	COOPER LIGHTING	GALN GALLEON II	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30'	552W LED	TYPE III WITH HOUSE SIDE SHIELD	69,546	0.90	GALN-SA9D-740-U-T3-AP-HSS	HAPCO	ROUND TAPERED STEEL	30'	RTS-30-D-4-4-D190-GC FACTORY CUT TO 27'-6"
	C	5	COOPER LIGHTING	GALN GALLEON II	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30'	552W LED	TYPE IV	70,182	0.90	GALN-SA9D-740-U-T4W-AP	HAPCO	ROUND TAPERED STEEL	30'	RTS-30-D-4-4-D190-GC FACTORY CUT TO 27'-6"
	C1	7	COOPER LIGHTING	GALN GALLEON II	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30'	552W LED	TYPE IV WITH HOUSE SIDE SHIELD	70,182	0.90	GALN-SA9D-740-U-T4W-AP-HSS	HAPCO	ROUND TAPERED STEEL	30'	RTS-30-D-4-4-D190-GC FACTORY CUT TO 27'-6"
	D	39	COOPER LIGHTING	GALN GALLEON II	WALL MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30' ABOVE FFE	552W LED	TYPE IV FORWARD THROW	69,976	0.90	GALN-SA9D-740-U-T4FT-AP	N/A			
	E	2	COOPER LIGHTING	GALN GALLEON II	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	30'	552W LED	TYPE V	73,399	0.90	GALN-SA9D-740-U-SWQ-AP	HAPCO	ROUND TAPERED STEEL	30'	RTS-30-D-4-4-D190-GC FACTORY CUT TO 27'-6"
	E1	6	COOPER LIGHTING	GALN GALLEON II	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR GREY	40'	552W LED	TYPE V	73,399	0.90	GALN-SA9D-740-U-SWQ-AP	HAPCO	ROUND TAPERED STEEL	40'	RTS-40-D-4-4-D190-GC FACTORY CUT TO 37'-6"

NOTES:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.
2. ALL POLES WITH 25' MOUNTING HEIGHT OR GREATER TO RECEIVE FACTORY-INSTALLED VIBRATION DAMPENERS.
3. FIXTURE TO BE COOPER GALN GALLEON II OR APPROVED EQUAL; REFER TO NOTE ON SHEET LL501 FOR SUBSTITUTION REQUIREMENTS.

LEGEND

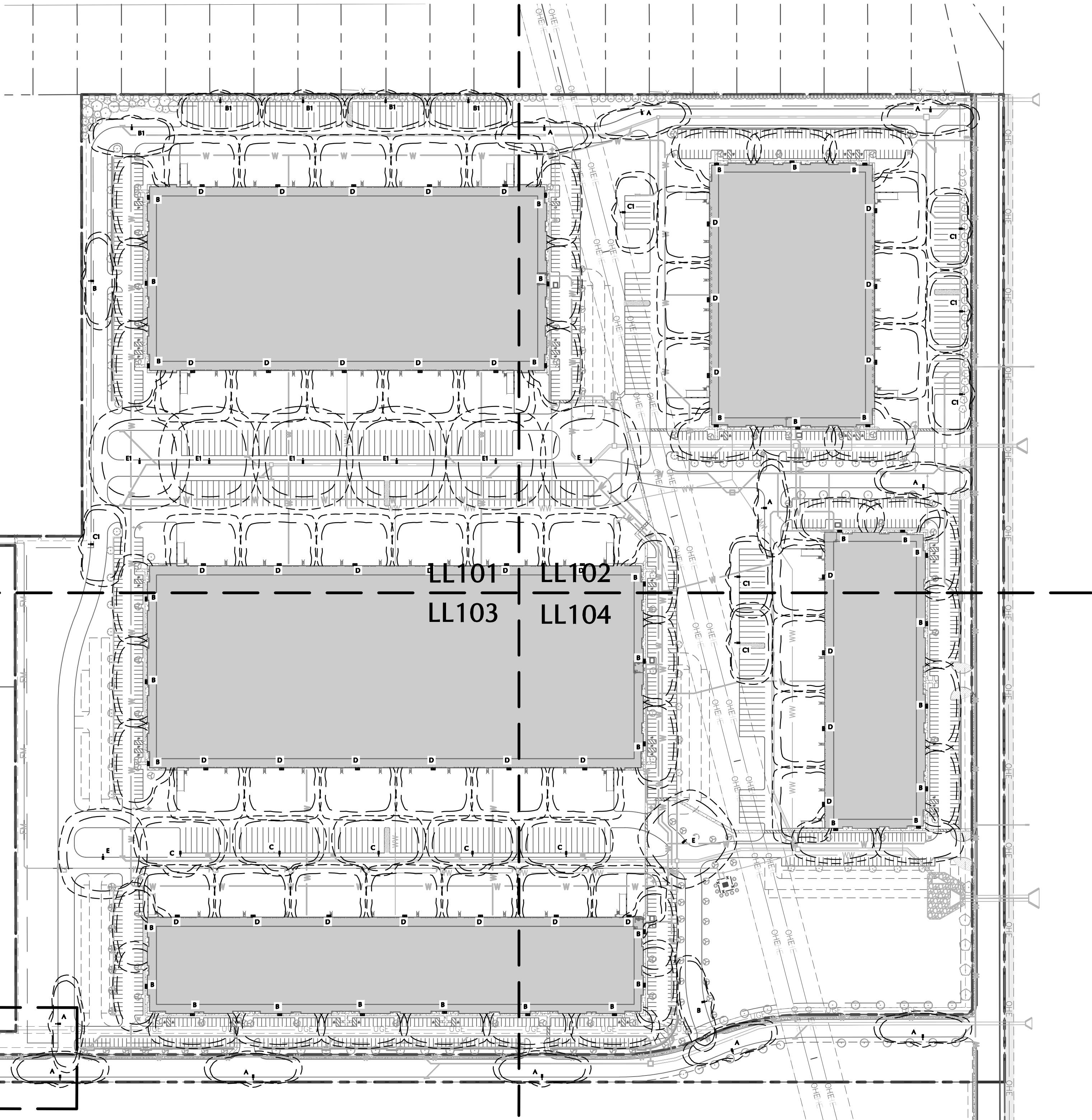
-  WALL-MOUNTED FIXTURE
-  SINGLE-HEAD POLE MOUNTED FIXTURE

PHOTOMETRIC LIGHTING LEGEND:

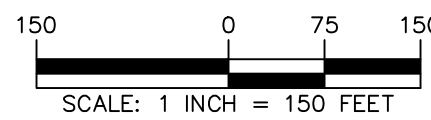


1 ENLARGEMENT 'A'

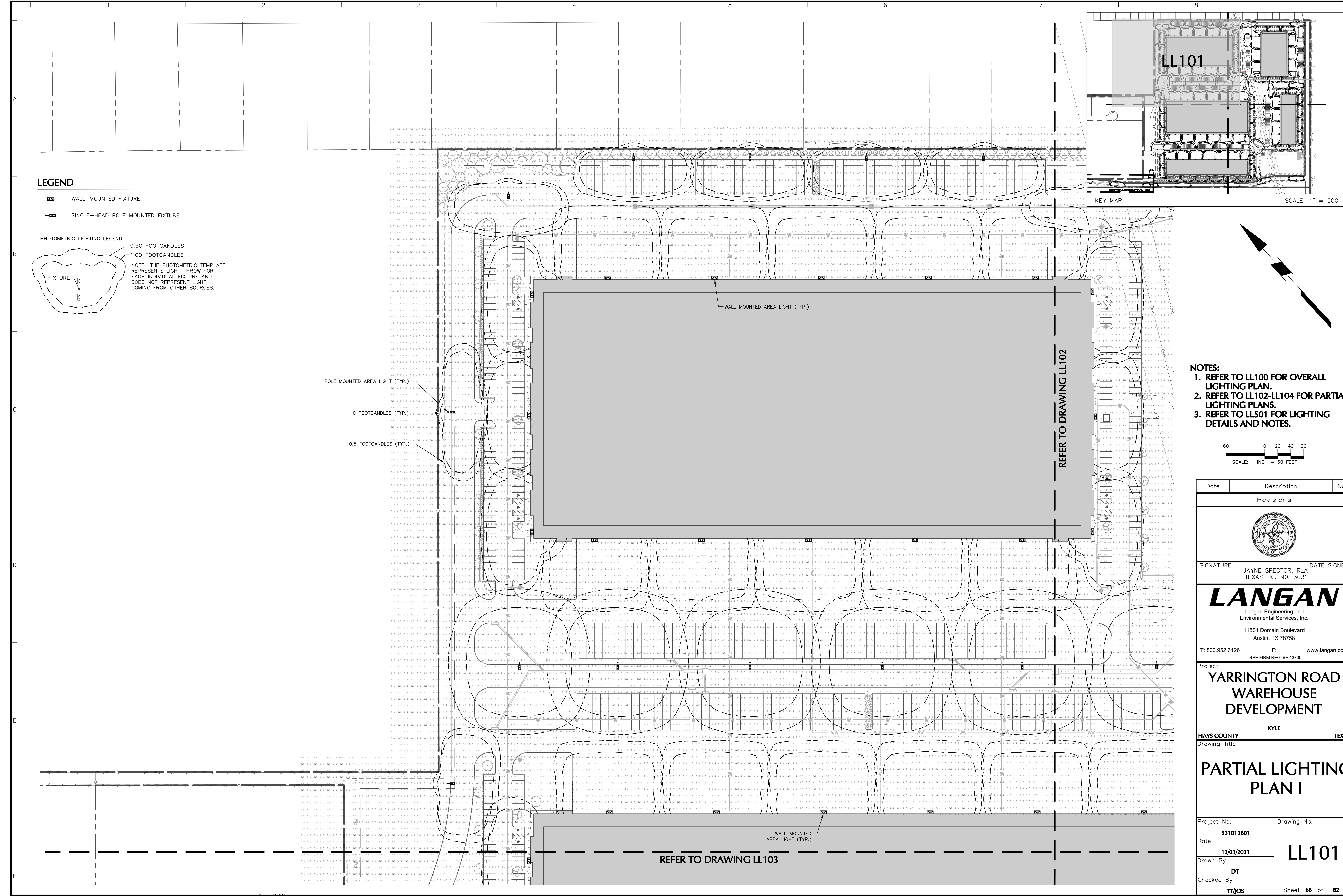
SCALE: 1" = 60'



- Note:
1. REFER TO LL101-LL104 FOR PARTIAL LIGHTING PLANS.
2. REFER TO LL501 FOR LIGHTING DETAILS AND NOTES.



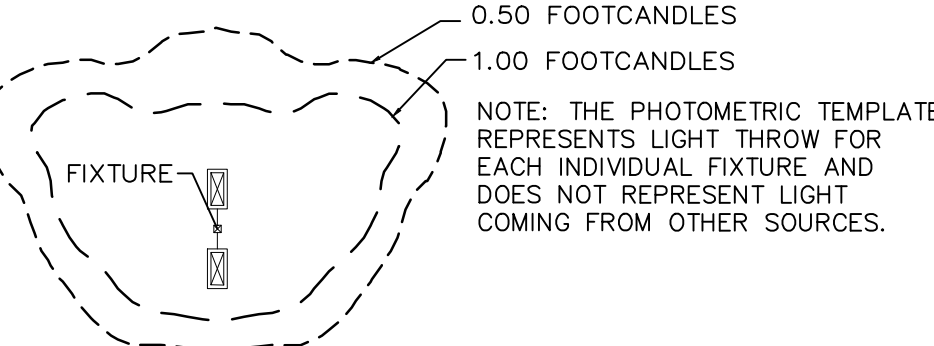
Date	Description	No.
Revisions		
		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE TEXAS		
HAYS COUNTY Drawing Title OVERALL LIGHTING PLAN		
Project No. 531012601	Drawing No. LL100	
Date 12/03/2021		
Drawn By DT		
Checked By TT/OS	Sheet 67 of 82	



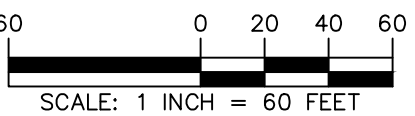
LEGEND

- WALL-MOUNTED FIXTURE
- SINGLE-HEAD POLE MOUNTED FIXTURE

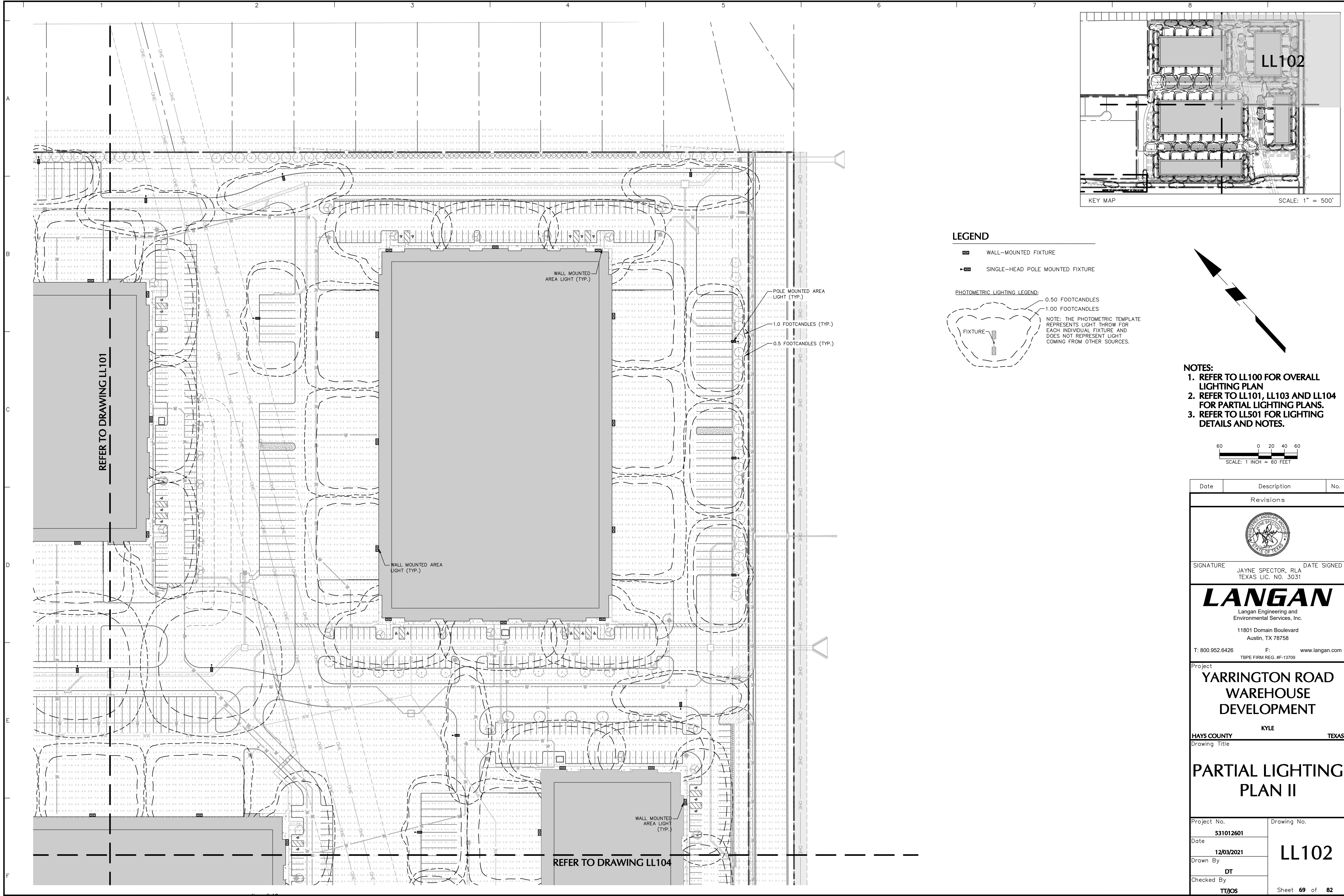
PHOTOMETRIC LIGHTING LEGEND:



- NOTES:
1. REFER TO LL100 FOR OVERALL LIGHTING PLAN.
 2. REFER TO LL102-LL104 FOR PARTIAL LIGHTING PLANS.
 3. REFER TO LL501 FOR LIGHTING DETAILS AND NOTES.



Date	Description	No.
Revisions		
		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE TEXAS		
HAYS COUNTY Drawing Title PARTIAL LIGHTING PLAN I		
Project No. 531012601	Drawing No. LL101	
Date 12/03/2021		
Drawn By DT		
Checked By TT/OS		
Sheet 68 of 82		



LEGEND

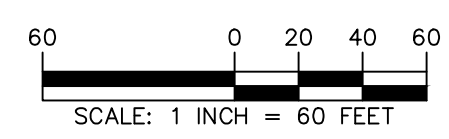
- WALL-MOUNTED FIXTURE
- SINGLE-HEAD POLE MOUNTED FIXTURE

PHOTOMETRIC LIGHTING LEGEND:

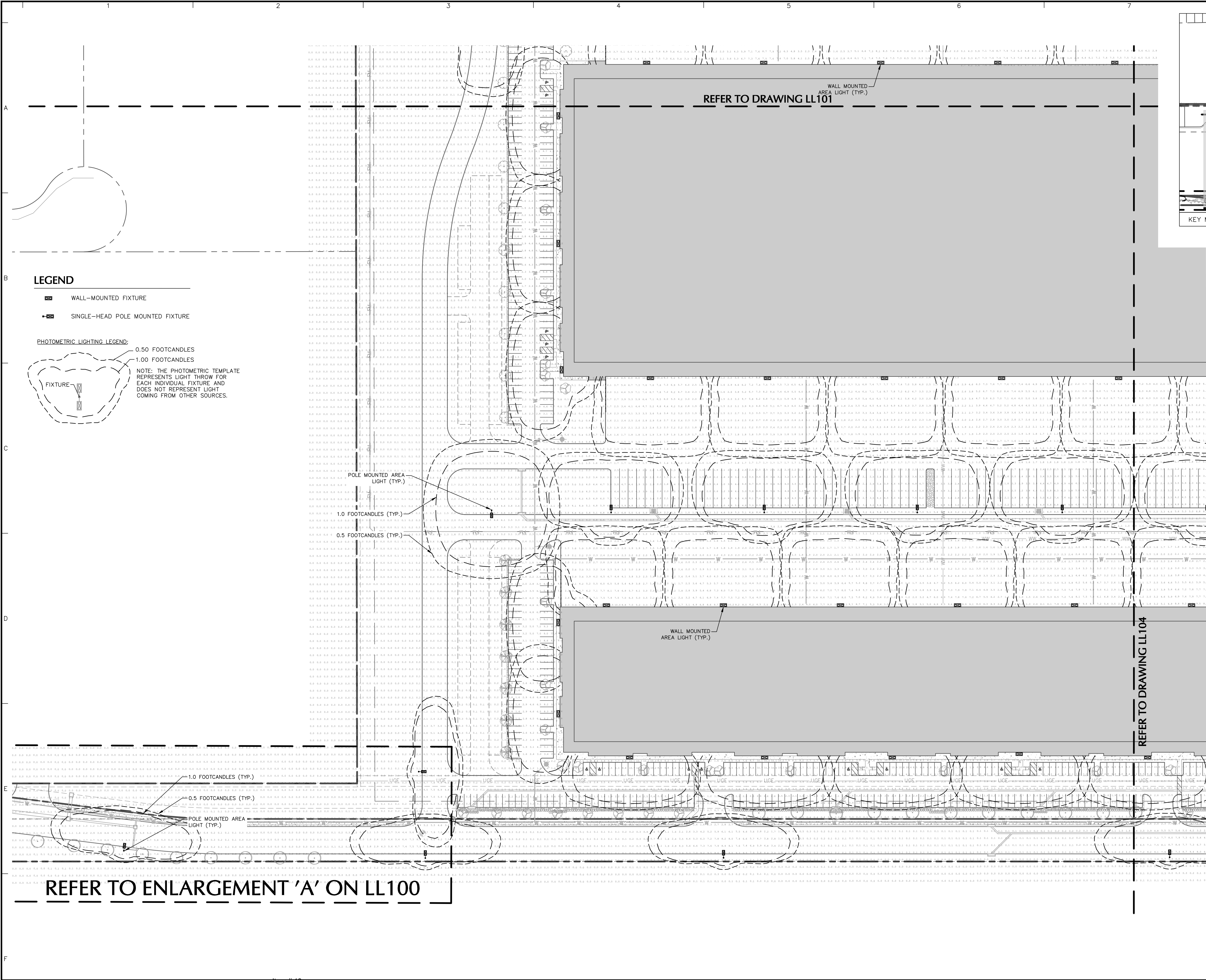
- 0.50 FOOTCANDLES
- 1.00 FOOTCANDLES

NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.

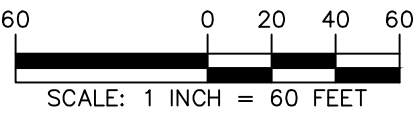
- NOTES:**
1. REFER TO LL100 FOR OVERALL LIGHTING PLAN
 2. REFER TO LL101, LL103 AND LL104 FOR PARTIAL LIGHTING PLANS.
 3. REFER TO LL501 FOR LIGHTING DETAILS AND NOTES.



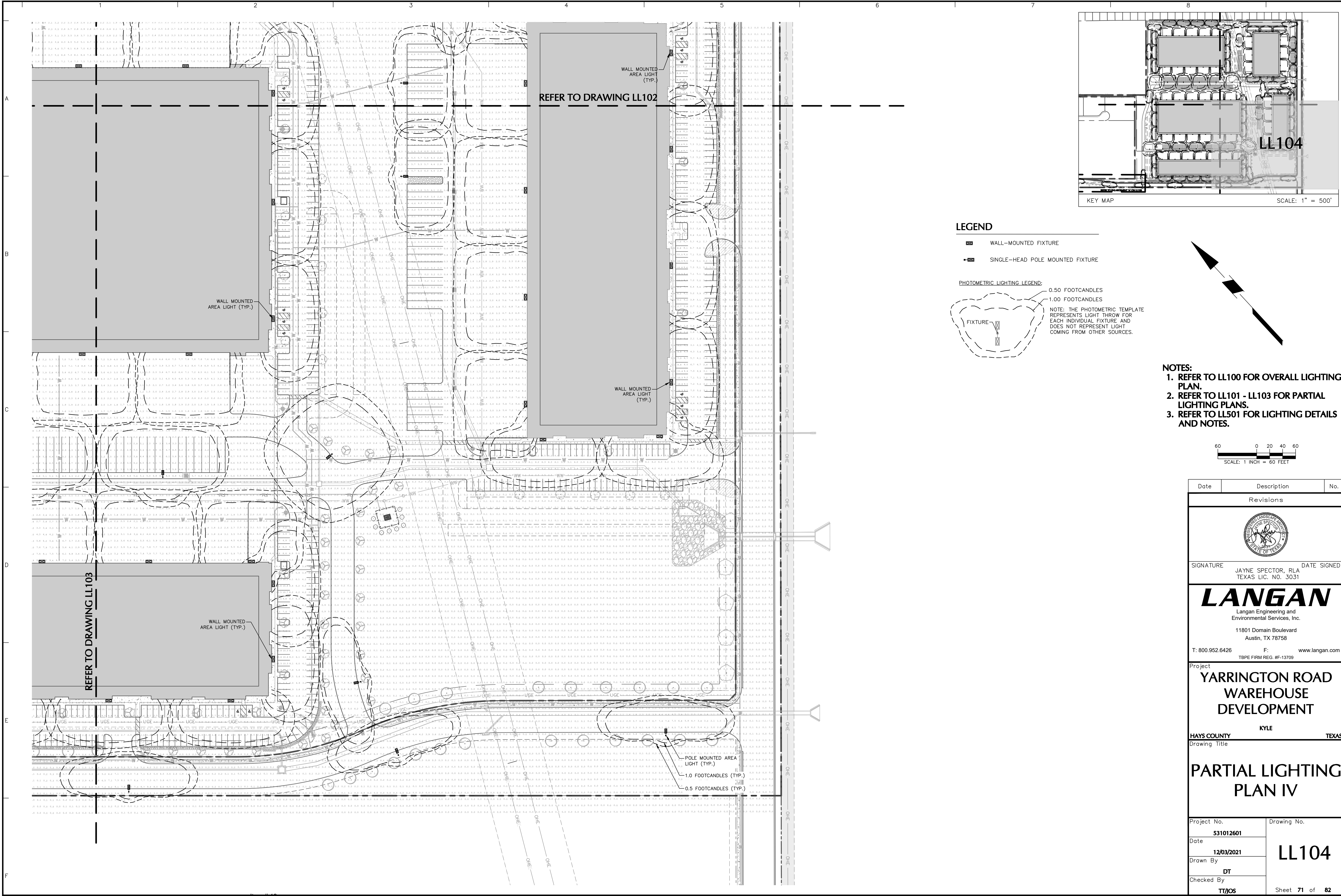
Date	Description	No.
Revisions		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE TEXAS		
Drawing Title PARTIAL LIGHTING PLAN II		
Project No. 531012601	Drawing No. LL102	
Date 12/03/2021	Sheet 69 of 82	
Drawn By DT		
Checked By TT/OS		



- NOTES:
1. REFER TO LL100 FOR OVERALL LIGHTING PLAN.
 2. REFER TO LL101, LL102 AND LL104 FOR PARTIAL LIGHTING PLANS.
 3. REFER TO LL501 FOR LIGHTING DETAILS AND NOTES.

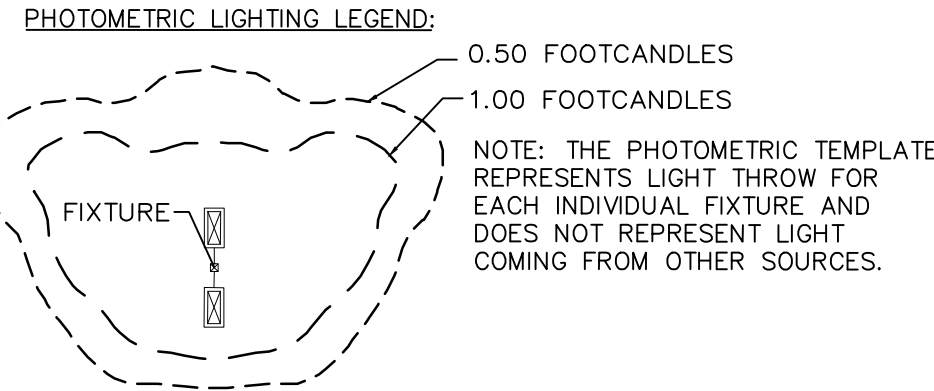


Date	Description	No.
Revisions		
		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE TEXAS		
HAYS COUNTY Drawing Title PARTIAL LIGHTING PLAN III		
Project No. 531012601	Drawing No. LL103	
Date 12/03/2021	Sheet 70 of 82	
Drawn By DT		
Checked By TT/OS		

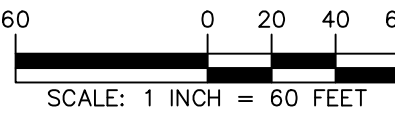


LEGEND

- WALL-MOUNTED FIXTURE
- SINGLE-HEAD POLE MOUNTED FIXTURE



- NOTES:
- REFER TO LL100 FOR OVERALL LIGHTING PLAN.
 - REFER TO LL101 - LL103 FOR PARTIAL LIGHTING PLANS.
 - REFER TO LL501 FOR LIGHTING DETAILS AND NOTES.



Date	Description	No.
Revisions		
SIGNATURE	JAYNE SPECTOR, RLA TEXAS LIC. NO. 3031	DATE SIGNED
LANGAN Langan Engineering and Environmental Services, Inc. 11801 Domain Boulevard Austin, TX 78758 T: 800.952.6426 F: www.langan.com TBPE FIRM REG. #F-13709		
Project YARRINGTON ROAD WAREHOUSE DEVELOPMENT KYLE TEXAS		
HAYS COUNTY Drawing Title PARTIAL LIGHTING PLAN IV		
Project No. 531012601	Drawing No. LL104	
Date 12/03/2021	71 of 82	
Drawn By DT		
Checked By TT/OS		

SPECIAL WARRANTY DEED

THE STATE OF TEXAS

§

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF HAYS

§

F.M. 158 Land, Ltd., a Texas limited partnership ("Grantor"), for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to it in hand paid and caused to be paid by Yarrington Logistics Owner, LP, a Delaware limited partnership ("Grantee"), whose address is 820 Gessner, Suite 1000, Houston, TX 770242, the receipt and sufficiency of which is hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD, ASSIGNED and CONVEYED, and by these presents does GRANT, BARGAIN, SELL, ASSIGN and CONVEY, unto Grantee:

The real property located in Hays County, Texas and more particularly described in Exhibit A hereto attached and made a part hereof for all purposes and any and all structures, fixtures, and improvements situated thereon (collectively, the "Land"); together with all of Grantor's rights, titles and interest in and to the following: (i) all claims or causes of action for damage or injury to the Land arising out of acts, events or omissions occurring on or prior to the date hereof, (ii) all strips and gores between the Land and abutting properties, (iii) all rights in and to easements, air rights, development rights, and drainage rights incidental to the such Land including, without limitation, all development approvals or rights in respect thereto, and (iv) any and all reversionary interests in and to, and all of Grantor's rights to use, any of the foregoing (clauses (i) through (iv)) above being herein collectively called the "Rights and Appurtenances" and the Land and the Rights and Appurtenances being herein collectively called the "Real Property").

TO HAVE AND TO HOLD the Real Property, together with all and singular any other rights and appurtenances thereto in anywise belonging, unto Grantee, its successors and assigns, FOREVER; and Grantor does hereby bind itself, its successors and assigns, to WARRANT AND FOREVER DEFEND all and singular the Land unto Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof by, through, or under Grantor, but not otherwise.

The warranty of Grantor made herein is made subject to the matters listed on Exhibit B attached hereto and incorporated herein to the extent, but no further, that the same are valid and subsisting as of the date hereof and affect title to the Land.

[End of Page; See Following Page for Signatures]

Corridor Title Co. GF# 21-3054-CH

This instrument is executed effective as of the 8 day of December, 2021.

F.M. 158 LAND, LTD.,
a Texas limited partnership

By: H & R Land Development, LLC, its general partner

By: Edward R. Coleman
Name: Edward R. Coleman
Title: Managing Member

STATE OF TEXAS §
 §
COUNTY OF RAVIS §

This instrument was acknowledged before me on the 8th day of December, 2021, by Edward R. Coleman, managing member of H&R Land Development, LLC, general partner of F.M. 158 Land, Ltd., a Texas limited partnership, on behalf of said limited partnership.

Gina Kufrovich
Notary Public in and for the State of TEXAS
Printed Name: _____
My Commission Expires: _____

Exhibit A - Land
Exhibit B - Existing Encumbrances

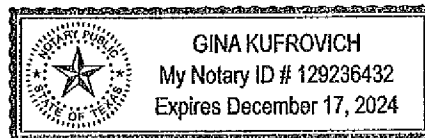


EXHIBIT A
To Special Warranty Deed

EARLY LAND SURVEYING, LLC

P.O. Box 92588, Austin, TX 78709

512-202-8631

earlysurveying.com

TBPELS Firm No. 10194487

110.923 ACRES HAYS COUNTY, TEXAS

A DESCRIPTION OF 110.923 ACRES (APPROXIMATELY 4,831,825 SQ. FT.) IN THE JAMES W. WILLIAMS SURVEY NO. 11, ABSTRACT NO. 473, BEING ALL OF A 38.734 ACRE TRACT CONVEYED TO F.M. 158 LAND, LTD. IN A WARRANTY DEED WITH VENDOR'S LIEN DATED DECEMBER 18, 2007 AND RECORDED IN VOLUME 3303, PAGE 693 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, ALL OF A 46.07 ACRE TRACT AND A PORTION OF A 132.101 ACRE TRACT CONVEYED TO F.M. 158 LAND, LTD. IN A SPECIAL WARRANTY DEED DATED JUNE 9, 2005 AND RECORDED IN VOLUME 2702, PAGE 613 AND VOLUME 2703, PAGE 666 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; SAID 110.923 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2" rebar found in the east right-of-way line of Interstate Highway 35 (public right-of-way width varies), being the northernmost corner of the said 132.101 acre tract, being also the westernmost corner of the said 38.7834 acre tract;

THENCE North 11°35'39" East with the east right-of-way line of Interstate Highway 35 and the west line of the said 38.7834 acre tract, a distance of 129.57 feet to a 1/2" rebar found for a northern corner of the said 38.7834 acre tract, being the westernmost corner of a 19.50 acre tract described in Volume 3949, Page 613 of the Deed Records of Hays County, Texas, from which a 1/2" rebar found in the east right-of-way line of Interstate Highway 35 and the west line of the said 19.50 acre tract, bears North 10°49'23" East, a distance of 31.31 feet;

THENCE with the common line of the said 38.7834 acre tract and the said 19.50 acre tract, the following two (2) courses and distances:

1. South 46°37'14" East, a distance of 887.96 feet to a 1/2" rebar found for the southernmost corner of the said 19.50 acre tract;
2. North 43°16'17" East, a distance of 750.12 feet to a 1/2" rebar found for the easternmost corner of the said 19.50 acre tract, being the southernmost corner of

Page 2

Lot 5, Edwards Business Park, a subdivision of record in Volume 9, Page 197 of the Plat Records of Hays County, Texas;

THENCE North 43°16'17" East with the northwest line of the said 38.7834 acre tract and the southeast line of said Lot 5, a distance of 307.91 feet to a 1/2" rebar found for the northernmost corner of the said 38.7834 acre tract, being in the southwest line of the said 46.07 acre tract, being also the easternmost corner of said Lot 5;

THENCE North 46°41'04" West with the southwest line of the said 46.07 acre tract and the northeast line of Lots 1-5 of said Edwards Business Park, a distance of 1587.84 feet to a 1/2" rebar found in the east right-of-way line of Interstate Highway 35, being the westernmost corner of the said 46.07 acre tract, being also the northernmost corner of said Lot 1;

THENCE North 12°27'06" East with the east right-of-way line of Interstate Highway 35 and the west line of the said 46.07 acre tract, a distance of 24.04 feet to an aluminum fence post found for the northernmost corner of the said 46.07 acre tract, from which the remnants of a concrete highway monument found in the east right-of-way line of Interstate Highway 35, bears North 09°36'48" East, a distance of 464.74 feet;

THENCE with the perimeter of the said 46.07 acre tract, the following three (3) courses and distances:

1. South 46°43'04" East, a distance of 857.87 feet to a 4" cedar fence post found;
2. South 46°36'40" East, a distance of 888.49 feet to a 1" iron pipe found;
3. North 43°17'48" East, a distance of 961.51 feet to a 60d nail with "Bryn" washer in a post found for a northern corner of the said 46.07 acre tract, being in the southwest line of Lot 22, of Quail Ridge Subdivision, a subdivision of record in Volume 2, Page 337 of the Plat Records of Hays County, Texas;

THENCE South 46°37'35" East with the northeast line of the said 46.07 acre tract and the southwest line of Lots 22-41 of said Quail Ridge Subdivision, passing a 1/2" rebar found for the southernmost corner of said Lot 27 and the westernmost corner of said Lot 28 at a distance of 585.10 feet and continuing for a total distance of 2007.19 feet to a 1/2" iron pipe found for the easternmost corner of the said 46.07 acre tract, being the southernmost corner of Lot 41 of said Quail Ridge Subdivision, being also in the northwest line of a 468.288 acre tract described in Volume 2702, Page 613 of the Deed Records of Hays County, Texas;

THENCE South 43°22'08" West with the southeast line of the said 46.07 acre tract and the northwest line of the said 468.288 acre tract, a distance of 981.92 feet to a 5/8"

Page 3

rebar found for the southernmost corner of the said 46.07 acre tract, being the easternmost corner of the said 132.101 acre tract;

THENCE South $43^{\circ}16'02''$ West with the southeast line of the said 132.101 acre tract and the northwest line of the said 468.288 acre tract, a distance of 3133.05 feet to a 1/2" rebar with "SAM" cap found for an angle point in the northeast right-of-way line of Yarrington Road (public right-of-way width varies) as described in Volume 1649, Page 83, Volume 4881, Page 161 and Volume 5090, Page 263, all of the Deed Records of Hays County, Texas, being in the southeast line of the said 132.101 acre tract, being also in the northwest line of the said 468.288 acre tract;

THENCE North $46^{\circ}24'02''$ West with the northeast right-of-way line of Yarrington Road and crossing the said 132.101 acre tract, a distance of 70.00 feet to a calculated point;

THENCE continuing across the said 132.101 acre tract, the following ten (10) courses and distances:

1. North $43^{\circ}16'02''$ East, a distance of 144.02 feet to a calculated point;
2. With a curve to the left, having a radius of 865.00 feet, a delta angle of $19^{\circ}25'22''$, an arc length of 293.23 feet, and a chord which bears North $33^{\circ}33'21''$ East, a distance of 291.82 feet to a calculated point;
3. North $23^{\circ}50'40''$ East, a distance of 8.60 feet to a calculated point;
4. With a curve to the right, having a radius of 935.00 feet, a delta angle of $19^{\circ}25'02''$, an arc length of 316.87 feet, and a chord which bears North $33^{\circ}33'12''$ East, a distance of 315.35 feet to a calculated point;
5. North $43^{\circ}15'43''$ East, a distance of 147.20 feet to a calculated point;
6. With a curve to the right, having a radius of 935.00 feet, a delta angle of $19^{\circ}16'17''$, an arc length of 314.49 feet, and a chord which bears North $52^{\circ}53'51''$ East, a distance of 313.01 feet to a calculated point;
7. North $62^{\circ}32'00''$ East, a distance of 13.64 feet to a calculated point;
8. With a curve to the left, having a radius of 865.00 feet, a delta angle of $19^{\circ}15'58''$, an arc length of 290.86 feet, and a chord which bears North $52^{\circ}54'01''$ East, a distance of 289.49 feet to a calculated point;
9. North $43^{\circ}16'02''$ East, a distance of 460.09 feet to a calculated point;
10. North $46^{\circ}37'22''$ West, a distance of 714.12 feet to a 1/2" rebar in concrete found for an angle point in the northeast line of the said 132.101 acre tract, being the southernmost corner of the said 38.7834 acre tract;

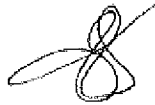
Page 4

THENCE North 46°37'22" West, with the northeast line of the said 132.101 acre tract and the southwest line of the said 38.7834 acre tract, a distance of 2188.03 feet to the **POINT OF BEGINNING**, containing 110.923 acres of land, more or less.

Surveyed on the ground on August 10, 2021.

Bearing Basis: The Texas Coordinate System of 1983 (NAD83), South Central Zone, utilizing the SmartNet North America Network.

Attachments: Survey Drawing No. 1006-019-BASE



Joe Ben Early, Jr.
Registered Professional Land Surveyor
State of Texas No. 6016

10/31/21

Date

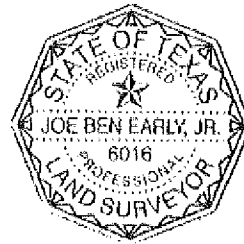


EXHIBIT B
To Special Warranty Deed

Permitted Encumbrances

1. Easement executed by C.B. Donalson and Mila M. Donalson Donalson, to Southwestern Bell Telephone Company, dated January 31, 1942, recorded in Volume 123, Page 583, of the Deed Records of Hays County, Texas.
2. Easement executed by T. C. Johnson and Ruth H. Johnson, and T. S. Pettey and wife, Lucy E. Pettey, to Lower Colorado River Authority, dated May 7, 1951, recorded in Volume 150, Page 22, of the Deed Records of Hays County, Texas, further affected by First Easement Amendment recorded in Volume 1329, Page 827, of the Official Public Records of Hays County, Texas.
3. Easement executed by Will Hill and wife, Ida Hill, to Lower Colorado River Authority, dated May 8, 1951, recorded in Volume 150, Page 27, of the Deed Records of Hays County, Texas, further affected by First Easement Amendment recorded in Volume 1330, Page 825, of the Official Public Records of Hays County, Texas, Second Amendment to Easement recorded in Volume 1499, Page 871, of the Official Public Records of Hays County, Texas, and Assignment recorded in Volume 1913, Page 390, of the Official Public Records of Hays County, Texas.
4. Easement executed by Craig C. Johnson, individually and as Independent administrator of the Estate of Thomas Chambliss Johnson, III, to the City of Kyle, Texas, dated September 27, 1996, recorded in Volume 1258, Page 86, of the Official Public Records of Hays County, Texas.
5. Access Easement executed by B. Callaway, Inc., to H.E. Naumann, Jr., dated April 30, 1998, recorded in Volume 1409, Page 715, of the Official Public Records of Hays County, Texas.
6. Easement executed by FM 158 Land, Ltd., a Texas limited partnership, to Pedernales Electric Cooperative, Inc., dated March 30, 2011, recorded in Volume 4098, Page 853, of the Official Public Records of Hays County, Texas.
7. Easement executed by F.M. 158 Land, Ltd., a Texas limited partnership, to Pedernales Electric Cooperative, Inc., dated March 24, 2014, recorded in Volume 4912, Page 173, of the Official Public Records of Hays County, Texas.
8. Easement executed by F.M. 158 Land, Ltd., a Texas limited partnership, to the City of Kyle, dated August 19, 2014, recorded in Volume 5046, Page 699, of the Official Public Records of Hays County, Texas.

9. Easement executed by FM 158 Land, Ltd., a Texas limited partnership, to Pedernales Electric Cooperative, Inc., dated August 24, 2016, recorded in Document No. 16033321, of the Official Public Records of Hays County, Texas.
10. Affidavit to the public regarding a non-standard and/or proprietary on-site sewage facility installed on subject property, as recorded in Volume 1375, Page 71, of the Official Public Records of Hays County, Texas.
11. Affidavit to the public regarding a non-standard and/or proprietary on-site sewage facility installed on subject property, as recorded in Volume 2011, Page 516, of the Official Public Records of Hays County, Texas.
12. Affidavit to the public regarding a non-standard and/or proprietary on-site sewage facility installed on subject property, as recorded in Volume 2425, Page 503, of the Official Public Records of Hays County, Texas.
13. Undivided one-sixteenth (1/16) interest in and to all oil, gas and other minerals in, on, under or that may be produced from the herein described property, together with all rights relating thereto, express or implied, reserved unto Federal Land Bank of Houston, a corporation in deed to Will Hill, dated September 5, 1941, and recorded in Volume 122, Page 575, of the Deed Records of Hays County, Texas, further affected by Affidavit recorded in Document No. 9926325, of the Official Public Records of Hays County, Texas and instrument recorded in Volume 3386, Page 766, and Volume 3436, Page 190, of the Official Public Records of Hays County, Texas.
14. Notice regarding Commitment by City of Kyle to provide 1,588 LUE as evidenced by instrument recorded in Document No. 20058994, of the Official Public Records of Hays County, Texas.
15. Easement executed by Cleto Duran, Jr., General Manager of Yarrington Road Materials, to Pedernales Electric Cooperative, Inc., dated July 11, 2007, recorded in Volume 3300, Page 675, of the Official Public Records of Hays County, Texas.

**THE STATE OF TEXAS
COUNTY OF HAYS**

I hereby certify that this instrument was FILED on the
date and the time stamped hereon by me and was duly
RECORDED in the Records of Hays County, Texas.

21067404 DEED
12/09/2021 09:34:14 AM Total Fees: \$58.00

Elaine H. Cárdenas, MBA, PhD, County Clerk
Hays County, Texas



LANDOWNER AUTHORIZATION AND AFFIDAVIT OF OWNERSHIP

SUBJECT PROPERTY INFORMATION

Subdivision Name, Block, Lot, or legal description if not subdivided: A0473 JAMES W WILLIAMS SURVEY

of lots (if subdivided): 1 # of acres: 97.3 acres

Site APN/Property ID #(s): 70251, 18893, and portion of 18875

Location: 24801 N. IH-35, Kyle, TX 78763 County: Hays

Development Name: Alliance Yarrington Industrial

OWNER

Company/Applicant Name: Yarrington Logistics Owner, L.P.

Authorized Company Representative (if company is owner): Chad Parrish

Type of Company and State of Formation: Delaware limited partnership

Title of Authorized Company Representative (if company is owner): Member

Applicant Address: 820 Gessner Rd, Ste 1000, Houston, TX 77024

Applicant Fax: _____

Applicant Phone: 312-502-5756

Applicant/Authorized Company Representative Email: chad.parrish@allindustrialco.com

APPLICANT REPRESENTATIVE

Check one of the following:

X. I will represent the application myself; or

I hereby designate _____ (name of project representative) to act in the capacity as the agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

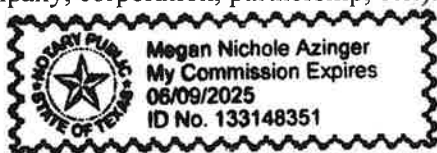
I hereby certify that the above-named owner is the rightful owner of the Property. I am either the owner of the property identified above or a partner/manager/officer/director/member of the company who is authorized to act on behalf of the company. I further certify that the information provided herein and in the application for the development is true and correct. By signing below, I agree that the City of Kyle (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public.

Owner's Signature: Chad Parrish Date: 1/6/21

State of Texas §

County of Harris §

This instrument was acknowledged before me on (date) by (name of authorized company representative) who is a(n) (member, manager, authorized officer, etc.) of (name of company), a (Texas) (limited liability company, corporation, partnership, etc.).



(Notary Seal)

SUBSCRIBED AND SWORN TO before me, this
the 6th day of January, 2022

Megan Azinger
Notary Public's Signature
06/09/25
My Commission Expires

PROJECT REPRESENTATIVE

Representative Name: _____

Representative Address: _____

Representative Phone: _____

Representative Email: _____

Representative's Signature: _____ Date: _____

Franchise Search Results

Public Information Report



As of : 02/02/2022 15:59:46

This page is valid for most business transactions but is not sufficient for filings with the Secretary of State

[Obtain a certification](#) for filings with the Secretary of State.

YARRINGTON LOGISTICS OWNER, LP

Texas Taxpayer Number	32082061667
Mailing Address	1999 BRYAN ST STE 900 DALLAS, TX 75201-3140
? Right to Transact Business in Texas	ACTIVE
State of Formation	DE
Effective SOS Registration Date	11/29/2021
Texas SOS File Number	0804331066
Registered Agent Name	C T CORPORATION SYSTEM
Registered Office Street Address	1999 BRYAN ST., STE. 900 DALLAS, TX 75201



CITY OF KYLE, TEXAS

Amendment to Section 53-1230

Meeting Date: 2/8/2022

Date time: 6:30 PM

Subject/Recommendation: Consider an amendment to Sec. 53-1230 (Zoning), to restrict certain uses, and amend the associated zoning use chart.

- Public Hearing
- Recommendation to City Council

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- ☐ Staff Memo
- ☐ Ordinance Exhibit_Redlined
- ☐ Gas Station Map
- ☐ Car Wash Map
- ☐ Mini/Self Storage Map



CITY OF KYLE

Community Development Department



MEMORANDUM

TO: Planning & Zoning Commission

FROM: Will Atkinson – Senior Planner

DATE: Tuesday, February 8, 2021

SUBJECT: Amendment to Sec. 53-1230

REQUEST

Consider an amendment to Sec. 53-1230, to restrict certain uses, and amend the associated zoning use chart.

STAFF ANALYSIS

At the behest of the City of Kyle Administration, staff is proposing amendments to certain land uses in Sec. 53-1230 (zoning use chart) and adding two (2) uses to the CBD-2 (Central Business District, 2) zoning district).

The amendment is adding a restriction, from a geographic perspective to fuel stations, car washes and self/mini storage facilities. This will be in a radial fashion from property lines of said parcel, as shown in the redlined exhibit and as a visual on the attached maps. Staff is also recommending adding “Bar, without restaurant” and “Brewpub” to the CBD-2 zoning district. Both uses are currently first located in the RS “Retail Services” zoning district.

For some time, there's been an internal discussion regarding limitation of fuel stations, car washes and mini-storage facilities. These uses tend to be some of the least expensive and easiest types of businesses to develop, and therefore “pop up” long before any other types of development do. This in turn leads to the idea that too many of these three types of development are being allowed in the City. The City would rather see more valuable and quality of life type development, than the low hanging fruit of fuel stations, car washes and mini-storage facilities. Fuel stations and car washes are more auto-centric, and self-storage facilities employ few people/take up a significant amount of space. This amendment is an effort to control the expansion of the land use types.

Relating to restricting fuel stations, a general population threshold to incentivize the land use, is approximately 3,000 – 6,000 persons. The City's average household size is 3

persons, according to the US Census Bureau. Staff has included a relief valve for population expansion, allowing an additional fuel station at the 5,000 additional population threshold (approximately 1,666 additional households). From a visual perspective, this approximately the population of the Waterleaf and Woodland Park neighborhoods.

Car washes are commonly associated with fuels station/convenience store projects, but not necessarily in conjunction with them. The simplicity of the business model and low staffing overhead helps this type of business be a popular type of development. That and everybody has a car that needs to be cleaned.

The most common type of car wash currently being developed in Kyle, is the automatic car wash, with associated stalls to clean out the vehicle. The vehicles queue to enter the carwash, are cleaned, and drive off. Staffing is relatively low, the development type is the epitome of auto dominated design.

Relating to self/mini-storage, these facilities largely respond to market demand of the population having too many household items in their homes. It is a way to add value to land, generate rent, and employ very few people. Self-storage facilities take up a significant amount of space, don't add to the character of the city. Additionally, more and more, such facilities are being built as multi-story projects, becoming a de facto land mark for the surround area, drawing attention. When commercial development is being developed, the City has a preference for those with higher employment numbers.

RECOMMENDATION

Staff asks the Planning & Zoning Commission to vote recommending approval of the amendment. Following this meeting, City Council will consider the request on February 15, 2022.

ATTACHMENTS

1. Exhibit
2. Fuel Station Map
3. Car Wash Map
4. Self Storage Map

Exhibit A

“Sec. 53-1230. - Uses permitted in certain districts.

The following uses are restricted if otherwise allowed by zoning:

- Fuel station. Shall not be authorized within a .5-mile radius of a pre-existing fuel station (per parcel boundary). Radii will not overlap, requiring at least 1-mile between fuel stations*
- Automobile Wash. Shall not be authorized within .75-mile radius of a pre-existing automobile wash (per parcel boundary). Radii will not overlap, requiring at least 1.5 miles between automobile wash facilities.
- Mini-Warehouse/Self Storage. Shall not be authorized within a 1-mile radius of a pre-existing mini-warehouse or self-storage facility (per parcel boundary). Radii will not overlap, requiring at least 2-miles between mini-warehouse/self-storage facilities.

*A fuel station may be approved that is less than a .5-mile radius of a pre-existing fuel station, if:

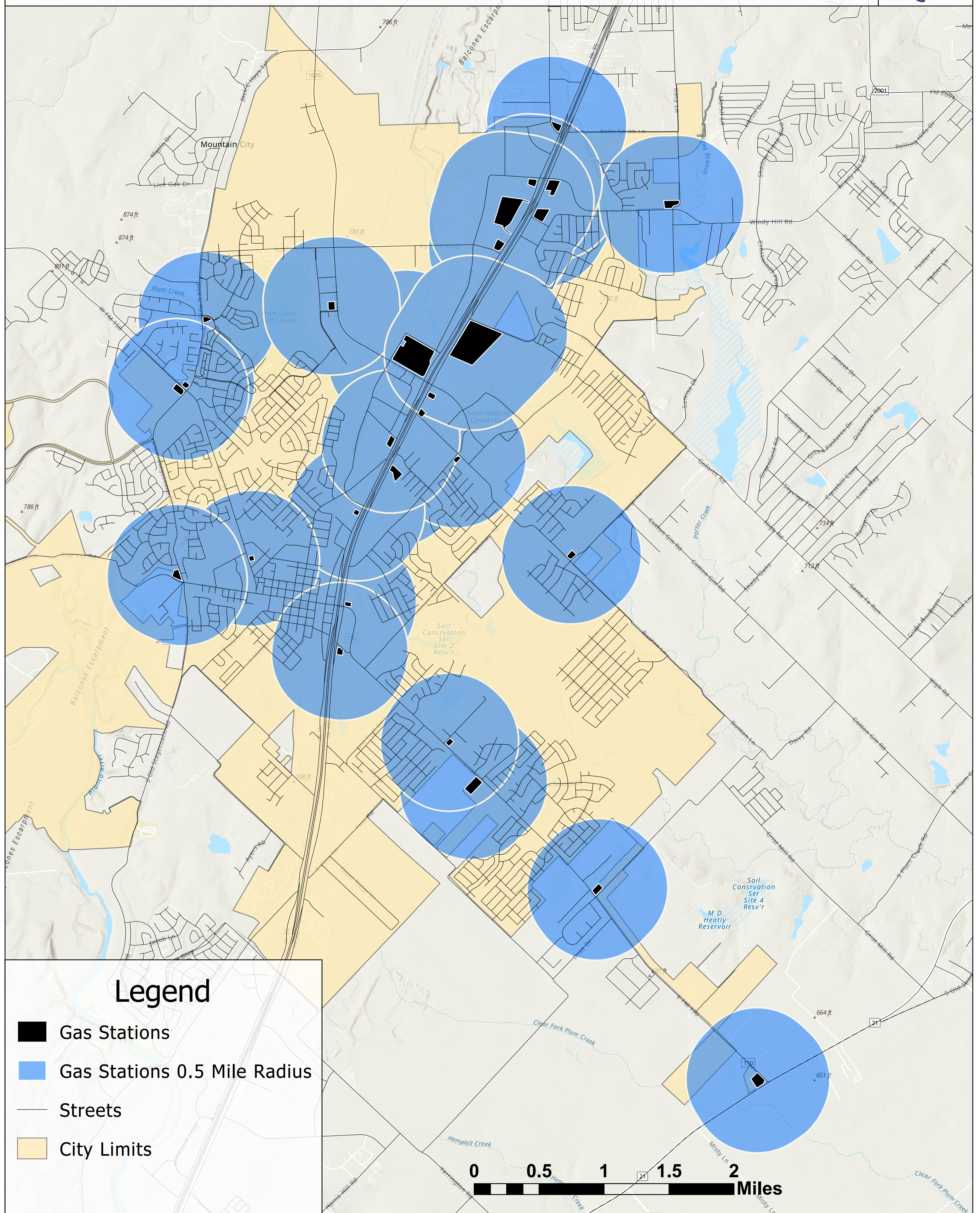
- Residential development within an area adds an estimated additional 5,000 residents, from date of creation of ordinance restricting fuel stations.

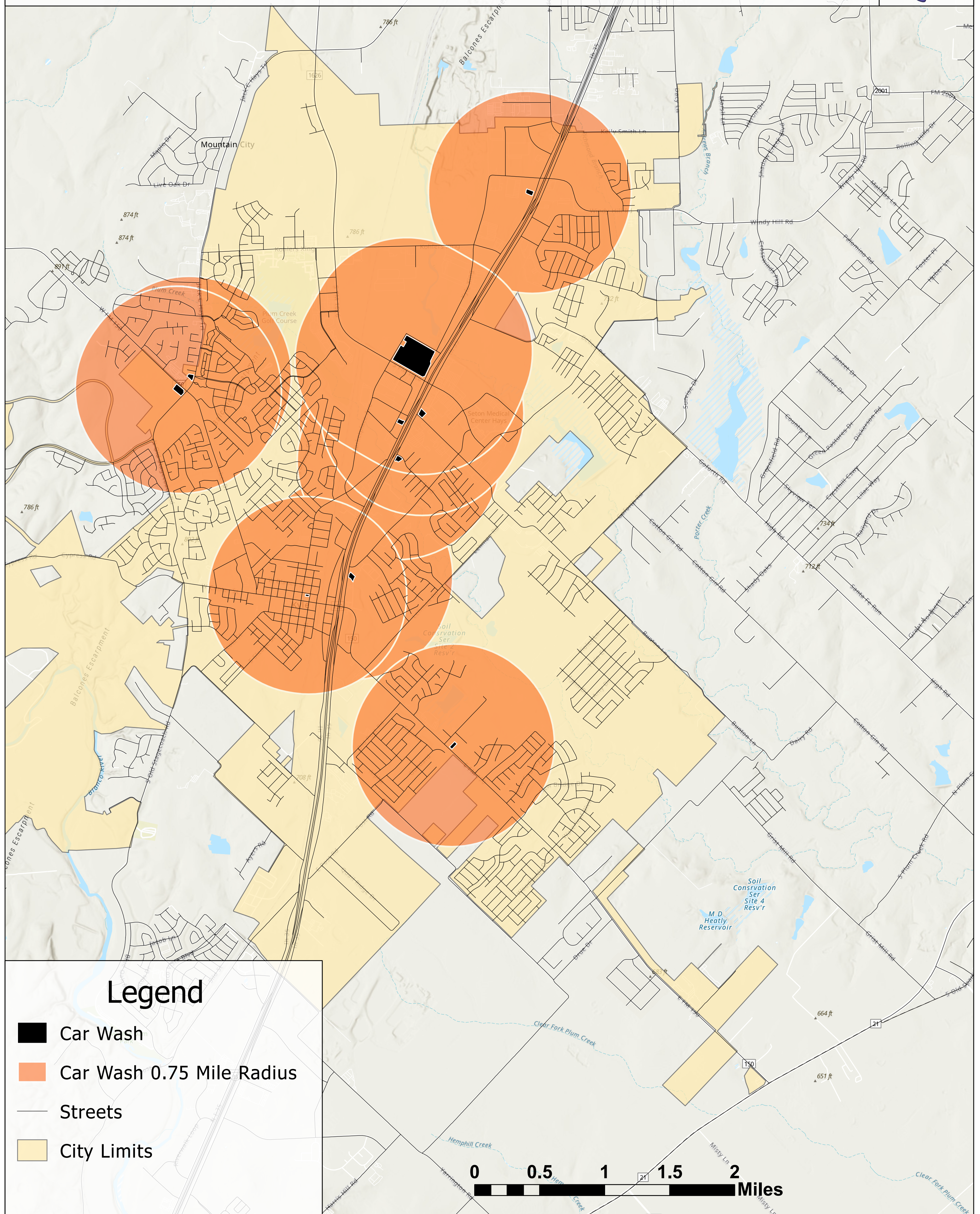
The following uses are permitted as stated for each district:

EXHIBIT A

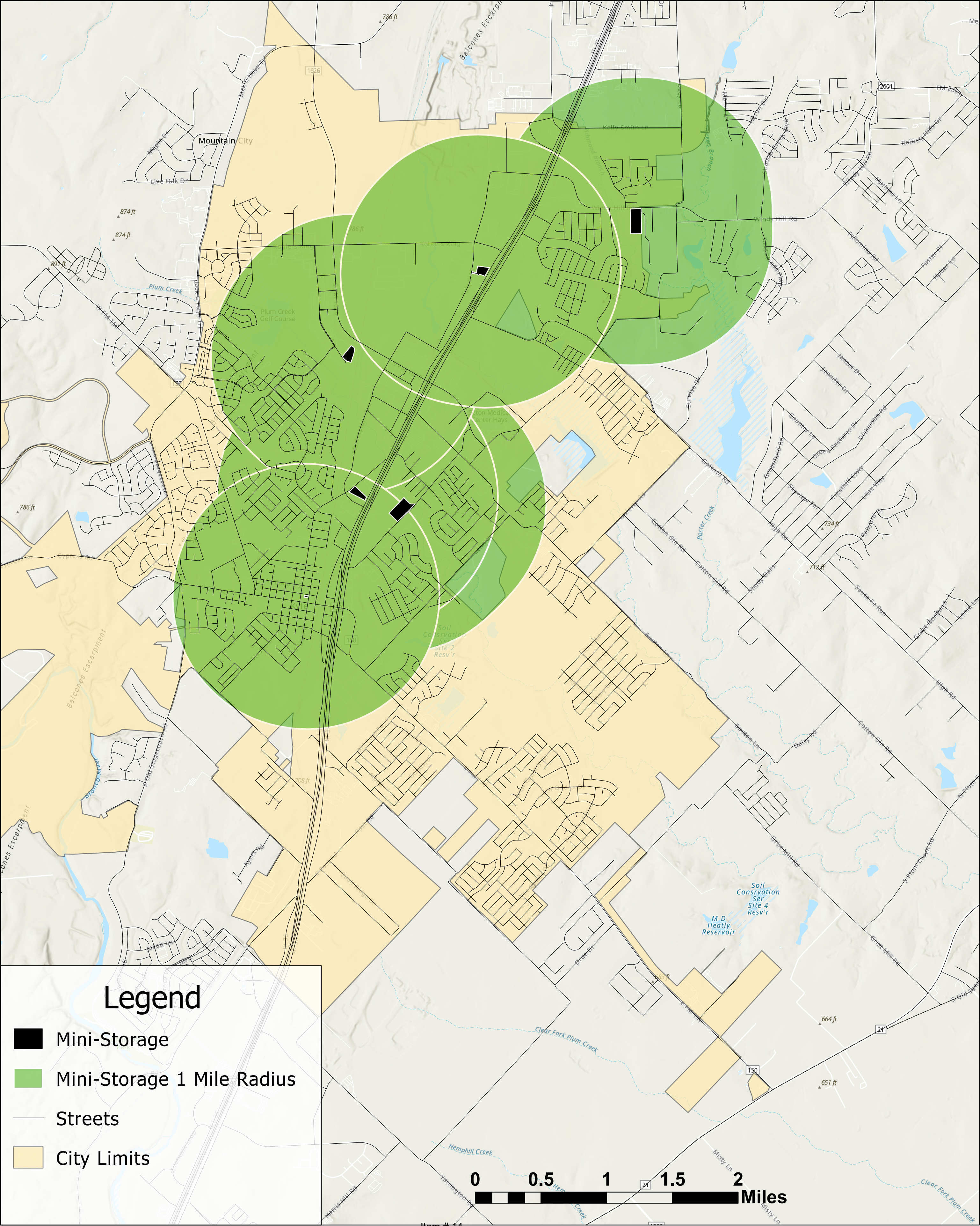
SIC Code	SIC Type	SIC Code Description	Primary Zoning	Secondary Zoning	Third Zoning	Fourth Zoning
<i>CBD-2, Central business district-2</i>						
722410	Retail	Bar, without restaurant	CBD-2	RS	CM/W	E
312120	Manufacturing	Brew pub	CBD-2	RS	CM/W	E

“





Gas Stations, Car Wash, and Mini-Storage



Legend

- Mini-Storage
- Mini-Storage 1 Mile Radius
- Streets
- City Limits

0 0.5 1 1.5 2 Miles



CITY OF KYLE, TEXAS

Discussion only regarding Planning and Zoning Commission request for future agenda items.

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Discussion only regarding Planning and Zoning Commission request for future agenda items.

Other Information: N/A

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Staff Report

Meeting Date: 2/8/2022
Date time: 6:30 PM

Subject/Recommendation: Staff Report by William Atkinson, Senior Planner.

Other Information: N/A

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

No Attachments Available