

CITY OF KYLE

PLANNING & ZONING COMMISSION REGULAR MEETING

<https://www.cityofkyle.com/kyletv/kyle-10-live> OR
Spectrum10

SPECIAL NOTE: Pursuant to the March 16, 2020 proclamation issued by Governor Abbott, this meeting will be held by videoconference in order to advance the public health goal of limiting face-to-face meetings (also called 'social distancing') to slow the spread of COVID-19. Planning and Zoning Commission will attend the meeting via videoconferencing. This meeting can be viewed live online at <https://www.cityofkyle.com/kyletv/kyle-10-live> OR Spectrum10.



Notice is hereby given that the Planning and Zoning Commission of the City of Kyle, Texas will meet at 6:30 PM on January 12, 2021, at <https://www.cityofkyle.com/kyletv/kyle-10-live> OR Spectrum10, for the purpose of discussing the following agenda.

NOTE: There may be a quorum of the City Council of Kyle, Texas present at the meeting who may participate in the discussion. No official action will be taken by the City Council members in attendance.

Posted this 8th day of January, 2021, prior to 6:30 P.M.

-
1. **Call Meeting To Order**
 2. **Roll Call**
 3. **Minutes**

A.Planning and Zoning Commission meeting minutes for October 13, 2020 (Workshop), October 27, 2020 (Workshop), November 10, 2020 (Regular Meeting), November 24, 2020 (Workshop) and December 8, 2020 (Regular Meeting).

4. **Citizen Comments**

A. Members of the public that wish to provide citizen comment must submit the online registration form found at: <https://www.cityofkyle.com/council/citizen-comment-sign> to attend virtually. Registration must be received by 12 p.m. on the day of the meeting.

5. Consent

A. 6 Creeks Phase 1, Section 5A - Final Plat (SUB-20-0127) 28.124-acres; 57 residential lots and 3 open space lots for property located west of N. Old Stagecoach Road within the 6 Creeks Subdivision.

Staff Proposal to P&Z: Approve the Final Plat.

B. 6 Creeks Phase 1, Section 8A - Preliminary Plan (SUB-20-0130) 26.03 acres; 94 residential lots for property located west of N. Old Stagecoach Road within 6 Creeks Subdivision.

Staff Proposal to P&Z: Approve the Preliminary Plan.

C. Talavera Subdivision - Preliminary Plan (SUB-20-0153) 119.43 acres; 407 lots for property located at the northwest intersection of Goforth Road and Bunton Creek Road.

Staff Proposal to P&Z: Approve the Preliminary Plan.

D. Plum Creek Phase 1, Section 11G Replat of Lot 1B, Block A (SUB-20-0156) 2.139 acres; 2 commercial lots for property located at 4600 FM 1626.

Staff Proposal to P&Z: Approve the Replat.

E. Howerton Plum Creek - Site Plan (SD-20-0079) 2.976 acres; 1 commercial lot for property located at 4282 S. FM 1626.

Staff Proposal to P&Z: Approve the Site Plan.

F. Silberberg Phase 2 - Site Plan (SD-20-0086) 2.427 acres; 1 commercial lot for property located at 4210 Benner Road.

Staff Proposal to P&Z: Approve the Site Plan.

6. Zoning

A. Consider a request by Jimmy and Diana Owen (Z-20-0066) to assign original zoning to approximately 1.4 acres of land from Agriculture 'AG' to Retail Service District 'RS' for property located at 101 Sunflower Circle, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

B. Consider a request by Kyle Mortgage Investors, LLC (Z-20-0067) to rezone approximately 57-acres of land from R-1-2 (42.3-acres) & RS (15-acres) to PUD (R-1-A, 54-acres) & (RS, 3.3-acres) for property located at 1821 W. RR 150, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

C. Consider a request by 1400 E. FM 150, LLC (Z-20-0068) to assign original zoning to approximately 5.87 acres of land from Agriculture 'AG' to Retail Service District 'RS' for property located at 1400 E. RR 150, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

D. Consider a request by DDR DB Kyle LP (Z-20-0069) to rezone approximately 19.5 acres of land from Retail Service District 'RS' to Multi-Family Residential-3 'R-3-3' for property located at 5492 Kyle Center Drive, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

7. General Discussion

A. Discussion only regarding Planning and Zoning Commission request for future agenda items.

8. Staff Report

A. Staff Report by Howard J. Koontz, Director of Planning and Community Development.

9. Adjournment



CITY OF KYLE, TEXAS

Minutes

Meeting Date: 1/12/2021

Date time:6:30 PM

Subject/Recommendation: Planning and Zoning Commission meeting minutes for October 13, 2020 (Workshop), October 27, 2020 (Workshop), November 10, 2020 (Regular Meeting), November 24, 2020 (Workshop) and December 8, 2020 (Regular Meeting).

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- October 13, 2020 - Workshop
- October 27, 2020 - Workshop
- November 10, 2020 - Regular Meeting
- November 24, 2020 - Workshop
- December 8, 2020 - Regular Meeting

WORKSHOP MEETING OF THE PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission of the City of Kyle, Texas met in a workshop meeting on October 13, 2020 at 7:00 P.M. In-person and virtually with the following persons present:

Madam Chair, Michele Christie
Vice-Chair, Tim McHutchion
Commissioner, Megan McCall
Commissioner, Paul Scheibmeir
Commissioner, Alex Guerra
Commissioner, Priscilla Harrell
Planning Director, Howard J. Koontz
City Planner, William Atkinson
Planning Technician, Debbie A. Guerra

CALL MEETING TO ORDER

Madam Chair Christie called the meeting to order at 7:35 P.M.

ROLL CALL OF COMMISSION

Madam Chair Christie called for roll call. Commissioner Voss was absent.

CITIZENS COMMENTS

Madam Chair Christie opened the citizens comment period at 7:36 P.M. and called for comments on items not on the agenda or posted for public hearing. There were no comments. Madam Chair Christie closed the public hearing at 7:36 P.M.

GENERAL DISCUSSION

UPDATE TO THE 2010 COMPREHENSIVE PLAN FUTURE LAND USE MAP:

- 1. INITIAL DISCUSSION OF EXISTING CONDITIONS AND ASSOCIATED TRANSITION (S) TO NEW DESIGNATIONS.**
- 2. DISCUSSION OF EDITS AND/OR AMENDMENTS TO CHARACTER AREA DESCRIPTIONS.**

Each Commissioner was assigned to research a certain land use district:

Vice-Chair McHutchion: Transitional Settlement, Heritage Community
Commissioner Guerra: East and New Settlement
Commissioner Harrell: Historic, Midtown and Original town
Commissioner Scheibmeir: Regional and Super regional nodes
Madam Chair Christie: Ranch, Riparian and Sensitive/Sustainable development
Commissioner McCall: Local node and Core Transition
Commissioner Voss: Farm & New Town

ADJOURN

With no further business to discuss, Vice-Chair McHutchion moved to adjourn. Commissioner Harrell seconds the motion. All votes aye. Motion carried.

The Planning and Zoning Commission workshop meeting adjourned at 8:38 P.M.

Prepared by Debbie A. Guerra

Madam Chair Michele Christie

WORKSHOP MEETING OF THE PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission of the City of Kyle, Texas met in a workshop meeting on October 27, 2020 at 6:30 P.M. virtually with the following persons present:

Madam Chair, Michele Christie
Commissioner, Megan McCall
Commissioner, Paul Scheibmeir
Commissioner, Alex Guerra
Commissioner, Priscilla Harrell
Commissioner, Rebecca Voss
Planning Director, Howard J. Koontz
City Planner, William Atkinson
Planning Technician, Debbie A. Guerra
GIS/Addressing Coordinator, Steve Clamons
GIS Technician, Chad Ramos

Carey Bresler
Hunter Floyd

CALL MEETING TO ORDER

Madam Chair Christie called the meeting to order at 6:30 P.M.

ROLL CALL OF COMMISSION

Madam Chair Christie called for roll call. Vice-Chair McHutchion was absent. Commissioner McCall left the meeting at 6:50 P.M.

CITIZENS COMMENTS

Madam Chair Christie opened the citizens comment period at 6:30 P.M. and called for comments on items not on the agenda or posted for public hearing. Carey Bresler commented on the regional and super-regional node north of 1626. Madam Chair Christie closed the public hearing at 6:34 P.M.

GENERAL DISCUSSION

DISCUSSION OF THE COMMISSIONER'S RESEARCH OF THE 2010 COMPREHENSIVE PLAN CHARACTER AREAS AND FUTURE LAND USE MAP ASSIGNMENTS, WITH THE GOAL TO PROVIDE DIRECTION FOR STAFF TO MAKE THE FIRST DRAFT OF EDITS FOR PUBLIC CONSIDERATION.

Discussion only.

ADJOURN

With no further business to discuss, Commissioner Voss moved to adjourn. Commissioner Harrell seconds the motion. All votes aye. Motion carried.

The Planning and Zoning Commission workshop meeting adjourned at 9:35 P.M.

Prepared by Debbie A. Guerra

Madam Chair Michele Christie

REGULAR CALLED MEETING OF THE PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission of the City of Kyle, Texas met in a regular called meeting on November 10, 2020 at 6:30 P.M. virtually with the following persons present:

Madam Chair, Michele Christie
Commissioner, Megan McCall
Commissioner, Paul Scheibmeir
Commissioner, Alex Guerra
Commissioner, Priscilla Harrell
Commissioner, Rebecca Voss
Planning Director, Howard J. Koontz
City Planner, William Atkinson
Planning Technician, Debbie A. Guerra

CALL MEETING TO ORDER

Madam Chair Christie called the meeting to order at 6:30 P.M.

ROLL CALL OF COMMISSION

Madam Chair Christie called for roll call. No one was absent.

MINUTES

PLANNING AND ZONING COMMISSION MEETING MINUTES FOR OCTOBER 13, 2020.

Commissioner Harrell moved to approve the minutes for October 13, 2020. Commissioner Voss seconds the motion. All votes aye. Motion carried.

ELECTION OF CHAIR / VICE-CHAIR

Commissioner Christie received a unanimous vote for Chair.
Commissioner McHutchion received a unanimous vote for Vice-Chair.

CITIZENS COMMENTS

Madam Chair Christie opened the citizens comment period at 6:33 P.M. and called for comments on items not on the agenda or posted for public hearing. There were no comments. Madam Chair Christie closed the public hearing at 6:33 P.M.

PRESENTATION

PRESENTATION OF KYLE 57 BY DANIEL McELRATH, ROBERT DEEGAN AND GARRETT MARTIN.

ZONING

CONSIDER A REQUEST BY KYLE CHATEAU BELLA, INC. (Z-20-0065) TO REZONE AND REDUCE TO APPROXIMATELY 2.3 ACRES OF LAND FROM (PUD) NEIGHBORHOOD COMMERCIAL 'NC' TO PUD NEIGHBORHOOD COMMERCIAL 'NC', REZONE AND INCREASE TO APPROXIMATELY 27.215 ACRES OF LAND FROM (PUD) RESIDENTIAL CONDOMINIUM 'R-1-C' TO (PUD) RESIDENTIAL CONDOMINIUM 'R-1-C' AND REZONE AND REDUCE TO APPROXIMATELY 3.824 ACRES OF LAND FROM (PUD) AGRICULTURE 'A' TO (PUD) AGRICULTURE 'A' FOR PROPERTY LOCATED AT 602 CREEKSIDE TRAIL, IN HAYS COUNTY, TEXAS.

Madam Chair Christie called for comments for or against the request at 7:05 P.M. There were no comments. Madam Chair Christie closed the public hearing at 7:05 P.M.

Vice-Chair McHutchion moved to approve the request. Commissioner Scheibmeir seconds the motion. All votes aye. Motion carried.

GENERAL DISCUSSION

- A. COMMISSION DIRECTION TO STAFF REGARDING THE (DRAFT) FUTURE LAND USE MAP.**
- B. GATEWAY DISTRICT – CHARACTER AND INTENT DISCUSSION.**
- C. DISCUSSION ONLY REGARDING ADDING WAREHOUSE 'W' AND CONSTRUCTION MANUFACTURING 'CM' ZONING DISTRICTS TO THE REGIONAL NODE CONDITIONALLY.**

Discussion only.

DISCUSSION ONLY REGARDING PLANNING AND ZONING COMMISSION REQUEST FOR FUTURE AGENDA ITEMS.

Commissioner Scheibmeir would like information regarding future schools for Hays CISD. Madam Chair Christie would like to hire a firm for the Comprehensive Plan update.

STAFF REPORT

STAFF REPORT BY HOWARD J. KOONTZ, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.

Workshop is scheduled for November 24, 2020.

ADJOURN

With no further business to discuss, Commissioner Voss moved to adjourn. Commissioner Guerra seconds the motion. All votes aye. Motion carried.

The Planning and Zoning Commission regular called meeting adjourned at 8:10 P.M.

Prepared by Debbie A. Guerra

Madam Chair Michele Christie

**WORKSHOP MEETING OF THE
PLANNING AND ZONING COMMISSION**

The Planning and Zoning Commission of the City of Kyle, Texas met in a workshop meeting on November 24, 2020 at 6:30 P.M. virtually with the following persons present:

Madam Chair, Michele Christie
Commissioner, Megan McCall
Commissioner, Paul Scheibmeir
Commissioner, Alex Guerra
Commissioner, Priscilla Harrell
Commissioner, Rebecca Voss

Planning Director, Howard J. Koontz
City Planner, William Atkinson
Planning Technician, Debbie A. Guerra

CALL MEETING TO ORDER

Madam Chair Christie called the meeting to order at 6:30 P.M.

ROLL CALL OF COMMISSION

Madam Chair Christie called for roll call. Commissioner McCall was absent.

CITIZENS COMMENTS

Madam Chair Christie opened the citizens comment period at 6:31 P.M. and called for comments on items not on the agenda or posted for public hearing. There were no comments. Madam Chair Christie closed the public hearing at 6:31 P.M.

GENERAL DISCUSSION

**CONTINUED DISCUSSION FOR PROPOSED CHANGES TO THE 2010 COMPREHENSIVE
PLAN FUTURE LAND USE MAP.**

- **DISCUSS THE EAST GATEWAY DISTRICT CHARACTER AREA**
- **NEXT STEPS: SCHEDULE OF EVENTS AND PROCEDURE TO RECEIVE COMMENTS**

Discussion only.

ADJOURN

With no further business to discuss, Commissioner Scheibmeir moved to adjourn. Commissioner Voss seconds the motion. All votes aye. Motion carried.

The Planning and Zoning Commission workshop meeting adjourned at 7:07 P.M.

Prepared by Debbie A. Guerra

Madam Chair Michele Christie

REGULAR CALLED MEETING OF THE PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission of the City of Kyle, Texas met in a regular called meeting on December 8, 2020 at 6:30 P.M. virtually with the following persons present:

Madam Chair, Michele Christie
Commissioner, Megan McCall
Commissioner, Paul Scheibmeir
Commissioner, Alex Guerra
Commissioner, Rebecca Voss
Planning Director, Howard J. Koontz
City Planner, William Atkinson
Planning Technician, Debbie A. Guerra

CALL MEETING TO ORDER

Madam Chair Christie called the meeting to order at 6:30 P.M.

ROLL CALL OF COMMISSION

Madam Chair Christie called for roll call. Commissioner Harrell was absent.

CITIZENS COMMENTS

Madam Chair Christie opened the citizens comment period at 6:30 P.M. and called for comments on items not on the agenda or posted for public hearing. There were no comments. Madam Chair Christie closed the public hearing at 6:30 P.M.

PRESENTATION

**RECOGNITION OF TIM MCHUTCHION FOR HIS YEARS OF SERVICE ON THE
PLANNING AND ZONING COMMISSION.**

CONSENT

GREEN PASTURES, SECTION TWO, REPLAT OF LOTS 2&3, BLOCK R (SUB-19-0077) 2.44 ACRES; 3 LOTS FOR PROPERTY LOCATED APPROXIMATELY 160- FEET NORTHEAST OF THE NORTHEAST INTERSECTION OF LILAC WAY AND TREETOP LANE.

CHATEAU BELLA SUBDIVISION – FINAL PLAT (SUB-20-0138) 35.55 ACRES; 3 LOTS AND ROW FOR PROPERTY LOCATED AT 602 CREEKSIDE TRAIL.

STAGECOACH SUBDIVISION, PHASE 3 – FINAL PLAT (SUB-20-0149) 22.251 ACRES; 88 SINGLE FAMILY LOTS FOR PROPERTY LOCATED EAST OF STAGECOACH ROAD AND WEST OF SCOTT STREET.

PLUM CREEK PHASE 1, SECTION 12C – FINAL PLAT (SUB-20-0150) 6.708 ACRES; 1 LOT AND ROW FOR PROPERTY LOCATED ON THE SOUTHWEST CORNER OF KHOLER’S CROSSING AND FM 1626.

PLUM CREEK REGIONAL DETENTION – SITE PLAN (SD-20-0075) LIMITS OF CONSTRUCTION FOR 81.86 ACRES, CONSTRUCTION ENTRANCE IS LOCATED AT 3251 S. FM 1626.

PLUM CREEK PHASE 2, SECTION 6 & 10 GRADING IMPROVEMENTS – SITE PLAN (SD-20-0080) LIMITS OF CONSTRUCTION FOR 92.43 ACRES, CONSTRUCTION ENTRANCE IS LOCATED AT 3251 S. FM 1626.

STAFF PROPOSAL TO P&Z: APPROVE THE CONSENT AGENDA

Commissioner McCall moved to approve the consent agenda. Commissioner Guerra seconds the motion. All votes aye. Motion carried.

GENERAL DISCUSSION

DISCUSSION ONLY REGARDING PLANNING AND ZONING COMMISSION REQUEST FOR FUTURE AGENDA ITEMS.

Commissioner McCall asked if they will be voting in new Vice-Chair in the upcoming meeting. Howard J. Koontz, Director of Planning stated staff will schedule the election once the new Commissioner is in place.

STAFF REPORT

STAFF REPORT BY HOWARD J. KOONTZ, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.

No meeting on December 22nd and the next meeting on January 12th will be remote.

Commissioner Guerra asked about the revisions to the Comprehensive Plan and Mr. Koontz stated he is working on revisions to send to the public.

ADJOURN

With no further business to discuss, Commissioner Voss moved to adjourn. Commissioner McCall seconds the motion. All votes aye. Motion carried.

The Planning and Zoning Commission regular called meeting adjourned at 6:48 P.M.

Prepared by Debbie A. Guerra

Madam Chair Michele Christie



CITY OF KYLE, TEXAS

Citizen Comment Information

Meeting Date: 1/12/2021

Date time:6:30 PM

Subject/Recommendation: Members of the public that wish to provide citizen comment must submit the online registration form found at: <https://www.cityofkyle.com/council/citizen-comment-sign> to attend virtually. Registration must be received by 12 p.m. on the day of the meeting.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

6 Creeks Phase 1, Section 5A - Final Plat (SUB-20-0127)

Meeting Date: 1/12/2021
Date time: 6:30 PM

Subject/Recommendation: 6 Creeks Phase 1, Section 5A - Final Plat (SUB-20-0127) 28.124-acres; 57 residential lots and 3 open space lots for property located west of N. Old Stagecoach Road within the 6 Creeks Subdivision.

Staff Proposal to P&Z: Approve the Final Plat.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

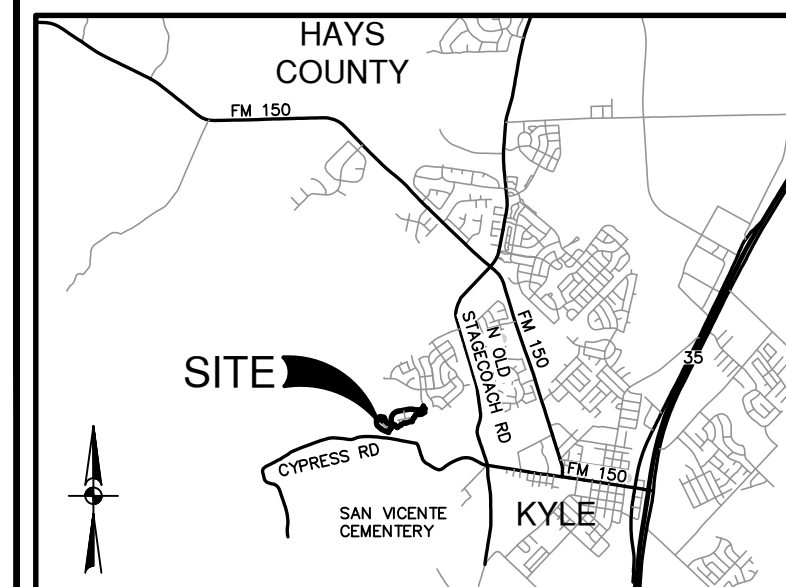
- Plat
- Hays County 1445 Approval Letter

PAPE-DAWSON ENGINEERS

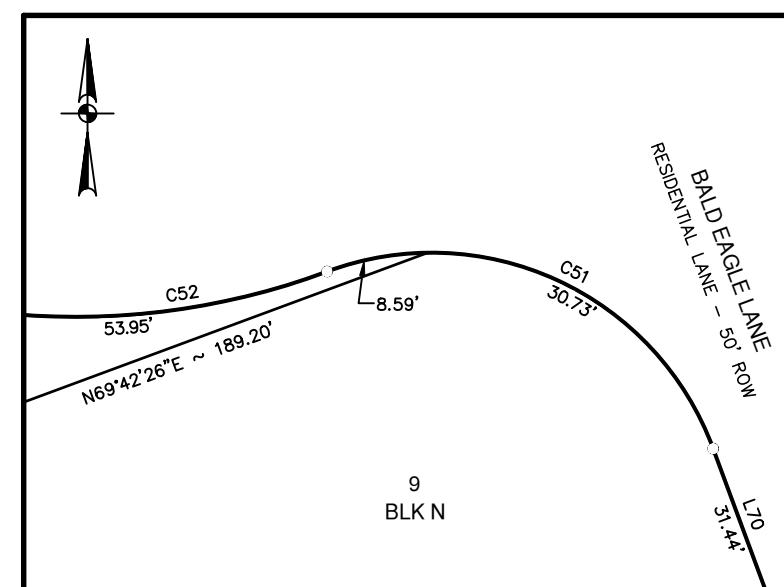
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPFS FIRM REGISTRATION #1020800
DATE OF PREPARATION: January 06, 2021

FINAL PLAT OF 6 CREEKS-PHASE 1, SECTION 5A

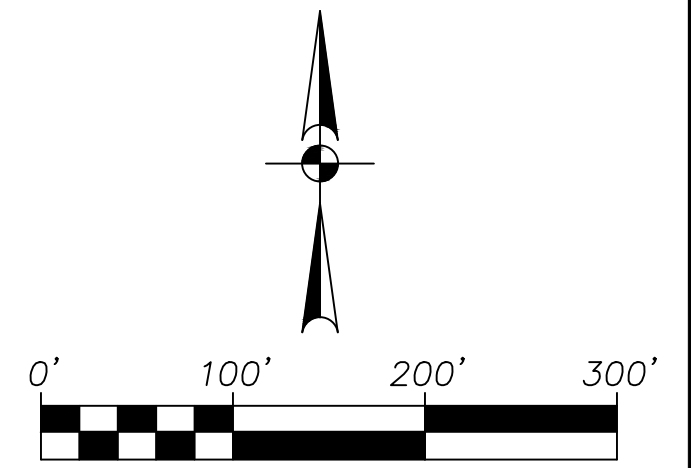
A 28.124 ACRE TRACT OF LAND BEING COMPRISED OF A PORTION OF A 153.0288 ACRE TRACT DESCRIBED IN DOCUMENT NUMBER 20006092 IN THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, IN THE SAMUEL PHARASS 1/4 LEAGUE NO. 14, ABSTRACT 360, HAYS COUNTY, TEXAS.



LOCATION MAP NOT-TO-SCALE



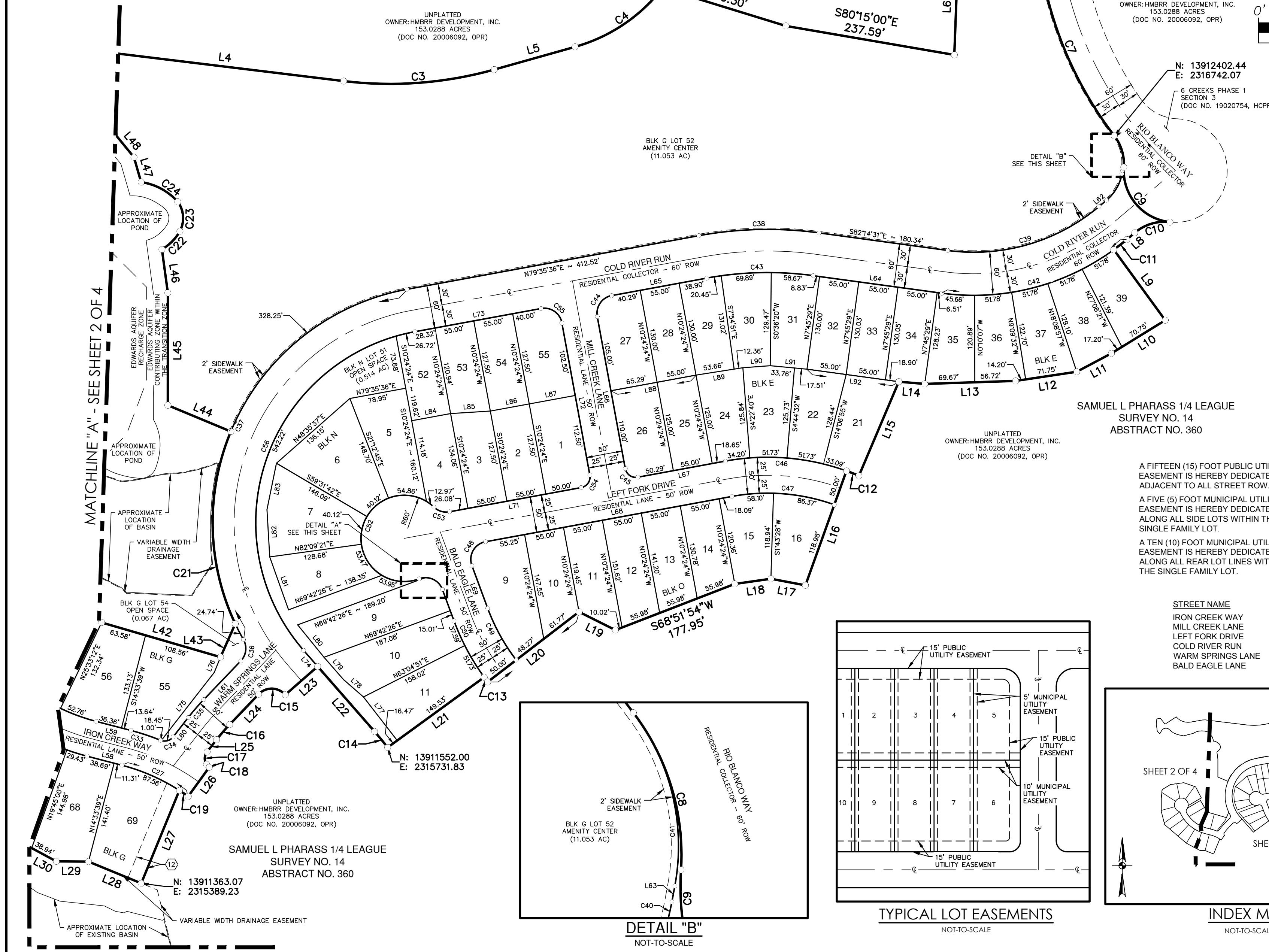
DETAIL "A" NOT-TO-SCALE



SCALE: 1" = 100'

LEGEND

- AC ACRE(S)
 - BLK BLOCK
 - ESMT EASEMENT
 - ETJ EXTRATERRITORIAL JURISDICTION
 - VOL VOLUME
 - PG PAGE(S)
 - ROW RIGHT-OF-WAY
 - GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
 - DOC NO. DOCUMENT NUMBER
 - OPR OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
 - HCCR PLAT RECORDS OF HAYS COUNTY, TEXAS
 - HCDR DEED RECORDS OF HAYS COUNTY, TEXAS
 - (SURVEYOR) FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
 - SET 1/2" IRON ROD (PD)
 - SET 1/2" IRON ROD (PD)-ROW
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - ORIGINAL SURVEY/COUNTY LINE
 - CENTERLINE
 - KYLE CITY LIMITS
 - (12) 20' DRAINAGE EASEMENT
- OWNER: HMBRR, DEVELOPMENT, INC.
1011 N. LAMAR AUSTIN, TEXAS 78703
(512) 481-0303 P
(512) 481-0333 F



A FIFTEEN (15) FOOT PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET ROW.

A FIVE (5) FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ALONG ALL SIDE LOTS WITHIN THE SINGLE FAMILY LOT.

A TEN (10) FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ALONG ALL REAR LOT LINES WITHIN THE SINGLE FAMILY LOT.

ACREAGE: 28.124 ACRES

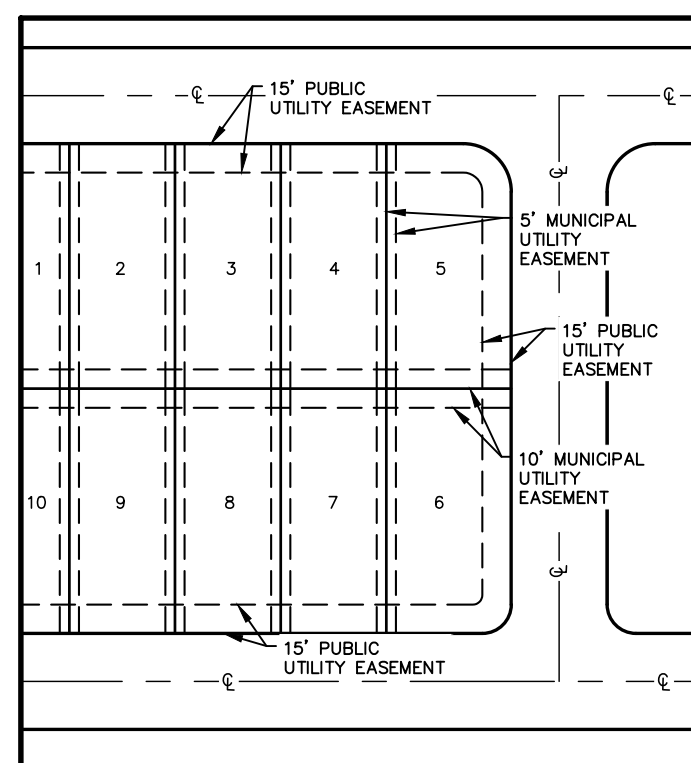
SURVEY: SAMUEL PHARASS 1/4 LEAGUE SURVEY NO. 14 ABSTRACT 360

PROPOSED RESIDENTIAL LOTS: 57
PROPOSED OPEN SPACE LOTS: 3

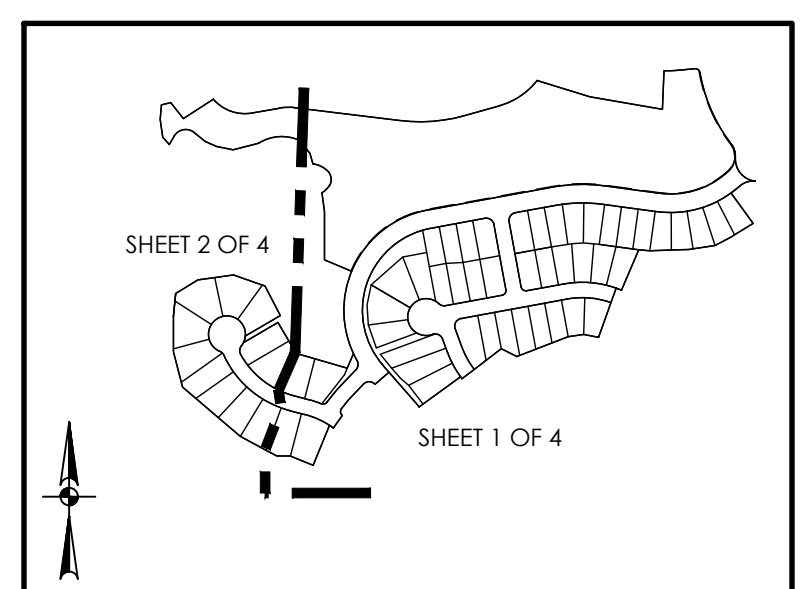
DATE: November 3, 2020

ENGINEER & SURVEYOR: PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TX 78213
(210) 375-9000 P
(210) 375-9010 F

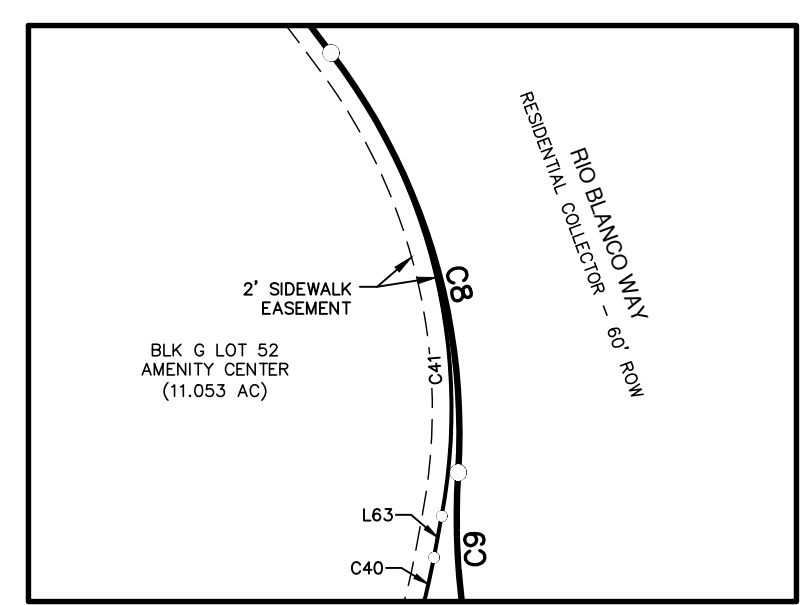
STREET NAME	STREET CLASSIFICATION	STREET LENGTH
IRON CREEK WAY	RESIDENTIAL LANE	484.14'
MILL CREEK LANE	RESIDENTIAL LANE	310.00'
LEFT FORK DRIVE	RESIDENTIAL LANE	616.37'
COLD RIVER RUN	RESIDENTIAL COLLECTOR	1777.35'
WARM SPRINGS LANE	RESIDENTIAL LANE	215.42'
BALD EAGLE LANE	RESIDENTIAL LANE	212.68'



TYPICAL LOT EASEMENTS NOT-TO-SCALE



INDEX MAP NOT-TO-SCALE



DETAIL "B" NOT-TO-SCALE

FINAL PLAT
OF
6 CREEKS-PHASE 1, SECTION 5A

A 28.124 ACRE TRACT OF LAND BEING COMPRISED OF A PORTION OF A
153.0288 ACRE TRACT DESCRIBED IN DOCUMENT NUMBER 20006092 IN THE
OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, IN THE SAMUEL
PHARASS 1/4 LEAGUE NO. 14, ABSTRACT 360, HAYS COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPFS FIRM REGISTRATION #10028800

DATE OF PREPARATION: January 06, 2021

FINAL PLAT NOTES:

1. THIS FINAL PLAT IS LOCATED ENTIRELY WITHIN HAYS COUNTY.
2. THIS PLAT FALLS WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER CONTRIBUTING ZONE WITHIN THE TRANSITION ZONE.
3. THIS PLAT IS LOCATED WITHIN THE BOUNDARY OF THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT.
4. NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED 100-YEAR FLOOD PLAIN AS DELINEATED ON THE FLOOD INSURANCE RATE MAP NO. 48209C0270F, EFFECTIVE DATE OF SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
5. ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE HAYS COUNTY REQUIREMENTS AND APPROVED BY THE HAYS COUNTY TRANSPORTATION DEPARTMENT AND UPON ACCEPTANCE SHALL BE DEDICATED TO THE COUNTY FOR MAINTENANCE.
6. STREETS TO BE ACCESSED WILL BE CONSTRUCTED WITH CURB AND GUTTER.
7. LINEAR FOOTAGE OF STREET IMPROVEMENTS: ±3616 L.F.
8. THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE HAYS COUNTY REQUIREMENTS AS APPLICABLE TO THIS DEVELOPMENT.
9. AREA WITHIN NEW ROAD RIGHT-OF-WAY = 4.722 ACRES.
10. ALL STREETS TO BE PUBLIC, PAVED AND MAINTAINED BY THE COUNTY.
11. NO OBJECT INCLUDING FENCING OR LANDSCAPING WHICH WOULD INTERFERE WITH CONVEYANCE OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN DRAINAGE EASEMENTS.
12. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY AND/OR HOMEOWNERS ASSOCIATIONS.
13. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
14. THIS SUBDIVISION IS WITHIN THE ETJ OF THE CITY OF KYLE, TEXAS.
15. GAS IS PROVIDED BY CENTERPOINT ENERGY. (800) 427-7142
16. ELECTRICITY IS PROVIDED BY PERDENALES ELECTRIC COMPANY. (888) 554-4732
17. THE WASTEWATER TREATMENT PLANT IS OWNED AND OPERATED BY THE CITY OF KYLE, TEXAS.
18. WASTEWATER IS PROVIDED BY THE CITY OF KYLE, TEXAS. (512) 262-3960 (SEE NOTE ABOVE).
19. WATER IS PROVIDED BY THE CITY OF KYLE, TEXAS. (512) 262-3960
20. INTERNET/PHONE IS PROVIDED BY SPECTRUM. (855) 855-4575
21. TRASH IS PROVIDED BY TEXAS DISPOSAL SYSTEMS. (800) 375-8375
22. THE REQUIREMENT CONCERNING CONSTRUCTION STANDARDS FOR MAILBOXES INSTALLED WITHIN THE RIGHT-OF-WAY OF STREETS AND HIGHWAYS AND REQUIRING ALL SUCH MAILBOXES TO BE MADE OF COLLAPSIBLE MATERIALS, AS DEFINED IN THE ORDINANCE. COMMUNITY MAILBOXES SHALL HAVE A SEPARATE LIGHT/STREET LIGHT TO ILLUMINATE THE MAILBOX AREA.
23. FOR THE TWO (2), FIVE (5), TEN (10), TWENTY-FIVE (25), AND ONE HUNDRED (100) YEAR, TWENTY-FOUR (24) HOUR STORM EVENTS, POST DEVELOPED CONDITION RUNOFF RATES SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
24. THIS SITE IS LOCATED WITHIN HAYS COUNTY ESD #5 AND #9.
25. CONSTRUCTION STANDARDS AND SPECIFICATIONS WILL BE AS AGREED TO IN THE BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA) DE-ANNEXATION AND DEVELOPMENT AGREEMENT APPROVED BY THE HAYS COUNTY COMMISSIONER'S COURT ON MARCH 21, 2017.
26. POST CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPED SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR, AND MADE AVAILABLE FOR REVIEW BY THE CITY.
27. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED TO ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE COUNTY ROADWAY RIGHT-OF-WAY HAS BEEN ISSUED UNDER CHAPTER 751, AND, (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENT SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
28. IN APPROVING THIS PLAT BY THE COMMISSIONERS COURT OF HAYS COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES DELINEATED AND SHOWN ON THIS PLAT, AND ALL BRIDGES AND CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES, OR IN CONNECTION THEREWITH SHALL BE THE RESPONSIBILITY OF THE OWNER AND / OR THE DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS COURT OF HAYS COUNTY, TEXAS AND THE COMMISSIONERS COURT OF HAYS COUNTY, TEXAS, ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR OF CONSTRUCTING ANY BRIDGES OR CULVERTS IN CONNECTION THEREWITH.
29. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF IRON CREEK WAY, BALD EAGLE LANE, AND LEFT FORK DRIVE. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED WHERE THERE ARE DOUBLE FRONTAGE LOTS. SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED. (ORD #439, ARTICLE V, SEC 10; KYLE CODE)
30. ALL CULVERTS, WHEN REQUIRED SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARD, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 705, SUBCHAPTER 8.03.
31. THE MAINTENANCE OF SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS OR HOMEOWNERS ASSOCIATION OR THEIR SUCCESSORS AND NOT THE RESPONSIBILITY OF THE CITY OF KYLE OR HAYS COUNTY.
32. ROAD WAY CLASSIFICATIONS ARE PER THE BLANCO RIVER RANCH (PHASE 1 RESIDENTIAL AREA) DE-ANNEXATION AND DEVELOPMENT AGREEMENT (INSTRUMENT # 17018505).
33. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
34. PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE.
35. A FIFTEEN (15) FOOT PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET ROW. A FIVE (5) FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ALONG ALL SIDE LOTS WITHIN THE SINGLE FAMILY LOT. A TEN (10) FOOT MUNICIPAL EASEMENT IS HEREBY DEDICATED ALONG ALL REAR LOT LINES WITHIN THE SINGLE FAMILY LOT.

FINAL PLAT
OF
6 CREEKS-PHASE 1, SECTION 5A

A 28.124 ACRE TRACT OF LAND BEING COMPRISED OF A PORTION OF A
153.0288 ACRE TRACT DESCRIBED IN DOCUMENT NUMBER 20006092 IN THE
OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, IN THE SAMUEL
PHARASS 1/4 LEAGUE NO. 14, ABSTRACT 360, HAYS COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

DATE OF PREPARATION: January 06, 2021

THE STATE OF TEXAS §
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS, THAT HMBRR DEVELOPMENT, INC., A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF TEXAS, WITH ITS HOME ADDRESS AT 1011 N. LAMAR, AUSTIN, TEXAS, AS CONVEYED TO IT BY DEED DATED FEBRUARY 14, 2020, RECORDED IN DOCUMENT 20006092, OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 28.124 ACRES OF LAND OUT OF THE SAMUEL PHARASS 1/4 LEAGUE SURVEY NO. 14, ABSTRACT 360, TO BE KNOWN AS:

6 CREEKS-PHASE 1, SECTION 5A

IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

HMBRR DEVELOPMENT, INC.
BY: BLAKE MAGEE
PRESIDENT
1011 N. LAMAR
AUSTIN, TEXAS 78703

THE STATE OF TEXAS §
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND HE/SHE ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF _____, A.D. 20____.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY'S NAME _____
MY COMMISSION EXPIRES _____

THE STATE OF TEXAS §
COUNTY OF HAYS §

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY, THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN THEREON.

DAVID CASANOVA _____ DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4251
STATE OF TEXAS
PAPE-DAWSON ENGINEERS, INC.
TBPE, FIRM REGISTRATION NO. 470
TBPLS, FIRM REGISTRATION NO. 10028800
2000 NW LOOP 410
SAN ANTONIO, TX 78213

THE STATE OF TEXAS §
COUNTY OF HAYS §

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

REBECCA ANN CARROLL _____ DATE _____
REGISTERED PROFESSIONAL ENGINEER NO. 92666
PAPE-DAWSON ENGINEERS, INC.
TBPE, FIRM REGISTRATION NO. 470
TBPLS, FIRM REGISTRATION NO. 10028800
2000 NW LOOP 410
SAN ANTONIO, TX 78213

THE STATE OF TEXAS §
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS, THAT CLARE L. BRANSON, CONSTRUCTION LENDING OFFICER, OF AMERICAN BANK, N.A., THE LIEN HOLDER OF THE TRACTS OF LAND SHOWN HEREON AND DESCRIBED IN RECORDED DOCUMENT NUMBER 17034176 AND RECORDED DOCUMENT NUMBER 17034173, BOTH OUT OF THE OFFICIAL PUBLIC RECORDS, HAYS COUNTY TEXAS, DOES HEREBY CONSENT TO THE SUBDIVISION OF SAID TRACTS OF LAND AS SHOWN HEREON, DOES FURTHER HEREBY JOIN, APPROVE, AND CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND TO THE DEDICATION TO THE PUBLIC THE USE OF THE STREETS, PUBLIC TRAILS, AND EASEMENTS SHOWN HEREON.

TO CERTIFY WHICH, WITNESS BY MY HAND THIS _____ DAY OF _____, A.D. 20_____.

CLARE L. BRANSON
AMERICAN BANK, N.A.
CONSTRUCTION LENDING OFFICER
3520 BEE CAVES ROAD, SUITE 200
AUSTIN, TX 78746

THE STATE OF TEXAS §
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED CLARE L. BRANSON, CHIEF ACCOUNTING OFFICER, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 20_____.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY'S NAME _____

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAINWATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WATERWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

TOM POPE, R.S., C.F.M.
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

CAITLYN STRICKLAND
DIRECTOR, HAYS COUNTY DEVELOPMENT SERVICES

REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

REVIEWED BY:

CITY ENGINEER

I, THE UNDERSIGNED, DIRECTOR OF HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF KYLE FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF KYLE.

CAITLYN STRICKLAND
DIRECTOR, HAYS COUNTY DEVELOPMENT SERVICES

THE STATE OF TEXAS §
COUNTY OF HAYS §

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK _____ M. AND DULY RECORDED ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK _____ M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS IN CFN # _____.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK OF SAID COUNTY THE _____ DAY OF _____, 20____, A.D.

ELAINE H. CARDENAS, COUNTY CLERK
HAYS COUNTY, TEXAS

THE STATE OF TEXAS §
COUNTY OF HAYS §

THIS PLAT HAS BEEN SUBMITTED AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE, TEXAS, AND IS HEREBY APPROVED BY SUCH PLANNING AND ZONING COMMISSION.

DATED THIS _____ DAY OF _____, 20_____.

MICHELLE CHRISTIE MADAM CHAIR



Hays County Development Services
P.O Box 1006 San Marcos TX 78667-1006
2171 Yarrington Road San Marcos TX 78666
512-393-2150 / 512-493-1915 fax

January 6, 2021

Howard Koontz
Director of Planning
City of Kyle

Re: 6 Creeks, Phase One, Section 5A, Final (PLN-1491-NP)

Mr. Koontz,

The Hays County Development Services staff has had an opportunity to review the aforementioned subdivision for compliance with Hays County subdivision and development regulations. Hays County staff has no further review comments at this time.

Pursuant to the Interlocal Cooperation Agreement between Hays County and the City of Kyle for subdivision regulation within the extraterritorial jurisdiction of the City of Kyle, please move forward with approval of the plat as submitted.

If you have any questions please let me know.

Regards,

Caitlyn J. Strickland

Caitlyn Strickland
Director
Hays County Development Services

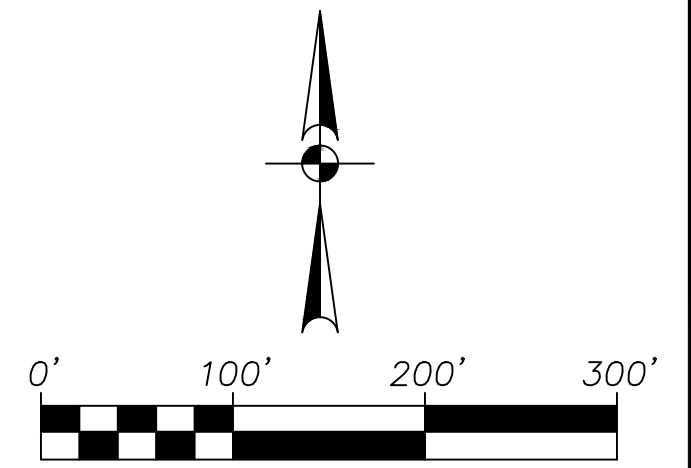
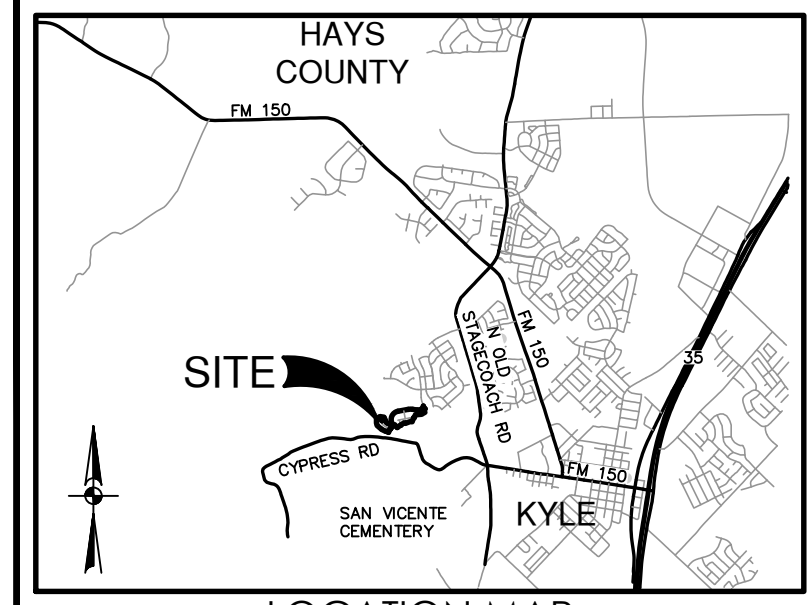


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2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TXPE FIRM REGISTRATION #470 | TPPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: October 20, 2020

FINAL PLAT OF 6 CREEKS-PHASE 1, SECTION 5A

A 42.949 ACRE TRACT OF LAND BEING COMPRISED OF A PORTION OF A 153.0288 ACRE TRACT DESCRIBED IN DOCUMENT NUMBER 20006092 IN THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, IN THE SAMUEL PHARASS 1/4 LEAGUE NO. 14, ABSTRACT 360, HAYS COUNTY, TEXAS.

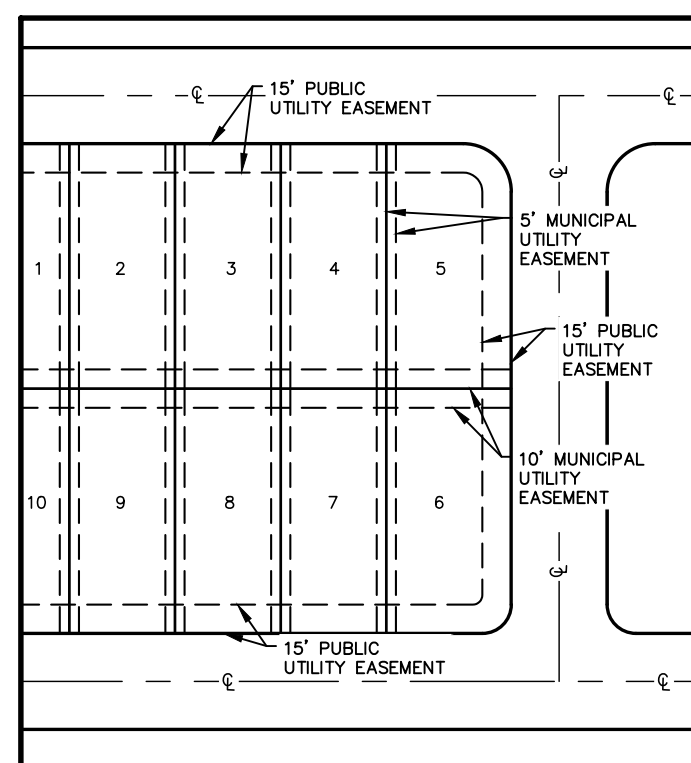
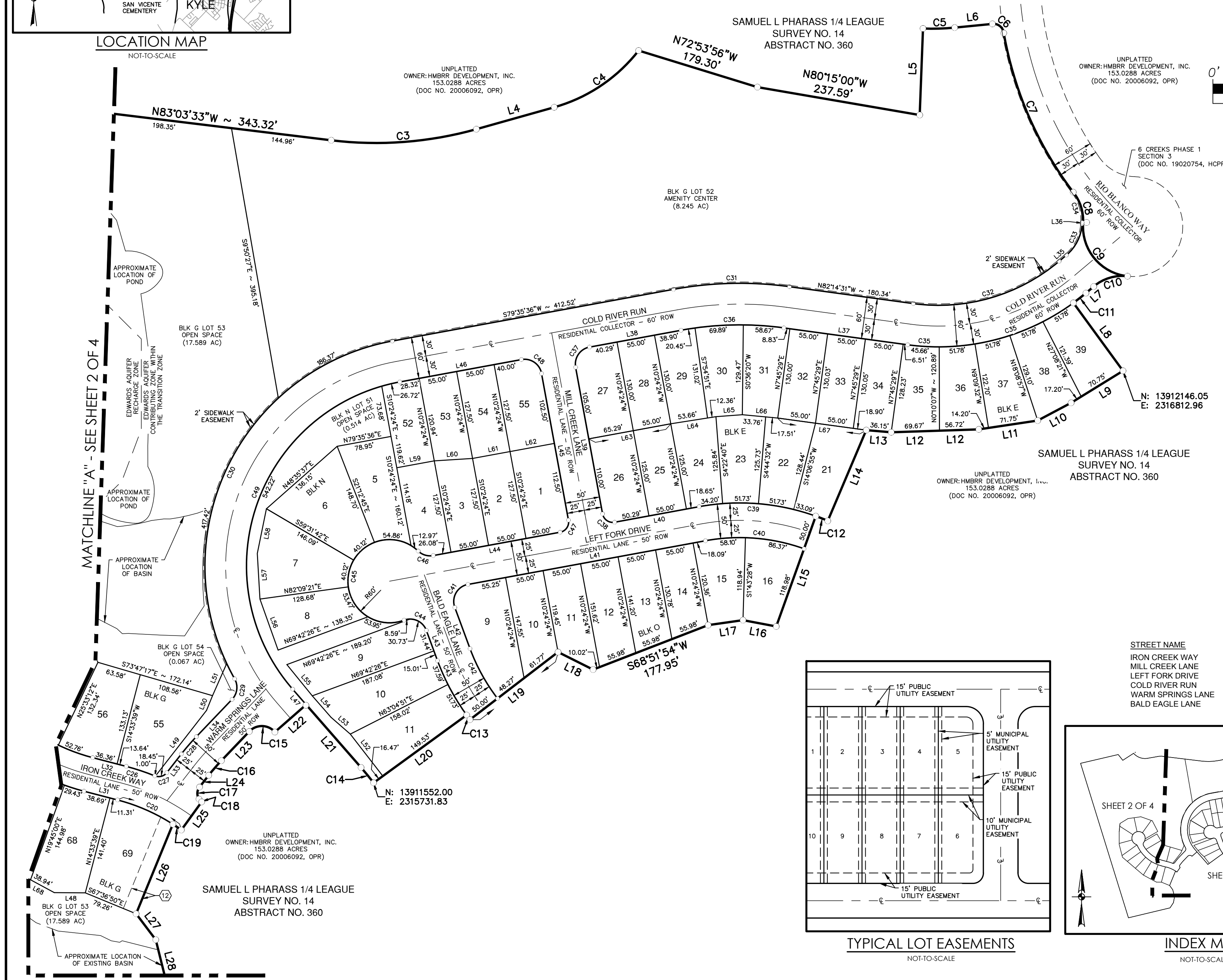
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A FIVE (5) FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ALONG ALL SIDE LOTS WITHIN THE SINGLE FAMILY LOT.
A TEN (10) FOOT MUNICIPAL UTILITY EASEMENT IS HEREBY DEDICATED ALONG ALL REAR LOT LINES WITHIN THE SINGLE FAMILY LOT.



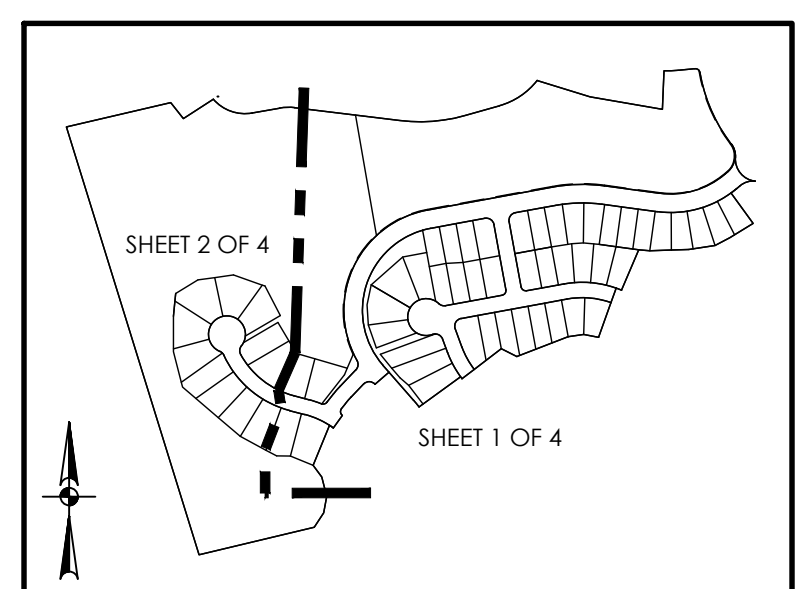
SCALE: 1" = 100'

LEGEND

- AC ACRE(S)
 - BLK BLOCK
 - ESMT EASEMENT
 - ETJ EXTRATERRITORIAL JURISDICTION
 - VOL VOLUME
 - PG PAGE(S)
 - ROW RIGHT-OF-WAY
 - GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
 - DOC NO. DOCUMENT NUMBER
 - OPR OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
 - HCCR PLAT RECORDS OF HAYS COUNTY, TEXAS
 - HCDR DEED RECORDS OF HAYS COUNTY, TEXAS
 - (SURVEYOR) FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
 - SET 1/2" IRON ROD (PD)
 - SET 1/2" IRON ROD (PD)-ROW
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - ORIGINAL SURVEY/COUNTY LINE
 - CENTERLINE
 - KYLE CITY LIMITS
 - Ⓜ 20' DRAINAGE EASEMENT
- OWNER: HMBRR, DEVELOPMENT, INC.
1011 N. LAMAR
AUSTIN, TEXAS 78703
(512) 481-0303 P
(512) 481-0333 F
- ACREAGE: 42.478 ACRES
SURVEY: SAMUEL PHARASS 1/4 LEAGUE SURVEY NO. 14 ABSTRACT 360
- PROPOSED RESIDENTIAL LOTS: 57
PROPOSED OPEN SPACE LOTS: 4
- DATE: June 29, 2020
- ENGINEER & SURVEYOR:
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TX 78213
(210) 375-9000 P
(210) 375-9010 F



TYPICAL LOT EASEMENTS
NOT-TO-SCALE



INDEX MAP
NOT-TO-SCALE

FINAL PLAT
OF
6 CREEKS-PHASE 1, SECTION 5A

A 42.949 ACRE TRACT OF LAND BEING COMPRISED OF A PORTION OF A
153.0288 ACRE TRACT DESCRIBED IN DOCUMENT NUMBER 20006092 IN THE
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TBPB FIRM REGISTRATION #470 | TBPES FIRM REGISTRATION #10028800

DATE OF PREPARATION: October 20, 2020

FINAL PLAT NOTES:

1. THIS FINAL PLAT IS LOCATED ENTIRELY WITHIN HAYS COUNTY.
2. THIS PLAT FALLS WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE AND THE BOUNDARIES OF THE EDWARDS AQUIFER CONTRIBUTING ZONE WITHIN THE TRANSITION ZONE.
3. THIS PLAT IS LOCATED WITHIN THE BOUNDARY OF THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT.
4. NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED 100-YEAR FLOOD PLAIN AS DELINEATED ON THE FLOOD INSURANCE RATE MAP NO. 48209C0270F, EFFECTIVE DATE OF SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
5. ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE HAYS COUNTY REQUIREMENTS AND APPROVED BY THE HAYS COUNTY TRANSPORTATION DEPARTMENT AND UPON ACCEPTANCE SHALL BE DEDICATED TO THE COUNTY FOR MAINTENANCE.
6. STREETS TO BE ACCESSED WILL BE CONSTRUCTED WITH CURB AND GUTTER.
7. LINEAR FOOTAGE OF STREET IMPROVEMENTS: ±3616 L.F.
8. THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE HAYS COUNTY REQUIREMENTS AS APPLICABLE TO THIS DEVELOPMENT.
9. AREA WITHIN NEW ROAD RIGHT-OF-WAY = 4.722 ACRES.
10. ALL STREETS TO BE PUBLIC, PAVED AND MAINTAINED BY THE COUNTY.
11. NO OBJECT INCLUDING FENCING OR LANDSCAPING WHICH WOULD INTERFERE WITH CONVEYANCE OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN DRAINAGE EASEMENTS.
12. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY AND/OR HOMEOWNERS ASSOCIATIONS.
13. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
14. THIS SUBDIVISION IS WITHIN THE ETJ OF THE CITY OF KYLE, TEXAS.
15. GAS IS PROVIDED BY CENTERPOINT ENERGY. (800) 427-7142
16. ELECTRICITY IS PROVIDED BY PERDENALES ELECTRIC COMPANY. (888) 554-4732
17. THE WASTEWATER TREATMENT PLANT IS OWNED AND OPERATED BY THE CITY OF KYLE, TEXAS.
18. WASTEWATER IS PROVIDED BY THE CITY OF KYLE, TEXAS. (512) 262-3960 (SEE NOTE ABOVE).
19. WATER IS PROVIDED BY THE CITY OF KYLE, TEXAS. (512) 262-3960
20. INTERNET/PHONE IS PROVIDED BY SPECTRUM. (855) 855-4575
21. TRASH IS PROVIDED BY TEXAS DISPOSAL SYSTEMS. (800) 375-8375
22. THE REQUIREMENT CONCERNING CONSTRUCTION STANDARDS FOR MAILBOXES INSTALLED WITHIN THE RIGHT-OF-WAY OF STREETS AND HIGHWAYS AND REQUIRING ALL SUCH MAILBOXES TO BE MADE OF COLLAPSIBLE MATERIALS, AS DEFINED IN THE ORDINANCE. COMMUNITY MAILBOXES SHALL HAVE A SEPARATE LIGHT/STREET LIGHT TO ILLUMINATE THE MAILBOX AREA.
23. FOR THE TWO (2), FIVE (5), TEN (10), TWENTY-FIVE (25), AND ONE HUNDRED (100) YEAR, TWENTY-FOUR (24) HOUR STORM EVENTS, POST DEVELOPED CONDITION RUNOFF RATES SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
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27. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED TO ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE COUNTY ROADWAY RIGHT-OF-WAY HAS BEEN ISSUED UNDER CHAPTER 751, AND, (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENT SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
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FINAL PLAT
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6 CREEKS-PHASE 1, SECTION 5A

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DATE OF PREPARATION: October 20, 2020

THE STATE OF TEXAS §
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS, THAT HMBRR DEVELOPMENT, INC., A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF TEXAS, WITH ITS HOME ADDRESS AT 1011 N. LAMAR, AUSTIN, TEXAS, AS CONVEYED TO IT BY DEED DATED FEBRUARY 14, 2020, RECORDED IN DOCUMENT 20006092, OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 42.949 ACRES OF LAND OUT OF THE SAMUEL PHARASS 1/4 LEAGUE SURVEY NO. 14, ABSTRACT 360, TO BE KNOWN AS:

6 CREEKS-PHASE 1, SECTION 5A

IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

HMBRR DEVELOPMENT, INC.
BY: BLAKE MAGEE
PRESIDENT
1011 N. LAMAR
AUSTIN, TEXAS 78703

THE STATE OF TEXAS §
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND HE/SHE ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF _____, A.D. 20____.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY'S NAME _____
MY COMMISSION EXPIRES _____

THE STATE OF TEXAS §
COUNTY OF HAYS §

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY, THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN THEREON.

DAVID CASANOVA _____ DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4251
STATE OF TEXAS
PAPE-DAWSON ENGINEERS, INC.
TBPE, FIRM REGISTRATION NO. 470
TBPLS, FIRM REGISTRATION NO. 10028800
2000 NW LOOP 410
SAN ANTONIO, TX 78213

THE STATE OF TEXAS §
COUNTY OF HAYS §

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

REBECCA ANN CARROLL _____ DATE _____
REGISTERED PROFESSIONAL ENGINEER NO. 92666
PAPE-DAWSON ENGINEERS, INC.
TBPE, FIRM REGISTRATION NO. 470
TBPLS, FIRM REGISTRATION NO. 10028800
2000 NW LOOP 410
SAN ANTONIO, TX 78213

THE STATE OF TEXAS §
COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS, THAT CLARE L. BRANSON, CONSTRUCTION LENDING OFFICER, OF AMERICAN BANK, N.A., THE LIEN HOLDER OF THE TRACTS OF LAND SHOWN HEREON AND DESCRIBED IN RECORDED DOCUMENT NUMBER 17034176 AND RECORDED DOCUMENT NUMBER 17034173, BOTH OUT OF THE OFFICIAL PUBLIC RECORDS, HAYS COUNTY TEXAS, DOES HEREBY CONSENT TO THE SUBDIVISION OF SAID TRACTS OF LAND AS SHOWN HEREON, DOES FURTHER HEREBY JOIN, APPROVE, AND CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND TO THE DEDICATION TO THE PUBLIC THE USE OF THE STREETS, PUBLIC TRAILS, AND EASEMENTS SHOWN HEREON.

TO CERTIFY WHICH, WITNESS BY MY HAND THIS _____ DAY OF _____, A.D. 20_____.

CLARE L. BRANSON
AMERICAN BANK, N.A.
CONSTRUCTION LENDING OFFICER
3520 BEE CAVES ROAD, SUITE 200
AUSTIN, TX 78746

THE STATE OF TEXAS §
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED CLARE L. BRANSON, CHIEF ACCOUNTING OFFICER, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 20_____.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY'S NAME _____

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAINWATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WATERWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

TOM POPE, R.S., C.F.M.
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

CAITLYN STRICKLAND
DIRECTOR, HAYS COUNTY DEVELOPMENT SERVICES

REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

REVIEWED BY:

CITY ENGINEER

I, THE UNDERSIGNED, DIRECTOR OF HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF KYLE FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF KYLE.

CAITLYN STRICKLAND
DIRECTOR, HAYS COUNTY DEVELOPMENT SERVICES

THE STATE OF TEXAS §
COUNTY OF HAYS §

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK _____ M. AND DULY RECORDED ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK _____ M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS IN CFN # _____.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK OF SAID COUNTY THE _____ DAY OF _____, 20____, A.D.

ELAINE H. CARDENAS, COUNTY CLERK
HAYS COUNTY, TEXAS

THE STATE OF TEXAS §
COUNTY OF HAYS §

THIS PLAT HAS BEEN SUBMITTED AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE, TEXAS, AND IS HEREBY APPROVED BY SUCH PLANNING AND ZONING COMMISSION.

DATED THIS _____ DAY OF _____, 20_____.

MICHELLE CHRISTIE MADAM CHAIR



CITY OF KYLE, TEXAS

6 Creeks Phase 1, Section 8A - Preliminary Plan (SUB-20-0130)

Meeting Date: 1/12/2021
Date time: 6:30 PM

Subject/Recommendation: 6 Creeks Phase 1, Section 8A - Preliminary Plan (SUB-20-0130) 26.03 acres; 94 residential lots for property located west of N. Old Stagecoach Road within 6 Creeks Subdivision.

Staff Proposal to P&Z: Approve the Preliminary Plan.

Other Information: See attachments.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- Preliminary Plan
- Hays County 1445 Approval Letter

6 CREEKS-PHASE 1, SECTION 8A

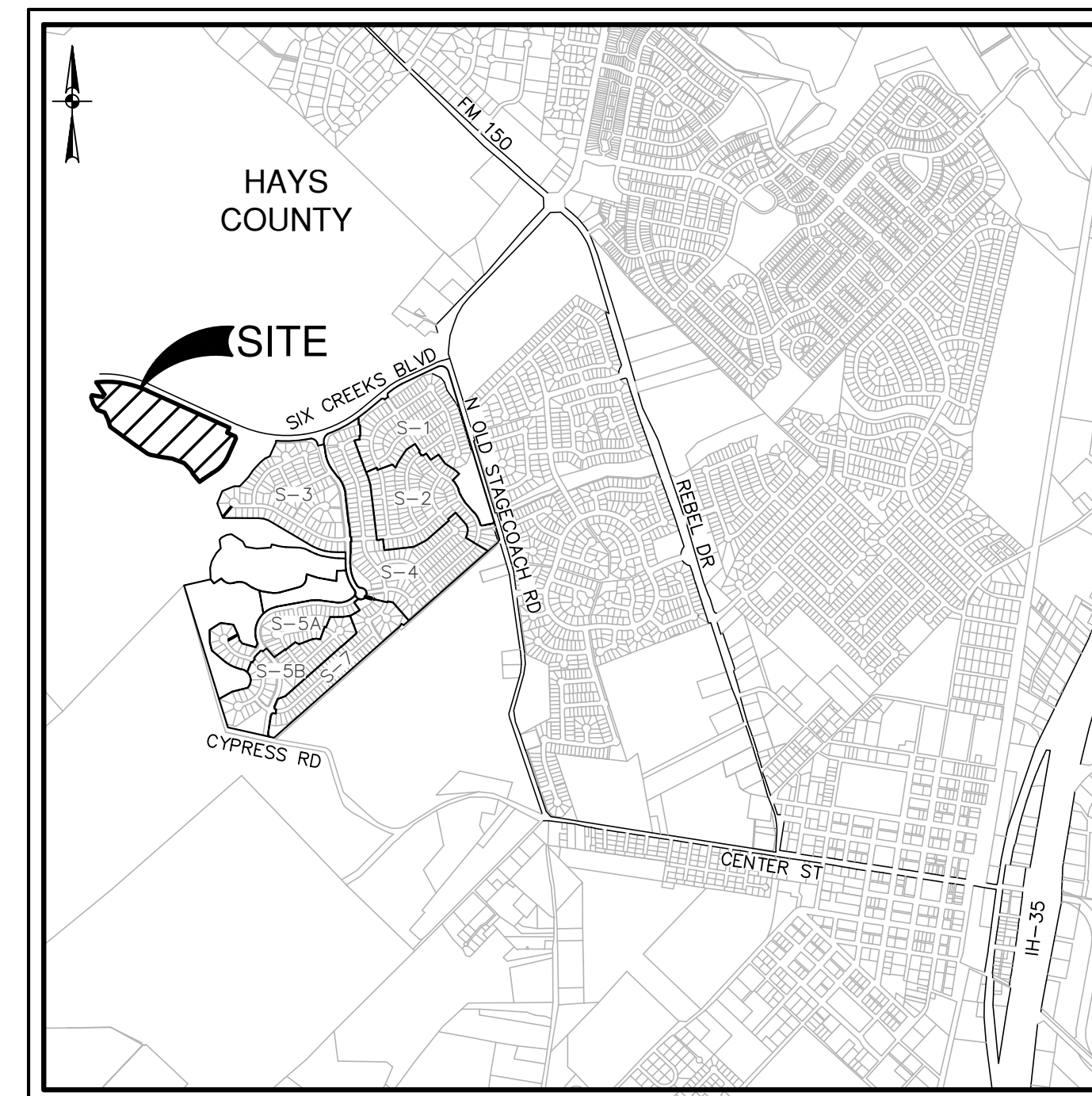
HAYS COUNTY, TEXAS

PRELIMINARY PLANS

LOT SUMMARY						
SECTION	50' SINGLE FAMILY LOTS	55' SINGLE FAMILY LOTS	60' SINGLE FAMILY LOTS	70'+ SINGLE FAMILY LOTS	GARDEN HOMES	TOTAL
1	73		37			110**
2	90		31			121**
3		52		51		103**
4	59		89			148**
5A		42		15		57**
5B		33		22		55**
6A					82	82**
7		73				73**
8A		65		29		94**
8B		62		27		89
9			109			109
10				66		66
11					64	64
12	79					79
13	106					106
14			177			177
15			81			81
16	118					118
17				56		56
18		92				92
19			64			64
20				75		75
21				58		58
TOTAL	525	419	598	399	146	2077
% TOTAL	25.3%	20.2%	28.3%	19.2%	7.0%	
MAX ALLOWED*	26%	22%	29%	N/A	7%	

*PER BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA DE-ANNEXATION AND DEVELOPMENT AGREEMENT)

** LOT COUNT BASED ON A PLAT AND/OR PRELIMINARY PLAN SUBMITTED TO THE CITY OF KYLE. ALL OTHER LOT COUNTS ARE PROPOSED AND SUBJECT TO CHANGE. TOTAL LOT COUNT NOT TO EXCEED 2100 PER DEVELOPMENT AGREEMENT. LOT COUNT DOES NOT INCLUDE OPEN SPACE LOTS.



LOCATION MAP
NOT-TO-SCALE

PREPARED FOR:

HMBRR DEVELOPMENT, INC.
1011 N LAMAR
AUSTIN, TEXAS 78703

JANUARY 2021

1/5/2021

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800



SHEET INDEX

Sheet Description	Sheet No.
COVER SHEET	C0.00
SITE PLAN	C1.00
LOT SUMMARY	C1.01
OVERALL STORM WATER PLAN	C2.00
EXISTING DRAINAGE CONDITIONS	C2.01
OVERALL SANITARY SEWER PLAN	C3.00
OVERALL SANITARY SEWER PLAN	C3.01
OVERALL WATER DISTRIBUTION PLAN	C4.00

NOTES:

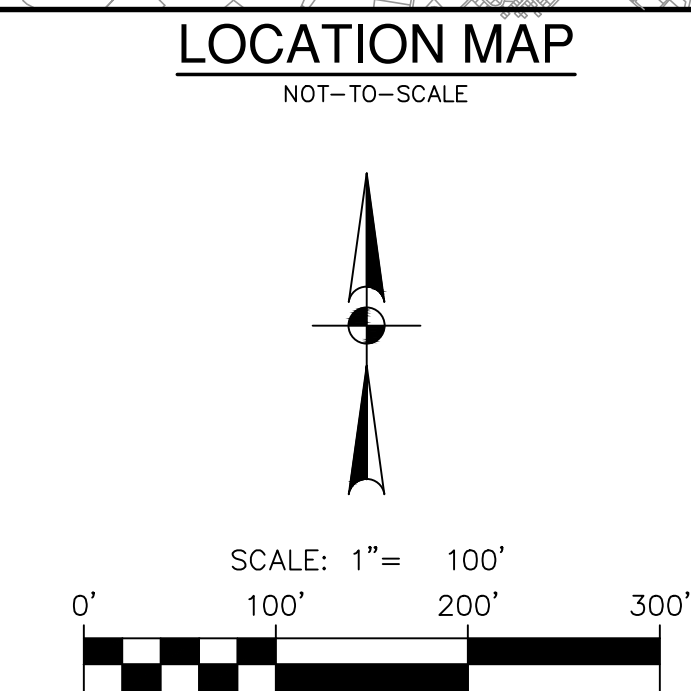
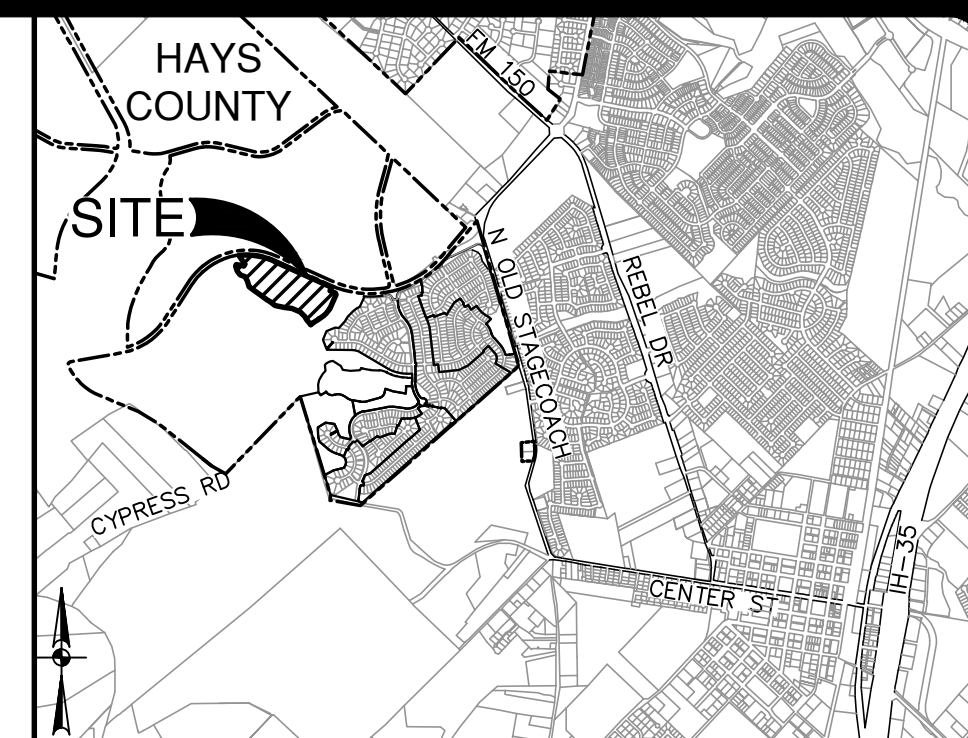
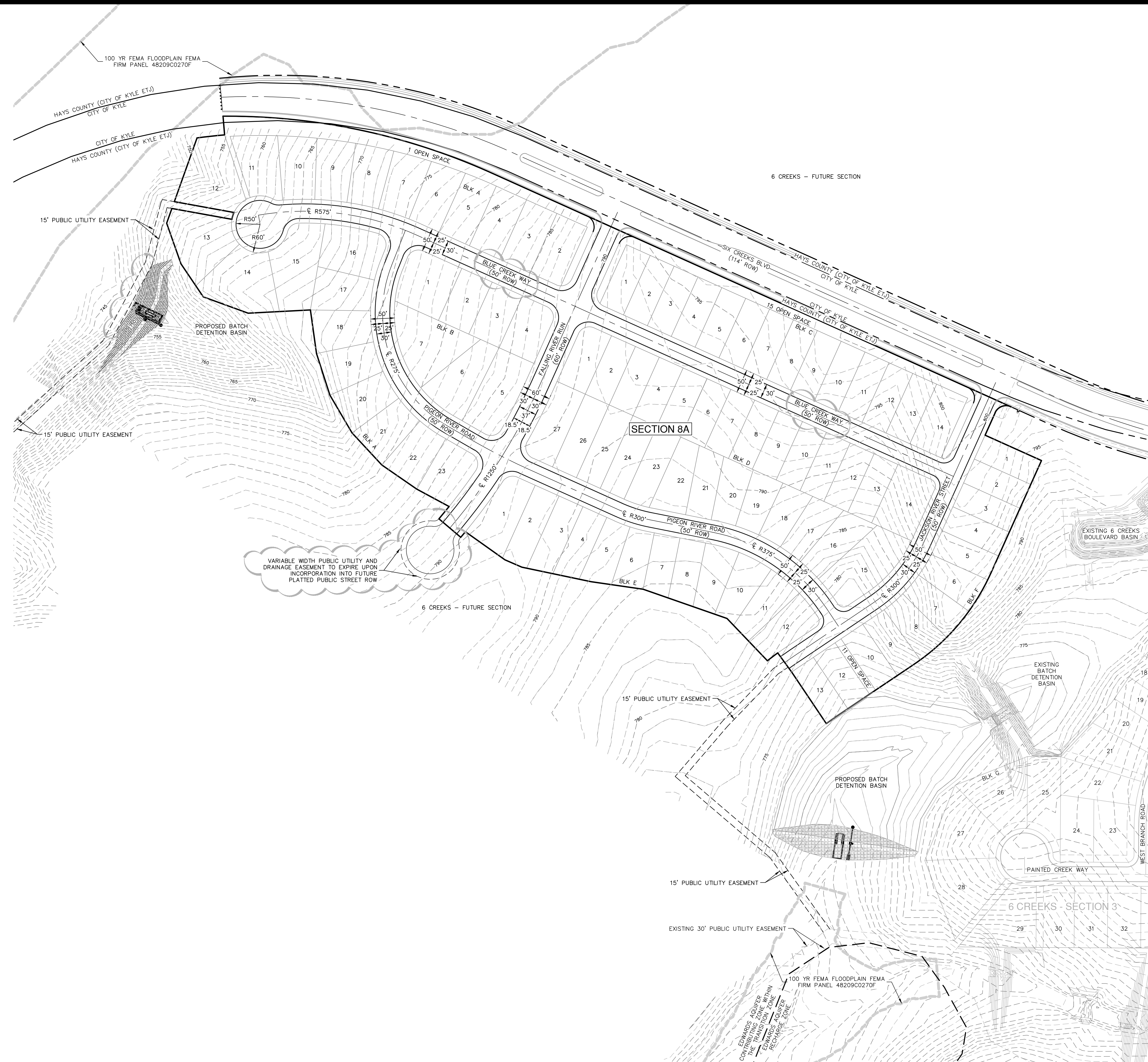
- THIS PRELIMINARY PLAN HAS BEEN DEVELOPED TO COMPLY WITH THE REQUIREMENTS OF THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF KYLE AND HMBRR DEVELOPMENT, INC. APPROVED BY THE CITY OF KYLE CITY COUNCIL ON MAY 31, 2017.
- THE LIMITS OF THIS PROJECT ARE IN ZONE X OF THE FEMA FLOODPLAIN MAP NO. 48209C0270F DATED SEPTEMBER 2, 2005.
- THIS SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE WITHIN THE TRANSITION ZONE.
- THIS SITE IS LOCATED WITHIN HAYS COUNTY ESD #5 AND #9 AND LOCATED WITHIN THE BOUNDARY OF THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT
- WATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.
- ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.
- UTILITY EASEMENTS SHALL BE IN ACCORDANCE WITH CITY CODE, SECTION 41-141 IN PLACE AS OF THE VESTING DATE OF MAY 16, 2017 OF THE BLANCO RIVER RANCH DE-ANNEXATION AND DEVELOPMENT AGREEMENT. A FIFTEEN (15) FOOT PUBLIC UTILITY EASEMENT IS DEDICATED BY PLAT ADJACENT TO ALL STREET RIGHT OF WAY, EXCEPT ADJACENT TO CORNER LOTS WHERE EASEMENT ADJACENT TO SIDE LOT IS 10'. A FIVE (5) FOOT MUNICIPAL UTILITY EASEMENT IS DEDICATED BY PLAT AT EACH SIDE LOT LINE, AND A TEN (10) FOOT REAR MUNICIPAL UTILITY EASEMENT IS DEDICATED BY PLAT AT THE REAR LOT LINE OF EACH LOT.
- BUILDING SETBACKS SHALL COMPLY WITH EXHIBIT "D" OF THE BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA) DE-ANNEXATION AND DEVELOPMENT AGREEMENT.
- NO OBSTRUCTIONS ARE TO BE PLACED WITHIN DRAINAGE EASEMENTS.
- THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
- THE MAINTENANCE OF SIDEWALKS WITHIN THIS PRELIMINARY PLAN (6 CREEKS-PHASE 1, SECTION 8A) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS OR HOMEOWNERS ASSOCIATION OR THEIR SUCCESSORS AND NOT THE RESPONSIBILITY OF THE CITY OF KYLE OR HAYS COUNTY.
- HAYS COUNTY APPROVED MOISTURE BARRIERS TO BE USED ON CURBED MEDIAN ISLANDS. SEE CONSTRUCTION DOCUMENTS FOR DETAILS. CONSTRUCTION ENTRANCES TO BE ADDED AT ALL ACCESS POINTS. SEE CONSTRUCTION DOCUMENTS FOR DETAIL.
- THE LOTS SHOWN HAVE ADEQUATE FRONTAGE TO ALLOW FOR COMPLIANCE WITH DRIVEWAY SPACING REQUIREMENTS.
- SECTION 8A WILL SEEK PUBLIC DEDICATION OF ALL ROADWAYS.
- ALL ROADWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HAYS COUNTY STANDARDS.
- POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST.

OWNERS:	HMBRR DEVELOPMENT, INC. 1011 N LAMAR AUSTIN, TX 78703 PHONE: (512) 481-0303 FAX: (512) 481-0333
ACREAGE:	26.03 AC
SURVEY:	SAMUEL PHARASS 1/4 LEAGUE SURVEY NO. 14, ABSTRACT NO. 360
NUMBER OF LOTS AND PROPOSED LAND USE:	94 SINGLE FAMILY LOTS
DATE:	MARCH 2020
SURVEYOR:	PAPE-DAWSON ENGINEERS, INC. PHONE (210) 375-9000 FAX: (210) 375-9010
ENGINEER:	PAPE-DAWSON ENGINEERS, INC. PHONE: (210) 375-9000 FAX: (210) 375-9010

APPROVED BY:

CITY OF KYLE-CITY ENGINEER _____ DATE _____

CITY OF KYLE-DIRECTOR OF PUBLIC WORKS _____ DATE _____



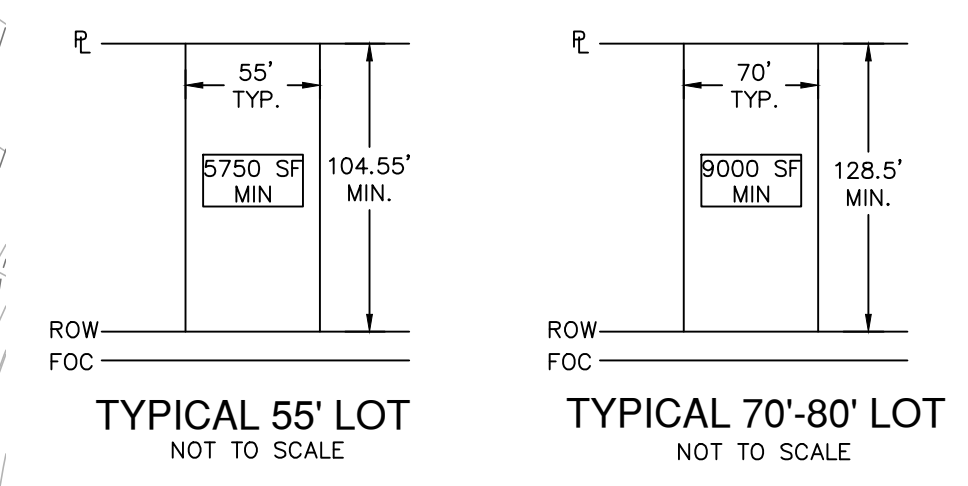
LEGEND:

- SECTION BOUNDARY
- EXISTING CONTOUR
- STREET CENTER LINE
- PROPOSED CURB

LAND USE SUMMARY	
	SECTION 8A
RESIDENTIAL LOT ACREAGE	19.62
OPEN SPACE ACREAGE	1.11
ROW ACREAGE	5.28
TOTAL ACREAGE	26.02

NOTE: 6 CREEKS, SECTIONS 8A CONSISTS OF 94 SINGLE FAMILY LOTS AND 3 OPEN SPACE LOTS. THE AVERAGE LOT SIZE CAN BE FOUND IN THE TYPICAL LOT DETAILS BELOW.

LOT SIZES ARE AS FOLLOWS:
 <1 AC 94 LOTS
 1-2 AC
 2-5 AC
 5-10 AC
 >10 AC



LIST OF ROADWAYS			
	DEVELOPMENT AGREEMENT CLASSIFICATION	TOTAL LENGTH (FT)	ROW WIDTH (FT)
FALLING RIVER RUN	RESIDENTIAL COLLECTOR	715	60
JACKSON RIVER STREET	RESIDENTIAL LANE	722	50
BLUE CREEK WAY	RESIDENTIAL LANE	1,597	50
PIGEON RIVER ROAD	RESIDENTIAL LANE	1,413	50

NO.	REVISION	DATE
1	STREET NAME & EASEMENTS	08/05/20



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TEPF FIRM REGISTRATION #0701 | TEPFUS FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 SITE PLAN

PLAT NO.	8141-16
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C1.00

Date: Aug 05 09:50, 1:52pm User: ID: bhobby File: P:\311\1610\Design\Civil\PRJ-SP81416.dwg

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Item # 4

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SECTION 8A

* LOT WIDTHS ARE MEASURED AT THE FRONT BUILDING LINE PER THE BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA) DE-ANNEXATION AND DEVELOPMENT AGREEMENT. (REFERENCE EXHIBIT D, NUMBER 18)

LOT SUMMARY			
LOT	BLK	LOT WIDTH	LOT AREA
1	A	N/A	25804 SF
2	A	70.00'	9627 SF
3	A	70.00'	9627 SF
4	A	70.00'	9627 SF
5	A	70.00'	9583 SF
6	A	70.01'	9595 SF
7	A	70.02'	9545 SF
8	A	70.02'	9369 SF
9	A	70.02'	9491 SF
10	A	70.02'	9916 SF
11	A	72.66'	11382 SF
12	A	71.73'	16302 SF
13	A	81.39'	15341 SF
14	A	93.27'	16928 SF
15	A	111.98'	16482 SF
16	A	96.66'	12287 SF
17	A	70.06'	9689 SF
18	A	70.06'	1689 SF
19	A	70.06'	9497 SF
20	A	70.06'	9497 SF
21	A	70.06'	9497 SF
22	A	70.05'	9367 SF
23	A	87.59'	10066 SF
1	B	113.09'	13083 SF
2	B	70.00'	8400 SF
3	B	70.00'	8400 SF
4	B	79.49'	9466 SF
5	B	80.81'	14280 SF
6	B	103.30	12910 SF
7	B	156.60'	16591 SF
1	C	55.00'	7548 SF
2	C	55.00'	7555 SF
3	C	55.00'	7555 SF
4	C	55.00'	7555 SF
5	C	55.00'	7555 SF
6	C	55.00'	7555 SF
7	C	55.00'	7555 SF
8	C	55.00'	7555 SF
9	C	55.00'	7555 SF
10	C	55.00'	7555 SF
11	C	55.00'	7555 SF
12	C	55.00'	7555 SF
13	C	55.00'	7555 SF
14	C	71.76'	9858 SF
15	C	N/A	20787 SF
1	D	64.49'	8613 SF
2	D	55.00'	7401 SF
3	D	55.00'	7401 SF
4	D	55.00'	7401 SF
5	D	55.00'	7401 SF
6	D	55.00'	7401 SF
7	D	55.00'	7401 SF
8	D	55.00'	7401 SF
9	D	55.00'	7401 SF
10	D	55.00'	7401 SF
11	D	55.00'	7401 SF
12	D	55.00'	7401 SF
13	D	55.00'	7401 SF
14	D	91.76'	12300 SF
15	D	84.48'	16386 SF
16	D	55.02'	9545 SF
17	D	55.02'	8102 SF
18	D	55.02'	7397 SF
19	D	55.02'	7325 SF
20	D	55.03'	7732 SF
21	D	55.00'	7831 SF
22	D	73.56'	9288 SF
23	D	55.00'	9134 SF
24	D	55.00'	9235 SF
25	D	55.00'	9235 SF
26	D	55.00'	9235 SF
27	D	69.69'	11115 SF
1	E	65.19'	12179 SF
2	E	55.00'	9270 SF
3	E	55.00'	8819 SF
4	E	55.00'	8156 SF
5	E	55.03'	8086 SF
6	E	55.02'	7391 SF
7	E	55.00'	6861 SF
8	E	55.00'	7287 SF
9	E	69.44'	8400 SF
10	E	72.73'	8576 SF
11	E	72.73'	8856 SF
12	E	75.78'	9674 SF
1	F	55.00'	6848 SF
2	F	55.00'	7150 SF
3	F	55.00'	7150 SF
4	F	55.00'	7150 SF
5	F	55.00'	7150 SF
6	F	55.05'	8318 SF
7	F	55.03'	8070 SF
8	F	55.03'	8070 SF
9	F	55.00'	7360 SF
10	F	55.00'	7150 SF
11	F	N/A	1950 SF
12	F	55.00'	7150 SF
13	F	55.00'	7151 SF

NO.	REVISION	DATE
1	LOT WIDTHS AND AREAS	08/03/20

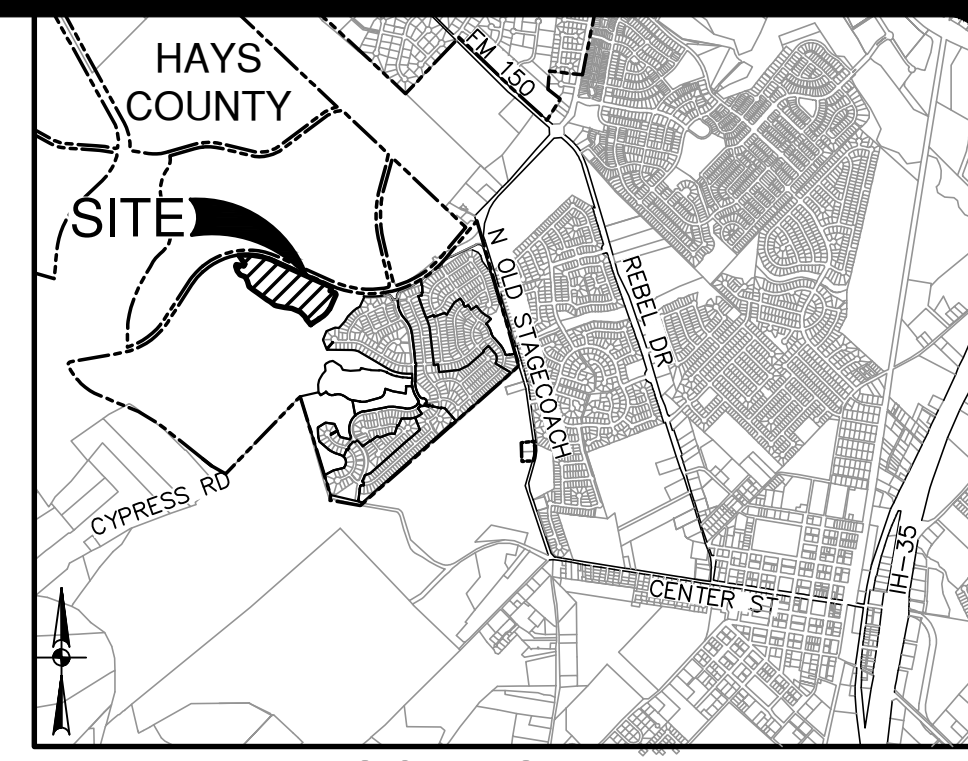
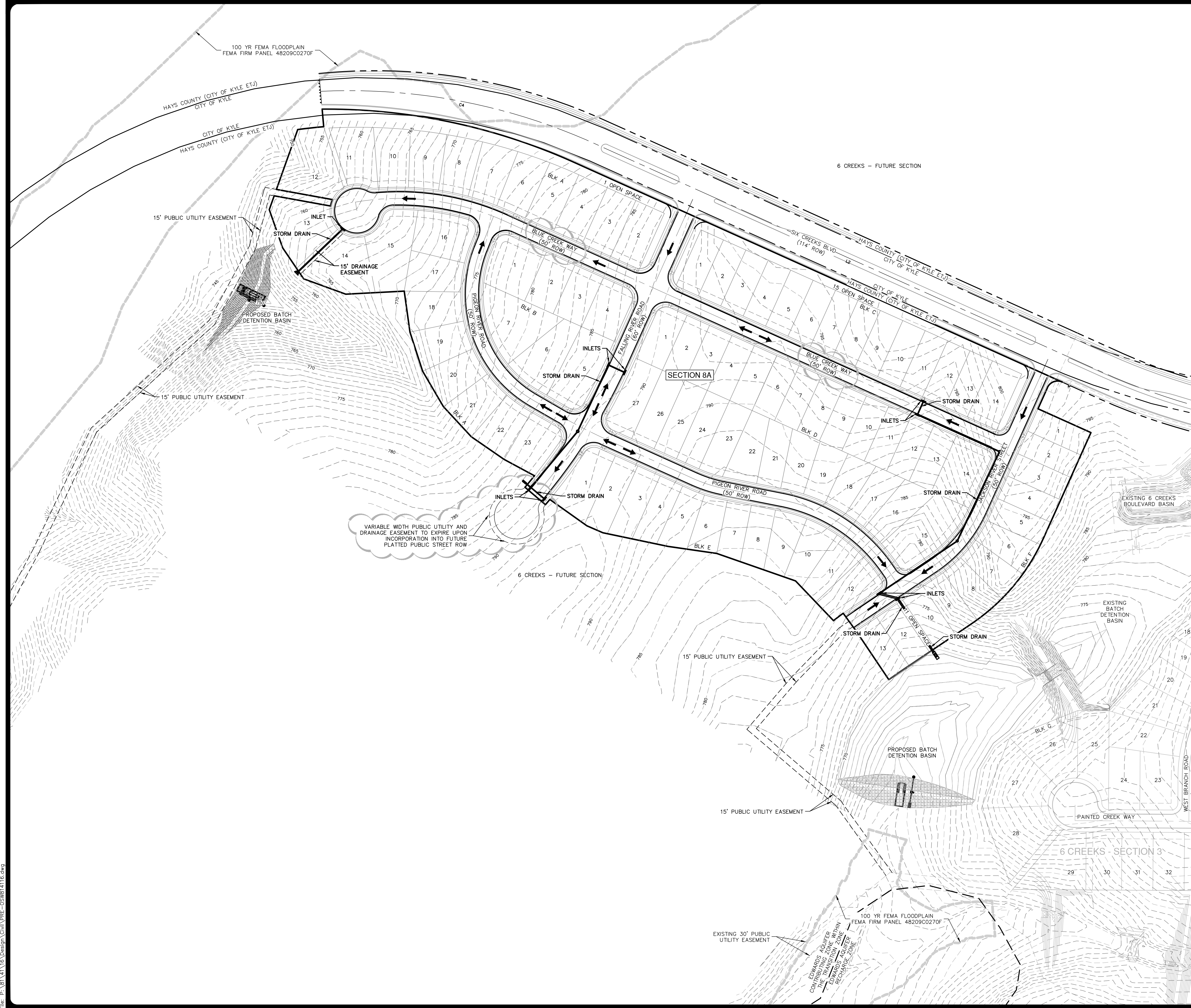


PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TYPE FIRM REGISTRATION #070 | TBPUS FIRM REGISTRATION #10028890

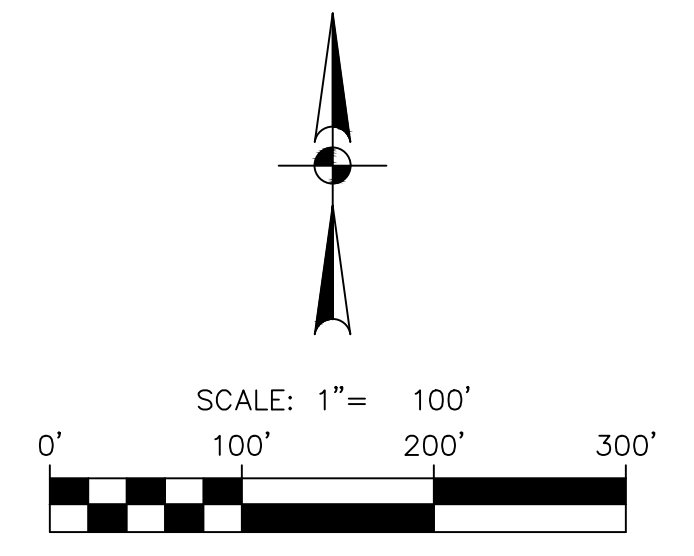
6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 LOT SUMMARY

PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C1.01

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LOCATION MAP
NOT-TO-SCALE



LEGEND:

- SECTION BOUNDARY
- EXISTING CONTOUR
- STREET CENTER LINE
- PROPOSED CURB
- PROPOSED FLOW ARROWS

NO.	REVISION	DATE
1	STREET NAME & EASEMENT	08/05/20



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TPE FIRM REGISTRATION #0791 | TPE FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL STORMWATER PLAN

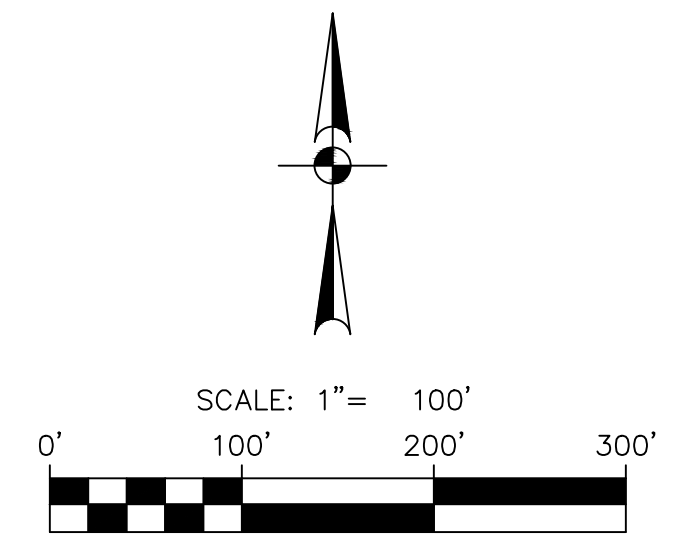
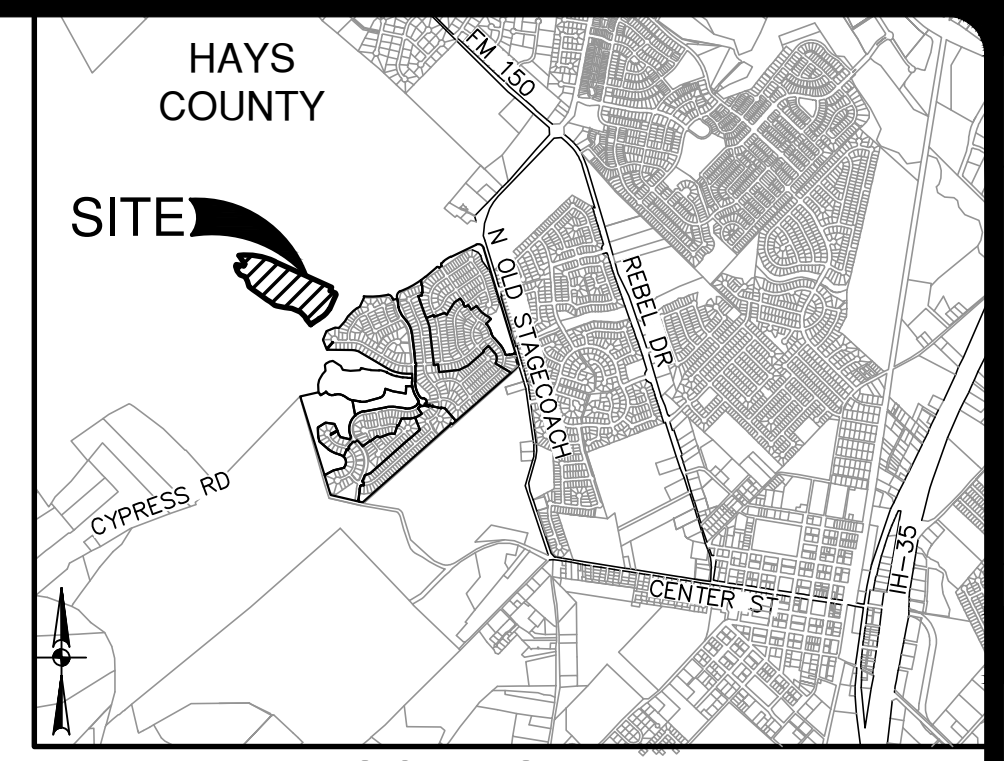
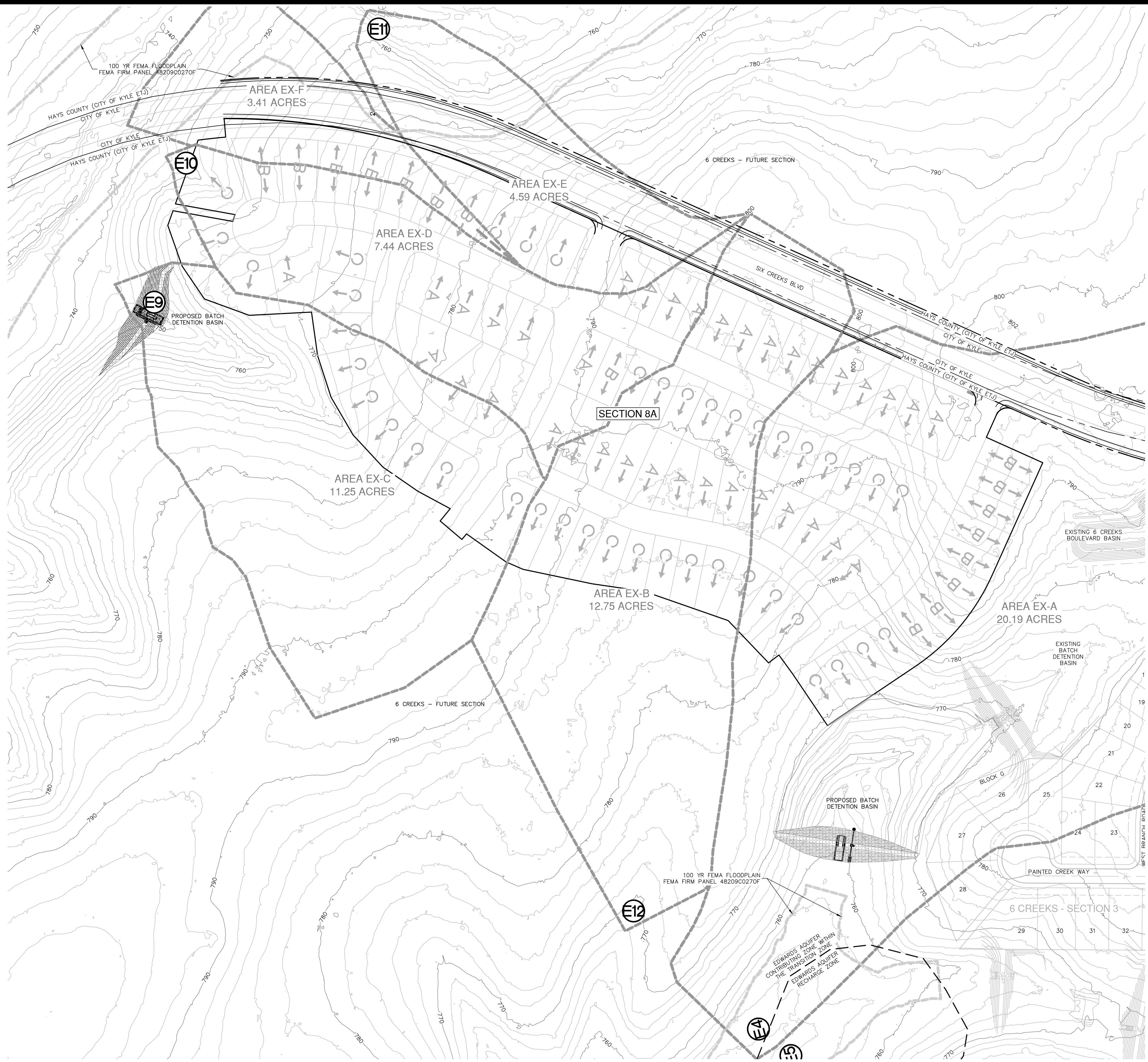
PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C2.00

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Item # 4



- LEGEND:**
- SECTION BOUNDARY
 - EXISTING 10' CONTOUR
 - DRAINAGE AREAS
 - DRAINAGE CALCULATION POINT
 - 100-YEAR FEMA FLOODPLAIN

NO.	REVISION	DATE



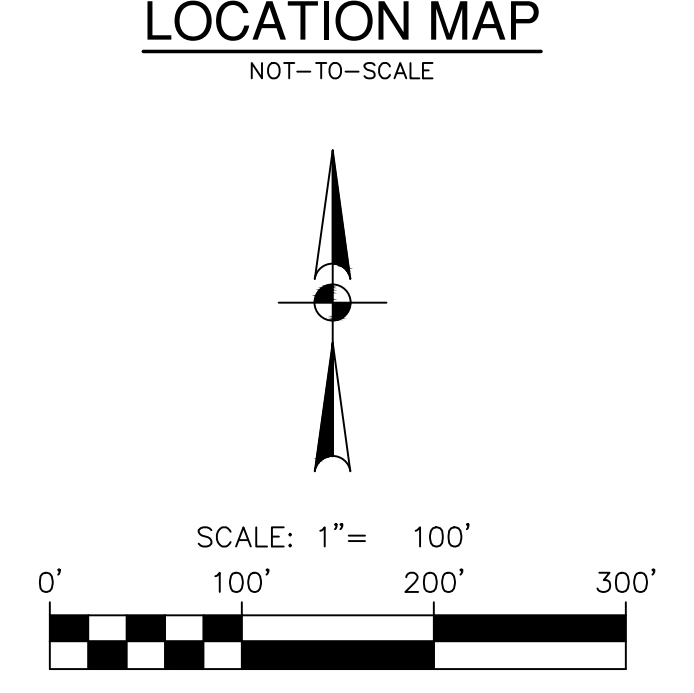
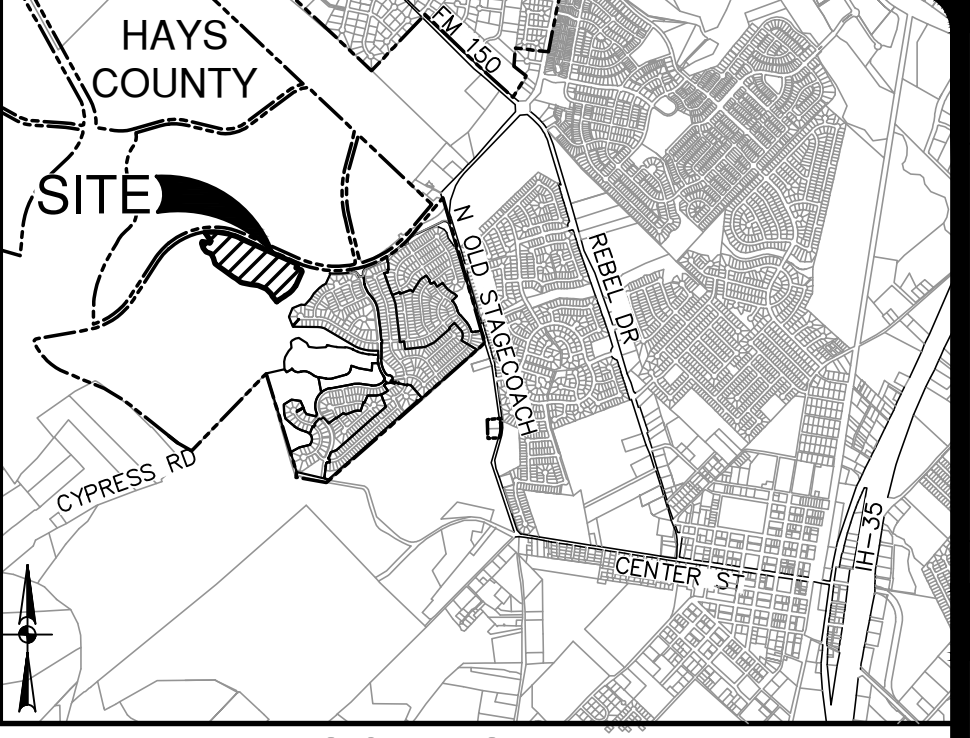
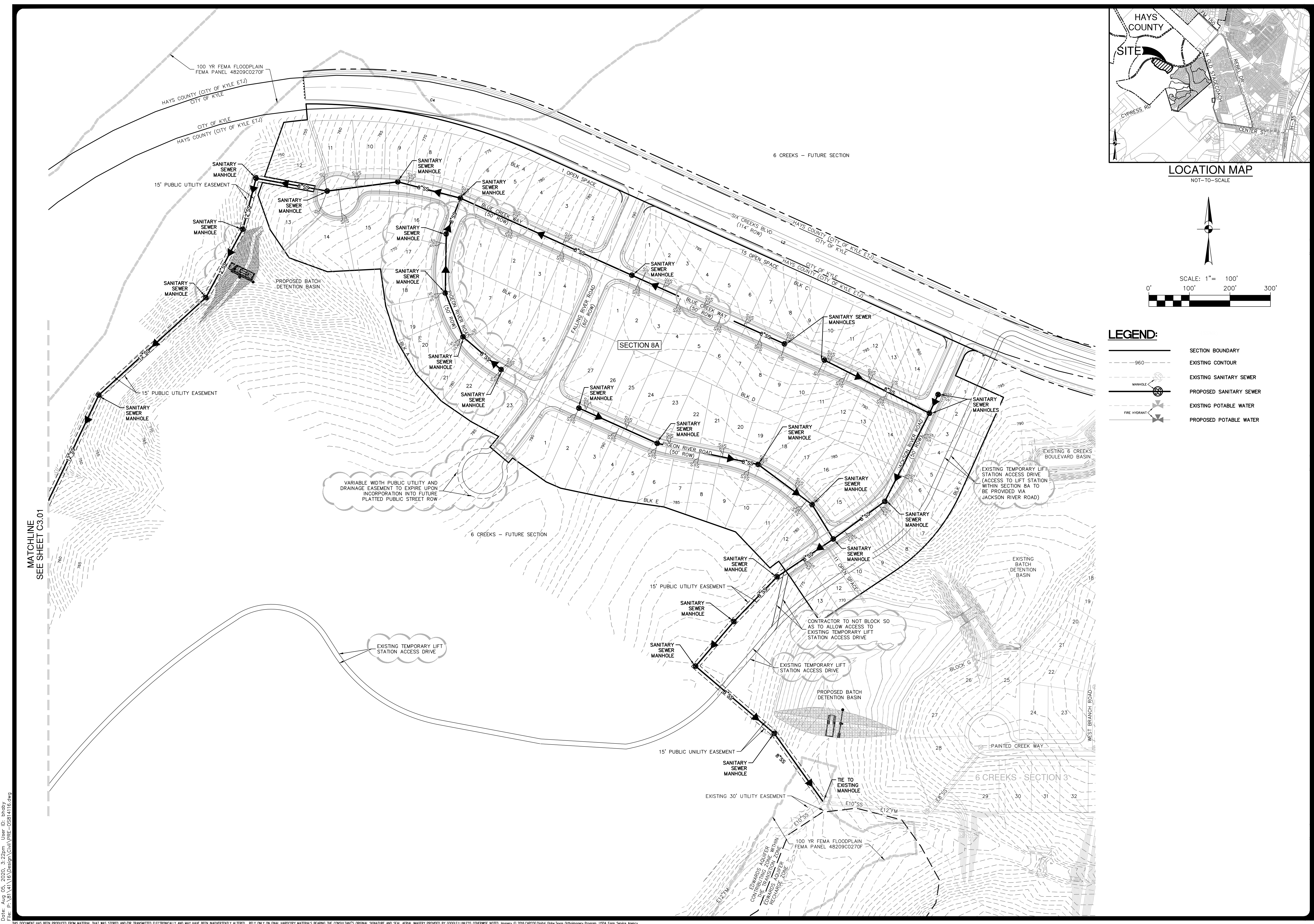
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 TEXAS FIRM REGISTRATION #011008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS

PRELIMINARY PLAN
 EXISTING DRAINAGE CONDITIONS

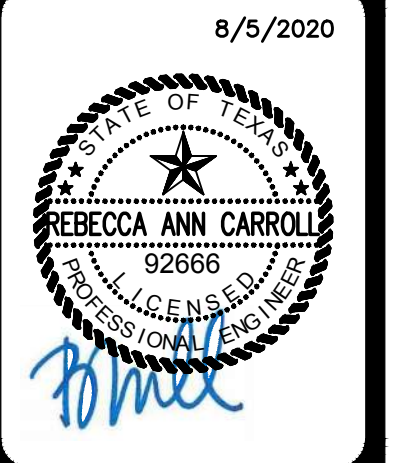
PLAT NO.	8141-16
JOB NO.	8141-16
DATE	MARCH 2020
DESIGNER	JH
CHECKED	DRAWN AC
SHEET	C2.01



LEGEND:

	SECTION BOUNDARY
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING POTABLE WATER
	PROPOSED POTABLE WATER

NO.	REVISION	DATE
1	STREET NAME, ALIGNMENT, LIFT	08/05/20
1	STATION DRIVE, & EASEMENT	



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6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL SANITARY SEWER PLAN

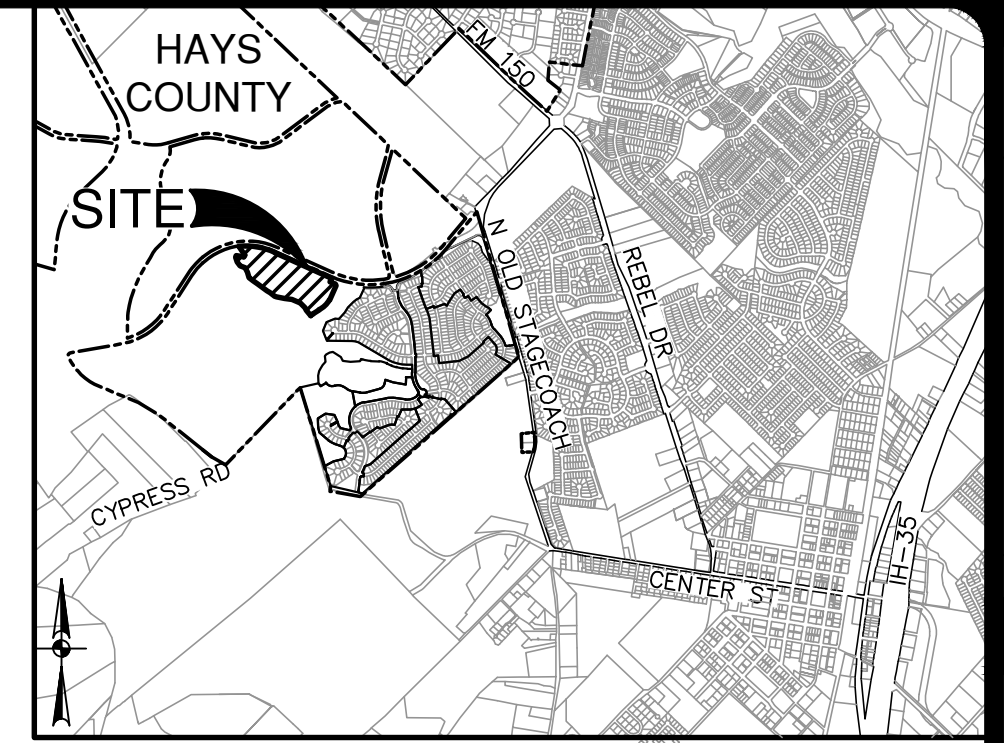
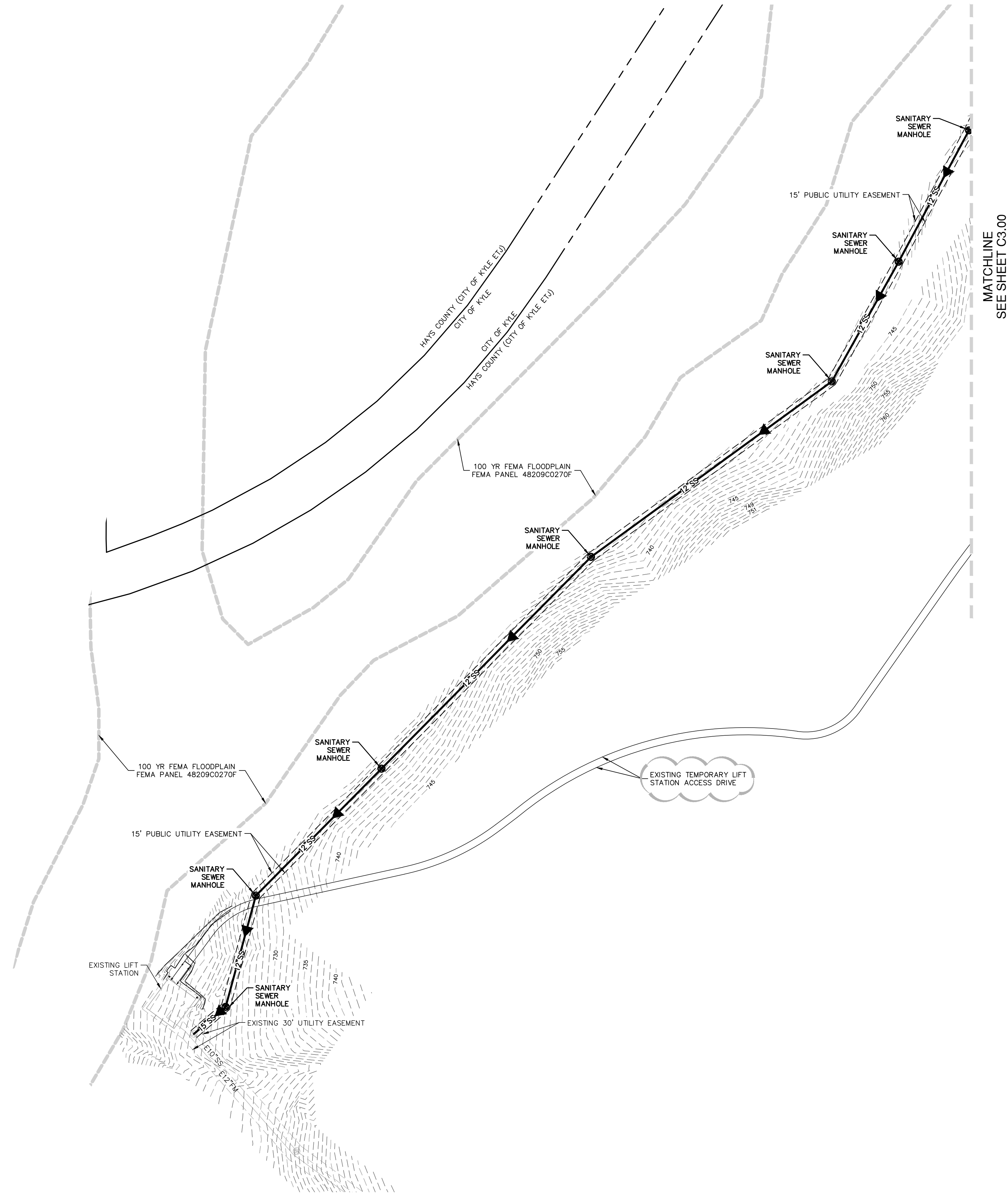
PLAT NO.	8141-16
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C3.00

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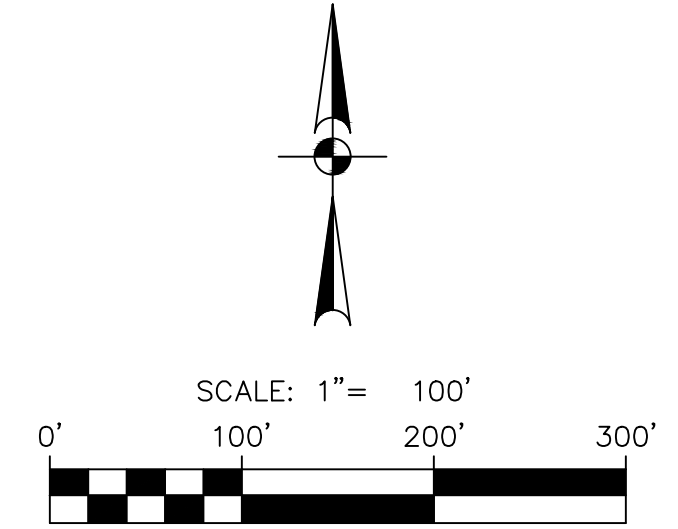
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Item # 4



LOCATION MAP
NOT-TO-SCALE



LEGEND:

- SECTION BOUNDARY
- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING POTABLE WATER
- PROPOSED POTABLE WATER
- MANHOLE
- FIRE HYDRANT

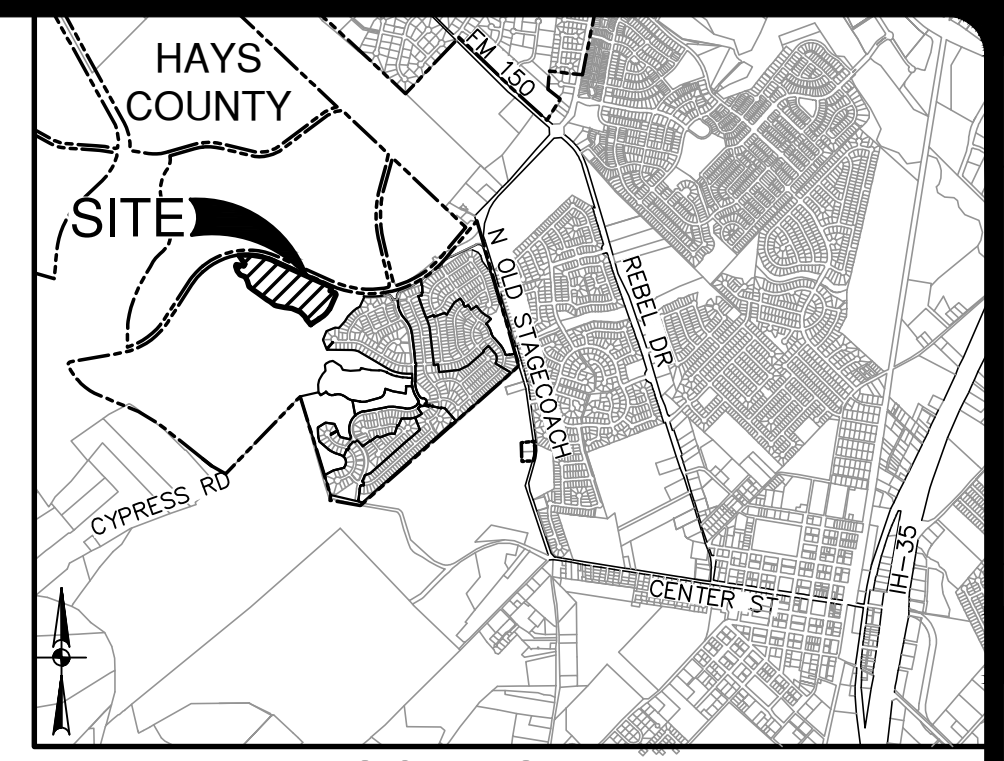
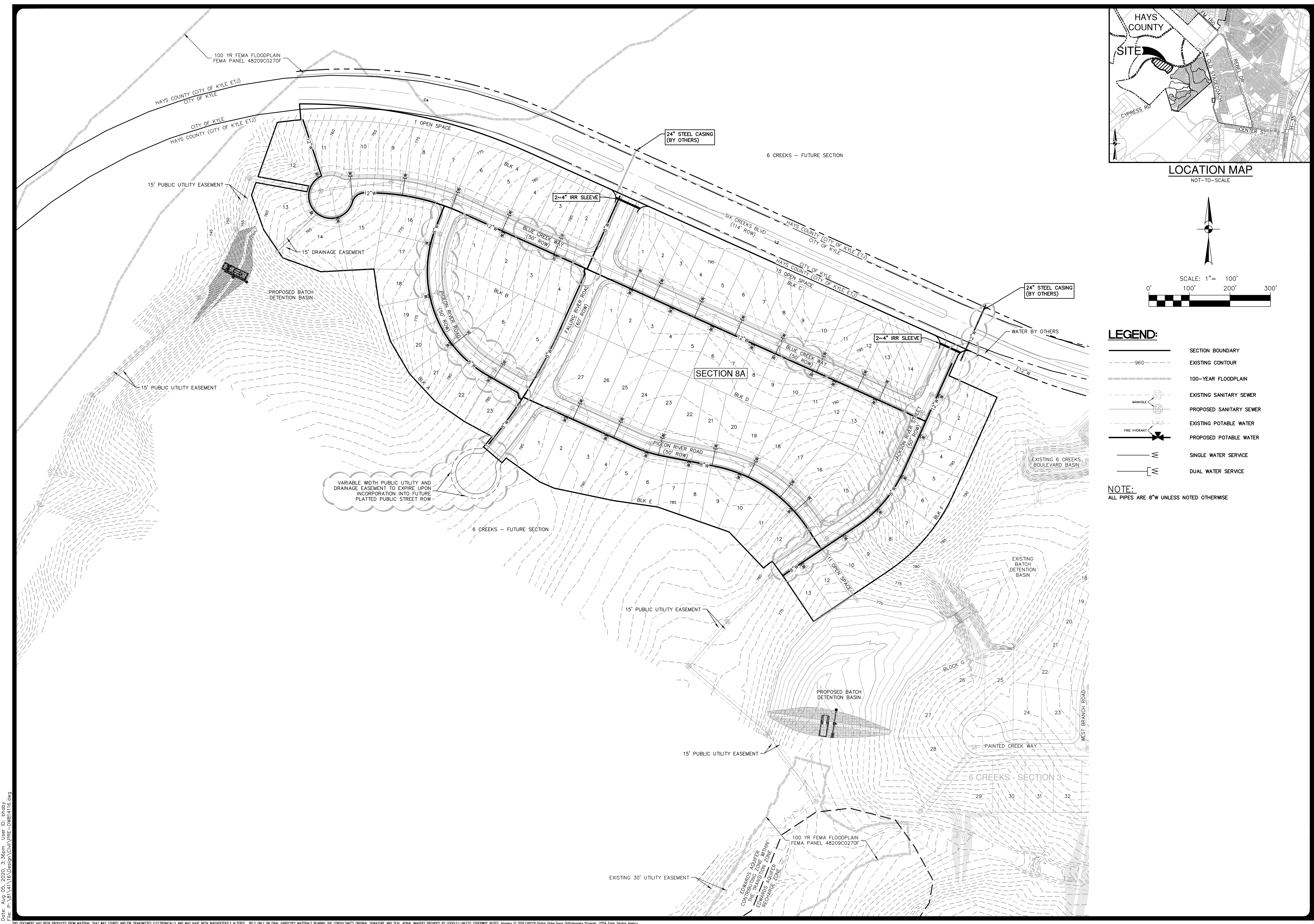
NO.	REVISION	DATE
1	LIFT STATION DRIVE	08/05/20



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 TEPF FIRM REGISTRATION #070 | TEPFUS FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL SANITARY SEWER PLAN

PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C3.01



NO.	REVISION	DATE
1	STREET NAME & WATER LINE	08/05/20



LEGEND:

- SECTION BOUNDARY
- - - - - EXISTING CONTOUR
- - - - - 100-YEAR FLOODPLAIN
- MANHOLE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING POTABLE WATER
- PROPOSED POTABLE WATER
- FIRE HYDRANT
- SINGLE WATER SERVICE
- DUAL WATER SERVICE

NOTE:
ALL PIPES ARE 8"W UNLESS NOTED OTHERWISE

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6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL WATER DISTRIBUTION PLAN

PLAT NO.	8141-16
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C4.00

Date: Aug 05 09:50 3:35pm User: jh_blacky
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 Item # 4



Hays County Development Services
P.O Box 1006 San Marcos TX 78667-1006
2171 Yarrington Road San Marcos TX 78666
512-393-2150 / 512-493-1915 fax

January 7, 2021

Howard Koontz
Director of Planning
City of Kyle

Re: 6 Creeks, Phase One, Section 8A, Preliminary (PLN-1499-NP)

Mr. Koontz,

The Hays County Development Services staff has had an opportunity to review the aforementioned subdivision for compliance with Hays County subdivision and development regulations. Hays County staff has no further review comments at this time.

Pursuant to the Interlocal Cooperation Agreement between Hays County and the City of Kyle for subdivision regulation within the extraterritorial jurisdiction of the City of Kyle, please move forward with approval of the plat as submitted.

If you have any questions please let me know.

Regards,

Caitlyn J. Strickland

Caitlyn Strickland
Director
Hays County Development Services

6 CREEKS-PHASE 1, SECTION 8A

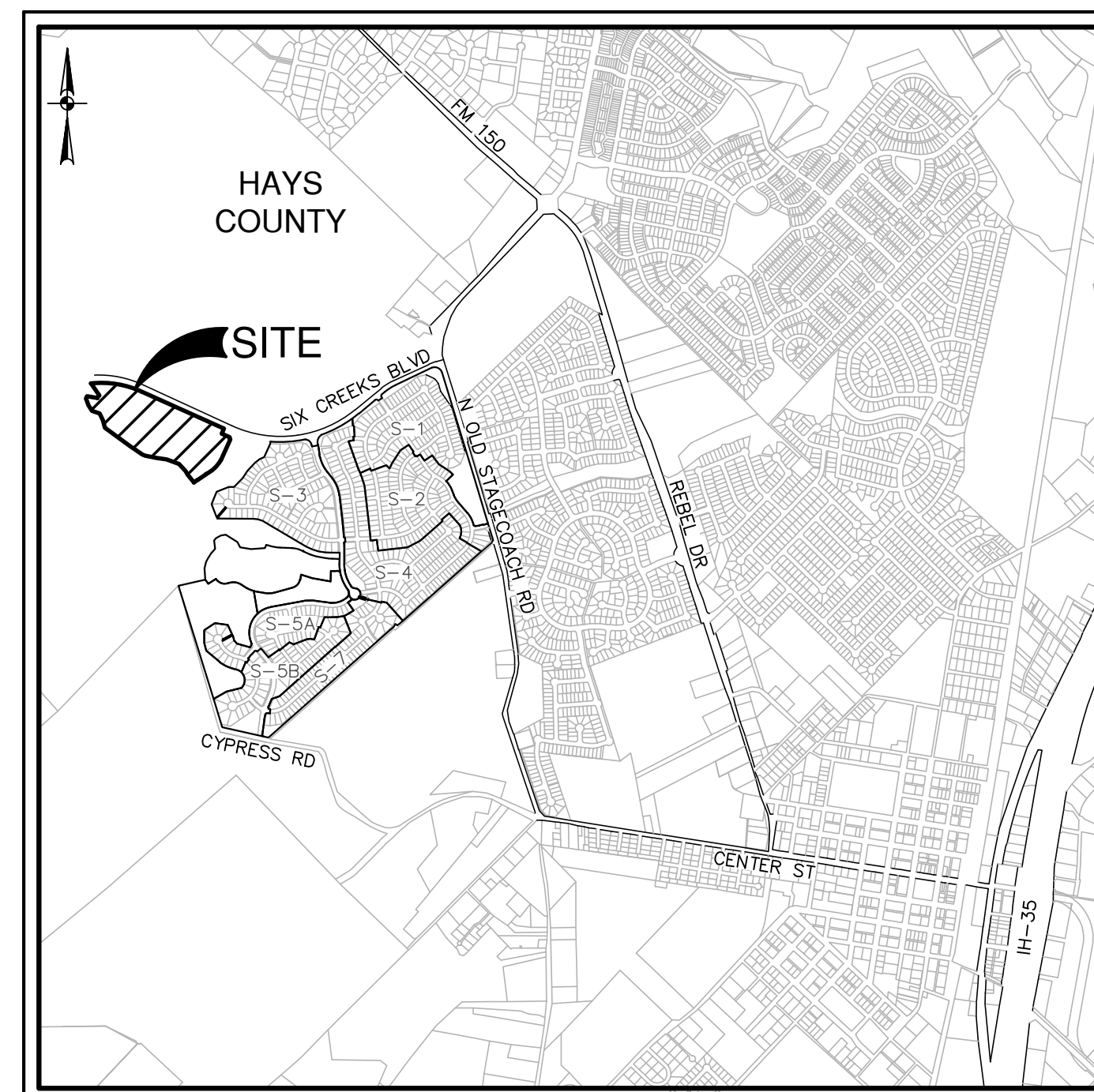
HAYS COUNTY, TEXAS

PRELIMINARY PLANS

LOT SUMMARY						
SECTION	50' SINGLE FAMILY LOTS	55' SINGLE FAMILY LOTS	60' SINGLE FAMILY LOTS	70'+ SINGLE FAMILY LOTS	GARDEN HOMES	TOTAL
1	73		37			110 **
2	90		31			121 **
3		52		51		103 **
4	59		89			148 **
5A		42		15		57 **
5B		33		22		55 **
6A					82	82 **
7		73				73 **
8A		65		29		94 **
8B		62		27		89
9			109			109
10				66		66
11					64	64
12	79					79
13	106					106
14			177			177
15			81			81
16	118					118
17				56		56
18		92				92
19			64			64
20				75		75
21				58		58
TOTAL	525	419	588	399	146	2077
% TOTAL	25.3%	20.2%	28.3%	19.2%	7.0%	
MAX ALLOWED*	26%	22%	29%	N/A	7%	

*PER BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA DE-ANNEXATION AND DEVELOPMENT AGREEMENT)

** LOT COUNT BASED ON A PLAT AND/OR PRELIMINARY PLAN SUBMITTED TO THE CITY OF KYLE. ALL OTHER LOT COUNTS ARE PROPOSED AND SUBJECT TO CHANGE. TOTAL LOT COUNT NOT TO EXCEED 2100 PER DEVELOPMENT AGREEMENT. LOT COUNT DOES NOT INCLUDE OPEN SPACE LOTS.



LOCATION MAP
NOT-TO-SCALE

PREPARED FOR:

HMBRR DEVELOPMENT, INC.
1011 N LAMAR
AUSTIN, TEXAS 78703

AUGUST 2020

8/24/2020

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800



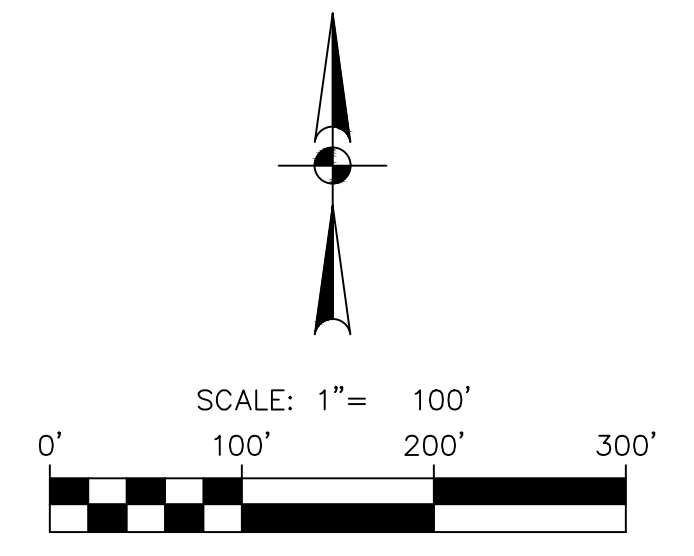
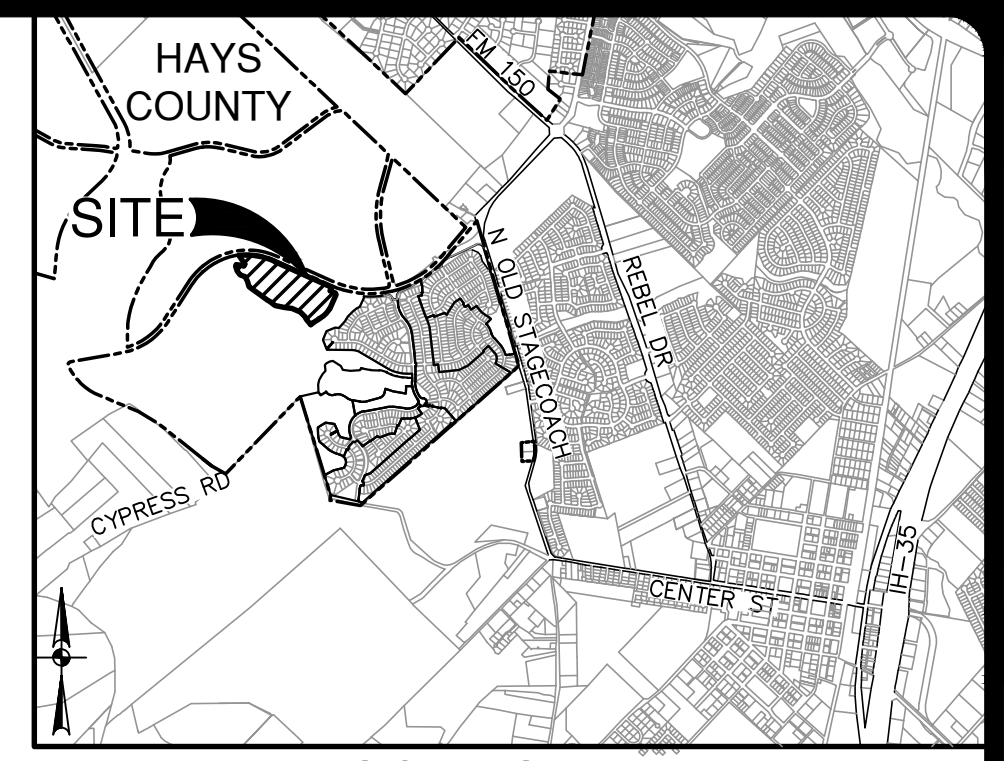
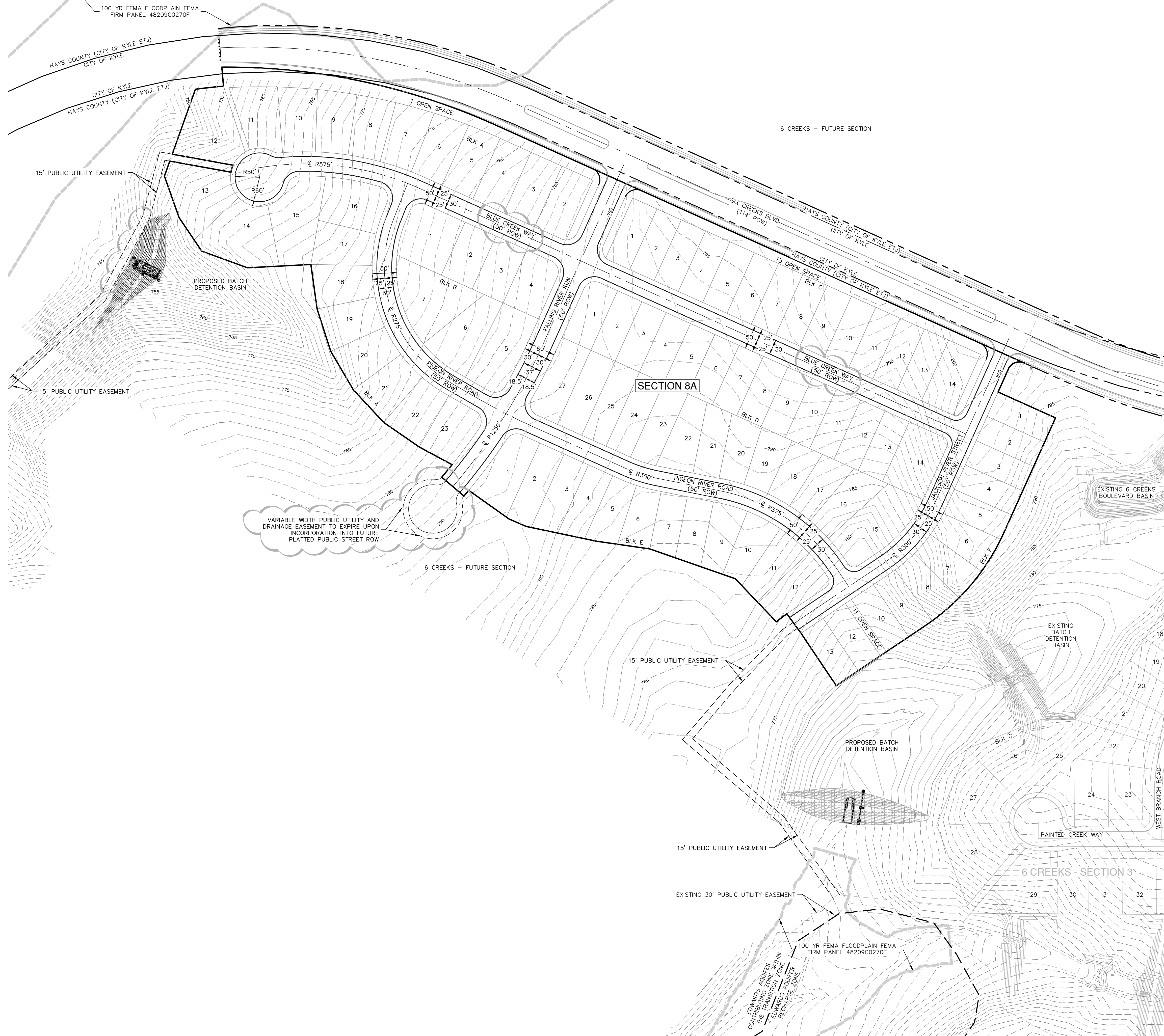
SHEET INDEX

Sheet Description	Sheet No.
COVER SHEET	C0.00
SITE PLAN	C1.00
LOT SUMMARY	C1.01
OVERALL STORM WATER PLAN	C2.00
EXISTING DRAINAGE CONDITIONS	C2.01
OVERALL SANITARY SEWER PLAN	C3.00
OVERALL SANITARY SEWER PLAN	C3.01
OVERALL WATER DISTRIBUTION PLAN	C4.00

NOTES:

- THIS PRELIMINARY PLAN HAS BEEN DEVELOPED TO COMPLY WITH THE REQUIREMENTS OF THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF KYLE AND HMBRR DEVELOPMENT, INC. APPROVED BY THE CITY OF KYLE CITY COUNCIL ON MAY 31, 2017.
- THE LIMITS OF THIS PROJECT ARE IN ZONE X OF THE FEMA FLOODPLAIN MAP NO. 48209C0270F DATED SEPTEMBER 2, 2005.
- THIS SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE WITHIN THE TRANSITION ZONE.
- THIS SITE IS LOCATED WITHIN HAYS COUNTY ESD #5 AND #9 AND LOCATED WITHIN THE BOUNDARY OF THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT
- WATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.
- ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.
- UTILITY EASEMENTS SHALL BE IN ACCORDANCE WITH CITY CODE, SECTION 41-141 IN PLACE AS OF THE VESTING DATE OF MAY 16, 2017 OF THE BLANCO RIVER RANCH DE-ANNEXATION AND DEVELOPMENT AGREEMENT. A FIFTEEN (15) FOOT PUBLIC UTILITY EASEMENT IS DEDICATED BY PLAT ADJACENT TO ALL STREET RIGHT OF WAY, EXCEPT ADJACENT TO CORNER LOTS WHERE EASEMENT ADJACENT TO SIDE LOT IS 10'. A FIVE (5) FOOT MUNICIPAL UTILITY EASEMENT IS DEDICATED BY PLAT AT EACH SIDE LOT LINE, AND A TEN (10) FOOT REAR MUNICIPAL UTILITY EASEMENT IS DEDICATED BY PLAT AT THE REAR LOT LINE OF EACH LOT.
- BUILDING SETBACKS SHALL COMPLY WITH EXHIBIT "D" OF THE BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA) DE-ANNEXATION AND DEVELOPMENT AGREEMENT.
- NO OBSTRUCTIONS ARE TO BE PLACED WITHIN DRAINAGE EASEMENTS.
- THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
- THE MAINTENANCE OF SIDEWALKS WITHIN THIS PRELIMINARY PLAN (6 CREEKS-PHASE 1, SECTION 8A) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS OR HOMEOWNER'S ASSOCIATION OR THEIR SUCCESSORS AND NOT THE RESPONSIBILITY OF THE CITY OF KYLE OR HAYS COUNTY.
- HAYS COUNTY APPROVED MOISTURE BARRIERS TO BE USED ON CURBED MEDIAN ISLANDS. SEE CONSTRUCTION DOCUMENTS FOR DETAILS. CONSTRUCTION ENTRANCES TO BE ADDED AT ALL ACCESS POINTS. SEE CONSTRUCTION DOCUMENTS FOR DETAIL.
- THE LOTS SHOWN HAVE ADEQUATE FRONTAGE TO ALLOW FOR COMPLIANCE WITH DRIVEWAY SPACING REQUIREMENTS.
- SECTION 8A WILL SEEK PUBLIC DEDICATION OF ALL ROADWAYS.
- POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED AND MADE AVAILABLE FOR REVIEW UPON REQUEST.

OWNERS:	HMBRR DEVELOPMENT, INC. 1011 N LAMAR AUSTIN, TX 78703 PHONE: (512) 481-0303 FAX: (512) 481-0333
ACREAGE:	26.03 AC
SURVEY:	SAMUEL PHARASS 1/4 LEAGUE SURVEY NO. 14, ABSTRACT NO. 360
NUMBER OF LOTS AND PROPOSED LAND USE:	94 SINGLE FAMILY LOTS
DATE:	MARCH 2020
SURVEYOR:	PAPE-DAWSON ENGINEERS, INC. PHONE (210) 375-9000 FAX: (210) 375-9010
ENGINEER:	PAPE-DAWSON ENGINEERS, INC. PHONE: (210) 375-9000 FAX: (210) 375-9010

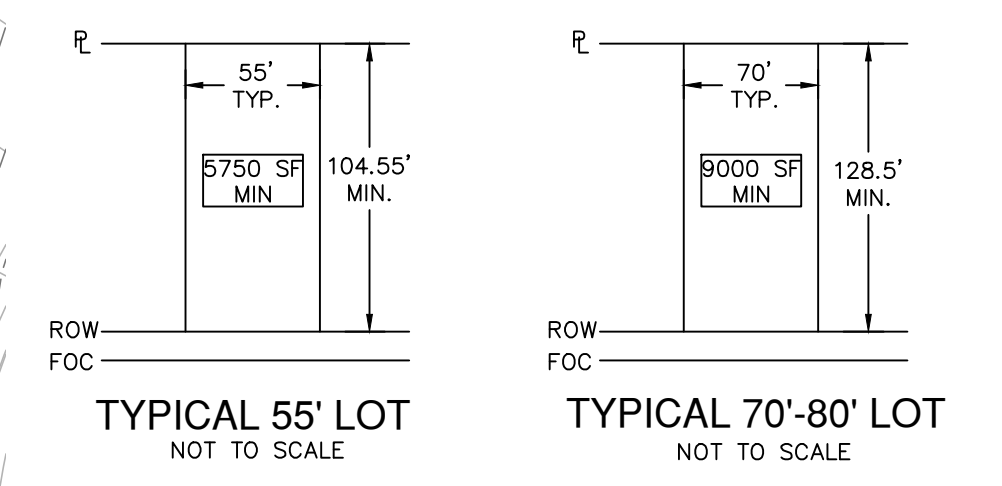


LEGEND:

- SECTION BOUNDARY
- - - - - EXISTING CONTOUR
- STREET CENTER LINE
- PROPOSED CURB

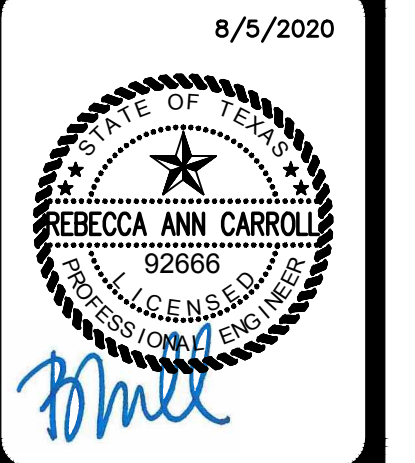
LAND USE SUMMARY	
	SECTION 8A
RESIDENTIAL LOT ACREAGE	19.62
OPEN SPACE ACREAGE	1.11
ROW ACREAGE	5.28
TOTAL ACREAGE	26.02

NOTE: 6 CREEKS, SECTION 8A CONSISTS OF 94 SINGLE FAMILY LOTS AND 3 OPEN SPACE LOTS. THE AVERAGE LOT SIZE CAN BE FOUND IN THE TYPICAL LOT DETAILS BELOW.
 LOT SIZES ARE AS FOLLOWS:
 <1 AC 94 LOTS
 1-2 AC
 2-5 AC
 5-10 AC
 >10 AC



LIST OF ROADWAYS			
	DEVELOPMENT AGREEMENT CLASSIFICATION	TOTAL LENGTH (FT)	ROW WIDTH (FT)
FALLING RIVER RUN	RESIDENTIAL COLLECTOR	715	60
JACKSON RIVER STREET	RESIDENTIAL LANE	722	50
BLUE CREEK WAY	RESIDENTIAL LANE	1,597	50
PIGEON RIVER ROAD	RESIDENTIAL LANE	1,413	50

NO.	REVISION	DATE
1	STREET NAME & EASEMENTS	08/05/20



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 TEPF FIRM REGISTRATION #0701 | TEPFUS FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 SITE PLAN

PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C1.00

Date: Aug 05 09:50, 1:52pm User: ID: bhobby File: P:\31\VA\16\Design\Civil\PRJ-SP8\4116.dwg

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Item # 4

Plot: A:\06_0920_1532m User: JD_ahobby
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SECTION 8A

* LOT WIDTHS ARE MEASURED AT THE FRONT BUILDING LINE PER THE BLANCO RIVER RANCH (PHASE ONE RESIDENTIAL AREA) DE-ANNEXATION AND DEVELOPMENT AGREEMENT. (REFERENCE EXHIBIT D, NUMBER 18)

LOT SUMMARY			
LOT	BLK	LOT WIDTH	LOT AREA
1	A	N/A	25804 SF
2	A	70.00'	9627 SF
3	A	70.00'	9627 SF
4	A	70.00'	9627 SF
5	A	70.00'	9583 SF
6	A	70.01'	9595 SF
7	A	70.02'	9545 SF
8	A	70.02'	9369 SF
9	A	70.02'	9491 SF
10	A	70.02'	9916 SF
11	A	72.66'	11382 SF
12	A	71.73'	16302 SF
13	A	81.39'	15341 SF
14	A	93.27'	16928 SF
15	A	111.98'	16482 SF
16	A	96.66'	12287 SF
17	A	70.06'	9689 SF
18	A	70.06'	1689 SF
19	A	70.06'	9497 SF
20	A	70.06'	9497 SF
21	A	70.06'	9497 SF
22	A	70.05'	9367 SF
23	A	87.59'	10066 SF
1	B	113.09'	13083 SF
2	B	70.00'	8400 SF
3	B	70.00'	8400 SF
4	B	79.49'	9466 SF
5	B	80.81'	14280 SF
6	B	103.30	12910 SF
7	B	156.60'	16591 SF
1	C	55.00'	7548 SF
2	C	55.00'	7555 SF
3	C	55.00'	7555 SF
4	C	55.00'	7555 SF
5	C	55.00'	7555 SF
6	C	55.00'	7555 SF
7	C	55.00'	7555 SF
8	C	55.00'	7555 SF
9	C	55.00'	7555 SF
10	C	55.00'	7555 SF
11	C	55.00'	7555 SF
12	C	55.00'	7555 SF
13	C	55.00'	7555 SF
14	C	71.76'	9858 SF
15	C	N/A	20787 SF
1	D	64.49'	8613 SF
2	D	55.00'	7401 SF
3	D	55.00'	7401 SF
4	D	55.00'	7401 SF
5	D	55.00'	7401 SF
6	D	55.00'	7401 SF
7	D	55.00'	7401 SF
8	D	55.00'	7401 SF
9	D	55.00'	7401 SF
10	D	55.00'	7401 SF
11	D	55.00'	7401 SF
12	D	55.00'	7401 SF
13	D	55.00'	7401 SF
14	D	91.76'	12300 SF
15	D	84.48'	16386 SF
16	D	55.02'	9545 SF
17	D	55.02'	8102 SF
18	D	55.02'	7397 SF
19	D	55.02'	7325 SF
20	D	55.03'	7732 SF
21	D	55.00'	7831 SF
22	D	73.56'	9288 SF
23	D	55.00'	9134 SF
24	D	55.00'	9235 SF
25	D	55.00'	9235 SF
26	D	55.00'	9235 SF
27	D	69.69'	11115 SF
1	E	65.19'	12179 SF
2	E	55.00'	9270 SF
3	E	55.00'	8819 SF
4	E	55.00'	8156 SF
5	E	55.03'	8086 SF
6	E	55.02'	7391 SF
7	E	55.00'	6861 SF
8	E	55.00'	7287 SF
9	E	69.44'	8400 SF
10	E	72.73'	8576 SF
11	E	72.73'	8856 SF
12	E	75.78'	9674 SF
1	F	55.00'	6948 SF
2	F	55.00'	7150 SF
3	F	55.00'	7150 SF
4	F	55.00'	7150 SF
5	F	55.00'	7150 SF
6	F	55.05'	8318 SF
7	F	55.03'	8070 SF
8	F	55.03'	8070 SF
9	F	55.00'	7360 SF
10	F	55.00'	7150 SF
11	F	N/A	1950 SF
12	F	55.00'	7150 SF
13	F	55.00'	7151 SF

NO.	REVISION	DATE
1	LOT WIDTHS AND AREAS	08/03/20

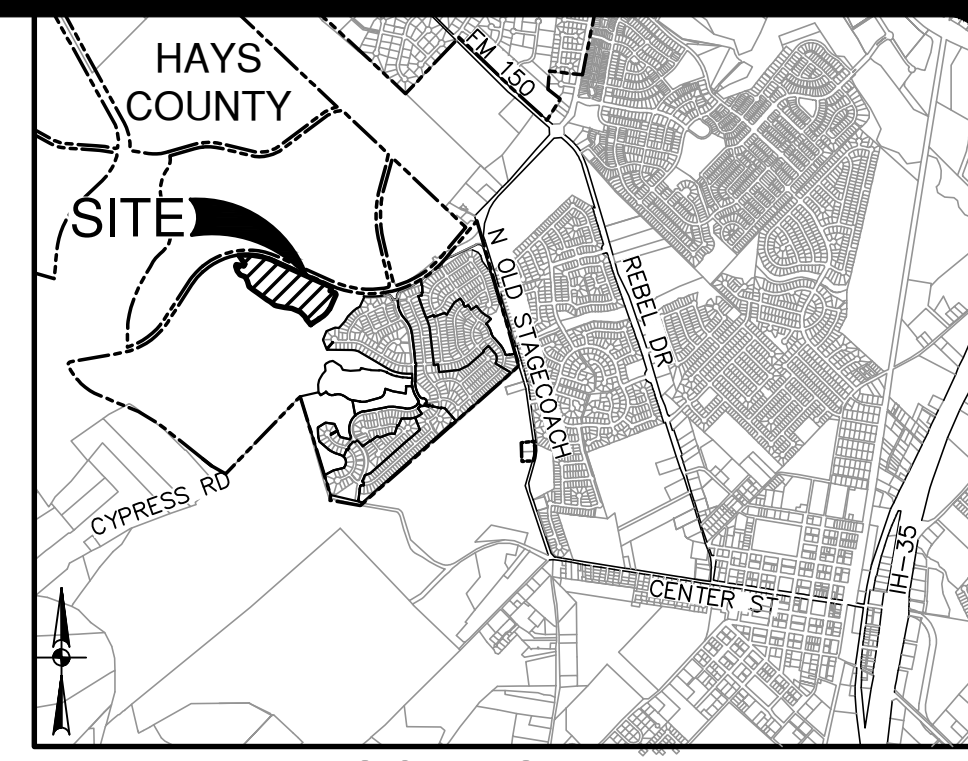
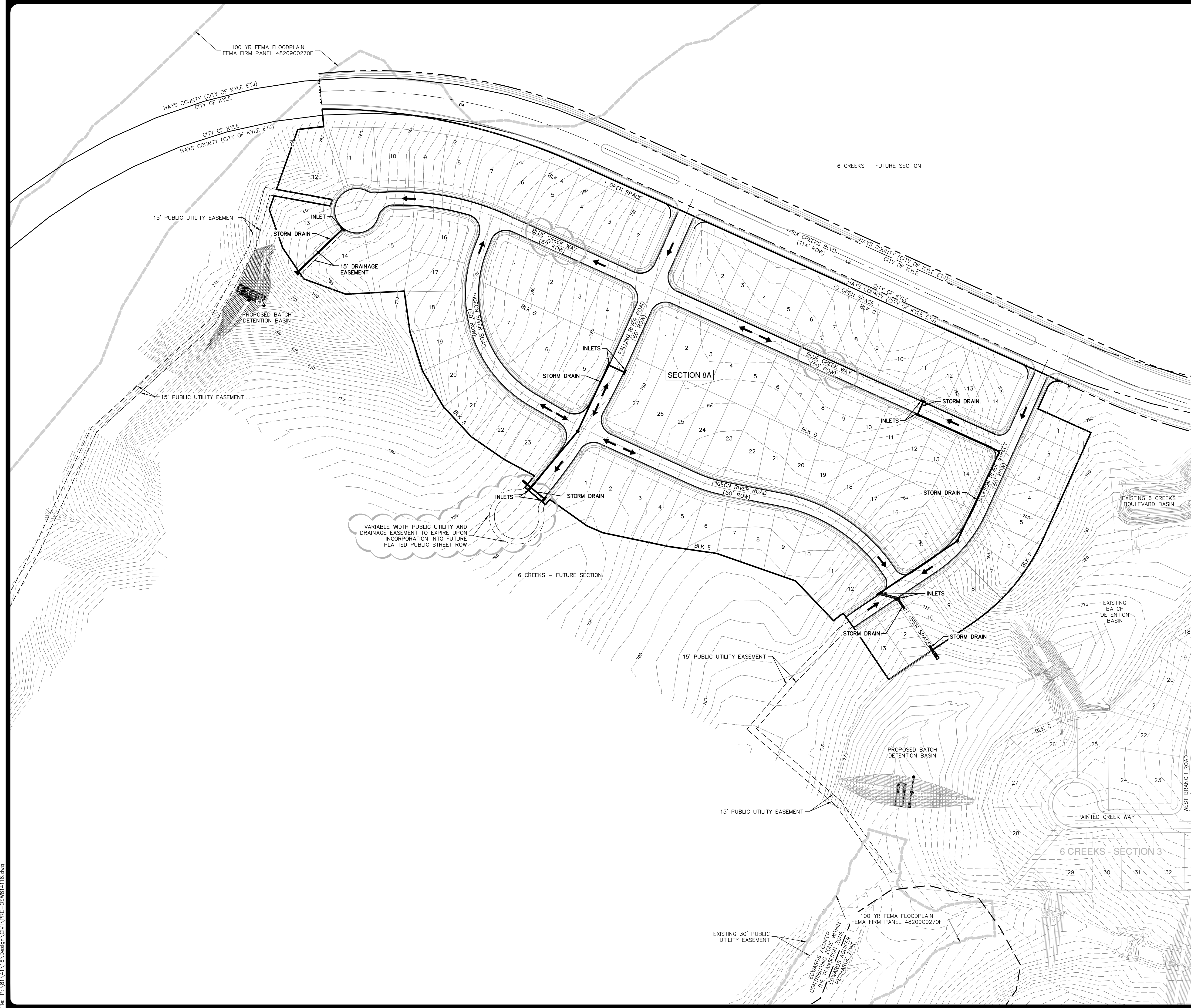


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 TPE FIRM REGISTRATION #070 | TPE FIRM REGISTRATION #10028800

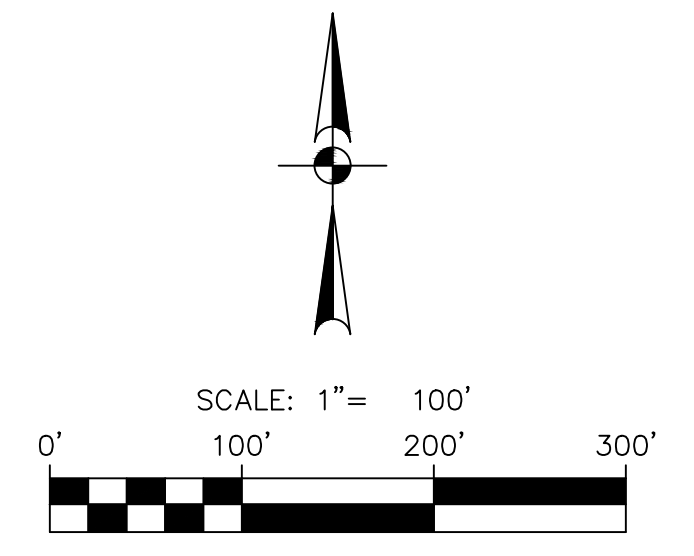
6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 LOT SUMMARY

PLAT NO.	8141-16
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C1.01

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 File: P:\31\41\16\Design\Civil\PRE-DS\851416.dwg



LOCATION MAP
NOT-TO-SCALE



LEGEND:

- SECTION BOUNDARY
- EXISTING CONTOUR
- STREET CENTER LINE
- PROPOSED CURB
- PROPOSED FLOW ARROWS

NO.	REVISION	DATE
1	STREET NAME & EASEMENT	08/05/20



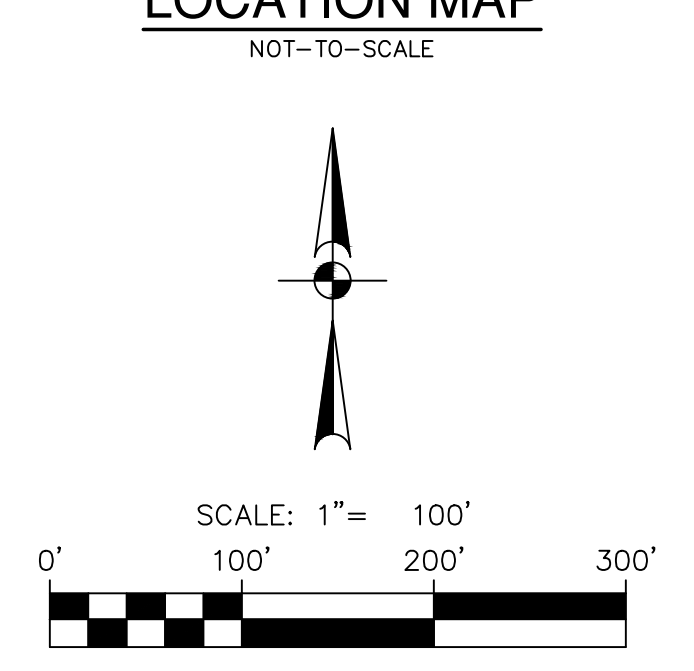
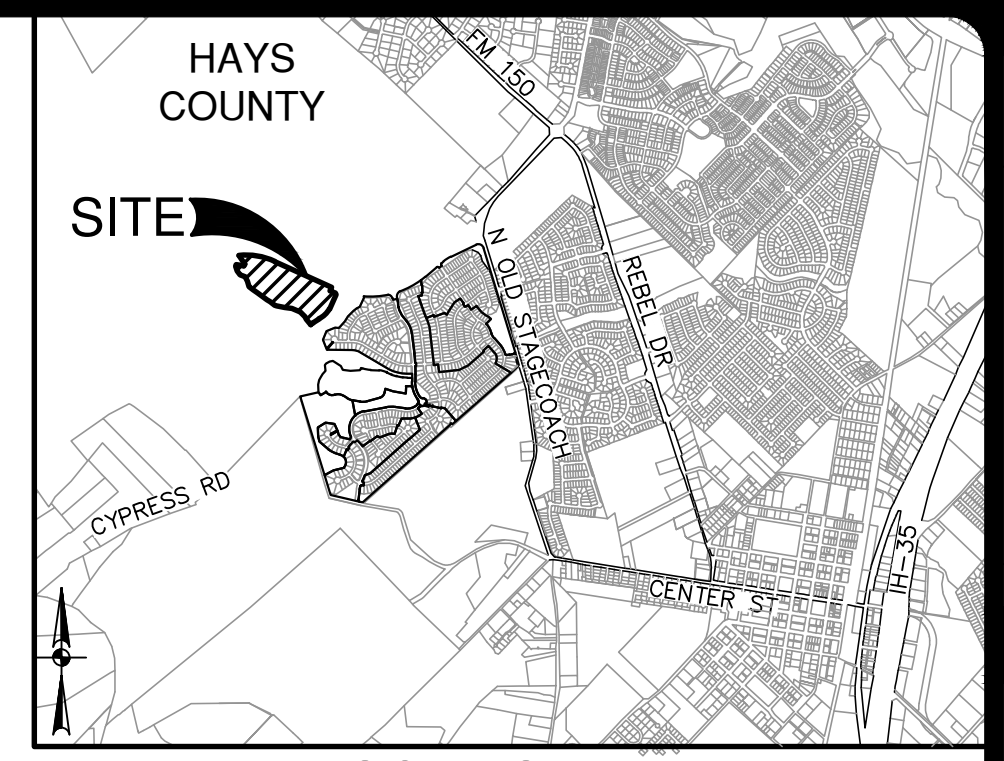
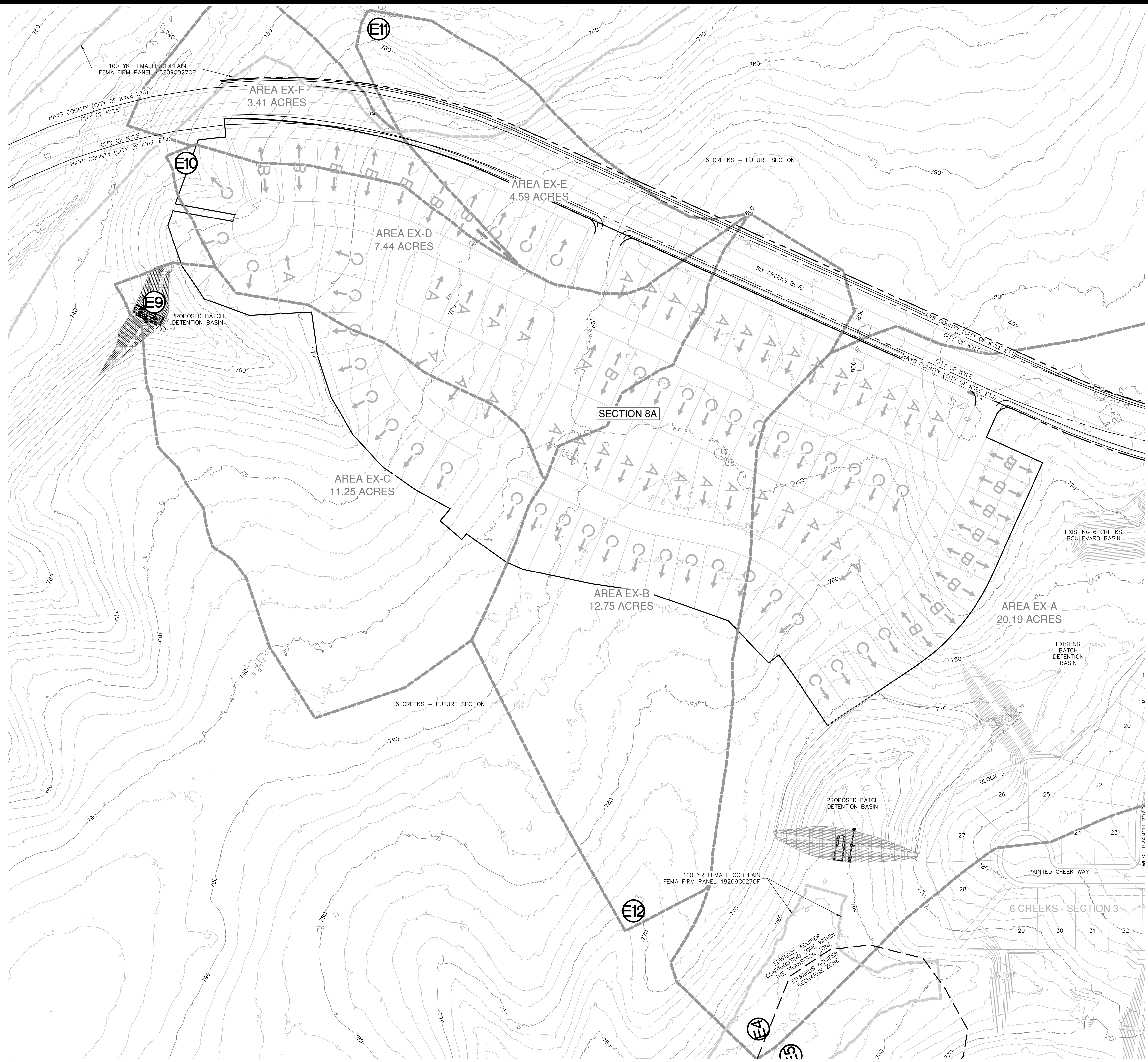
PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TPEE FIRM REGISTRATION #0791 | TPEE FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL STORMWATER PLAN

PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C2.00

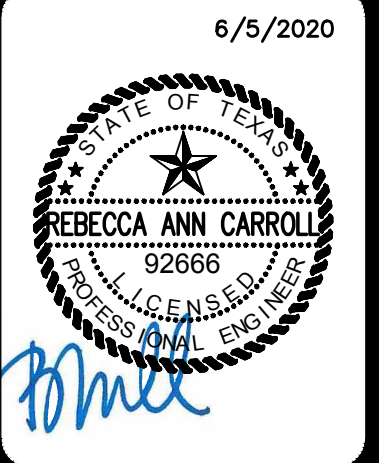
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Plot: 05_2020_11_14.dwg User: jk_mahdy
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- LEGEND:**
- SECTION BOUNDARY
 - EXISTING 10' CONTOUR
 - DRAINAGE AREAS
 - DRAINAGE CALCULATION POINT
 - 100-YEAR FEMA FLOODPLAIN

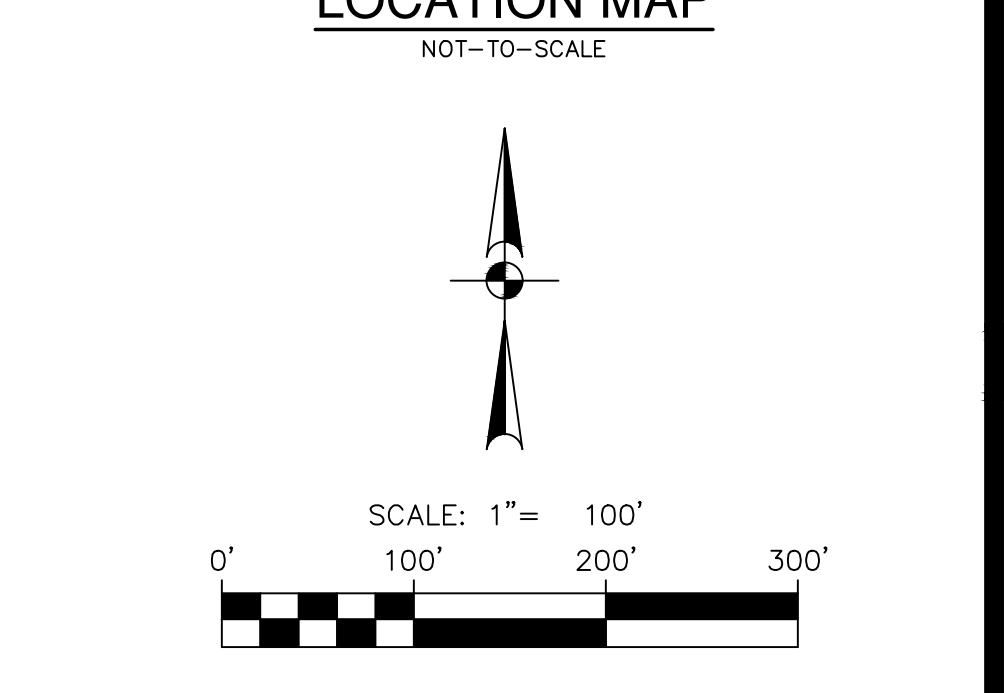
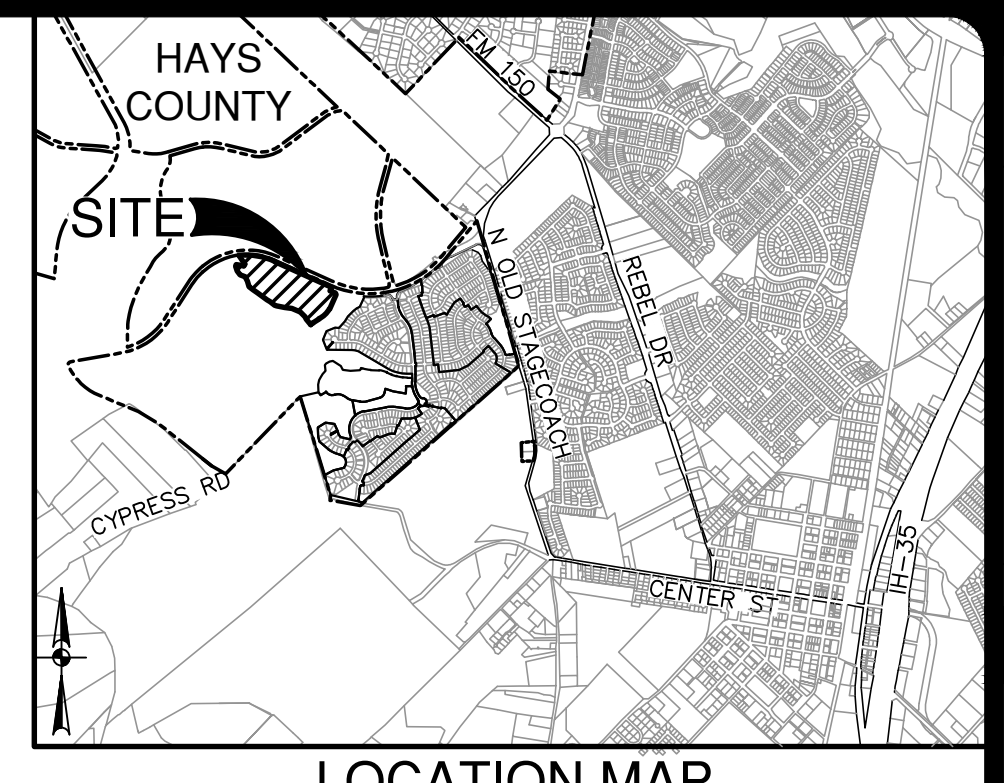
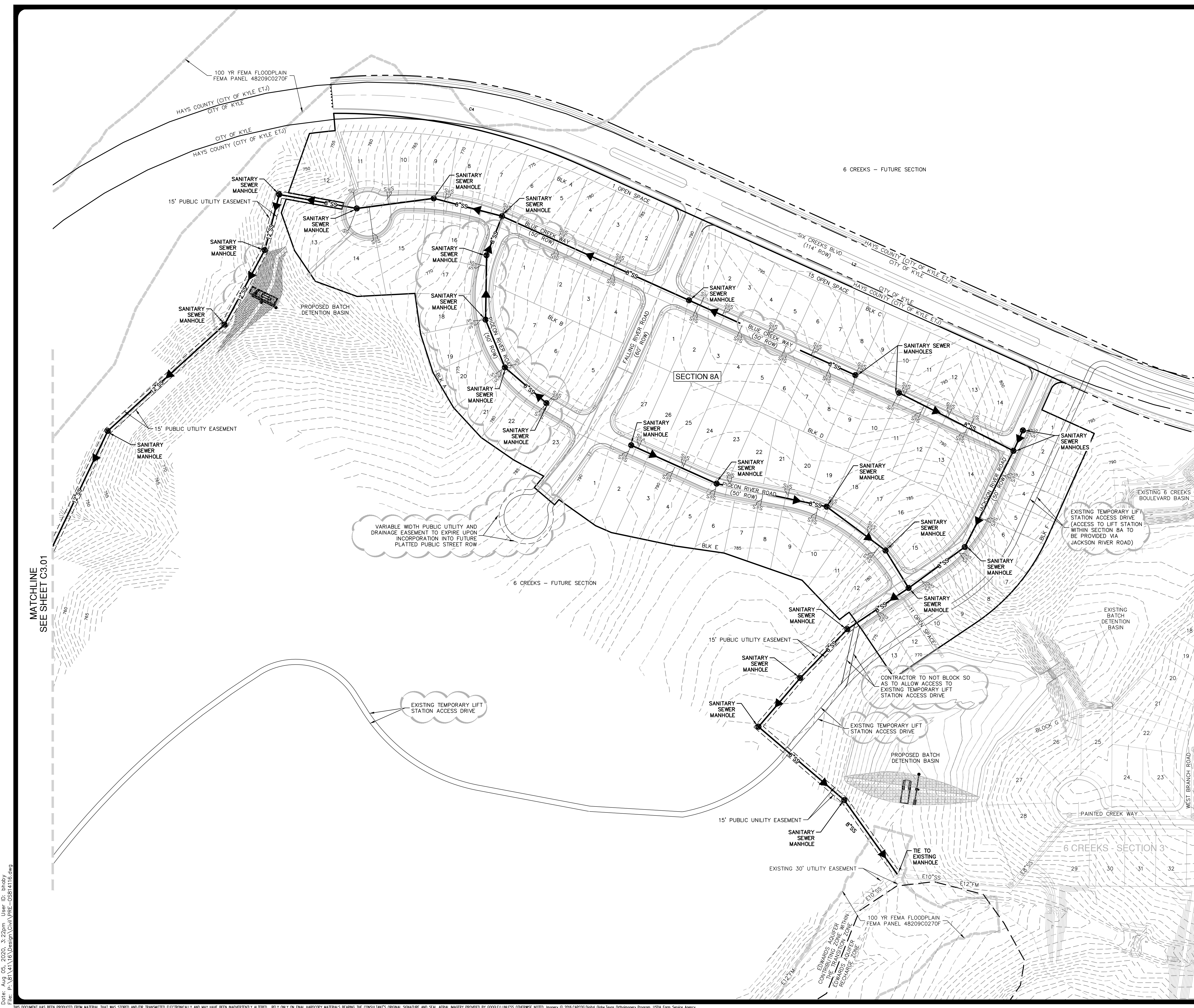
NO.	REVISION	DATE



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TEXAS PROFESSIONAL ENGINEER REGISTRATION #10088890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 EXISTING DRAINAGE CONDITIONS

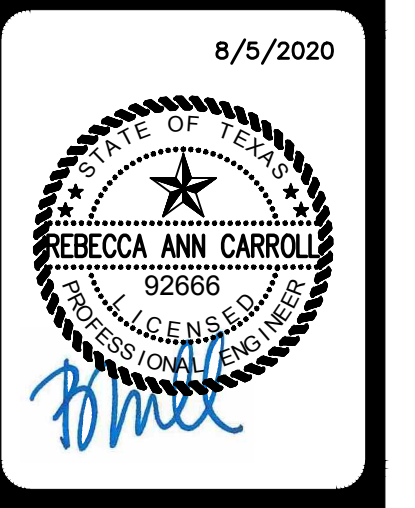
PLAT NO.	8141-16
JOB NO.	8141-16
DATE	MARCH 2020
DESIGNER	JH
CHECKED	DRAWN AC
SHEET	C2.01



LEGEND:

(Solid line)	SECTION BOUNDARY
(Dashed line)	EXISTING CONTOUR
(Line with circles)	EXISTING SANITARY SEWER
(Line with circles and arrows)	PROPOSED SANITARY SEWER
(Line with circles and X)	EXISTING POTABLE WATER
(Line with circles and X with arrow)	PROPOSED POTABLE WATER

NO.	REVISION	DATE
1	STREET NAME, ALIGNMENT, LIFT STATION DRIVE, & EASEMENT	08/05/20



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TEXAS FIRM REGISTRATION #470 | TBPUS FIRM REGISTRATION #10088890

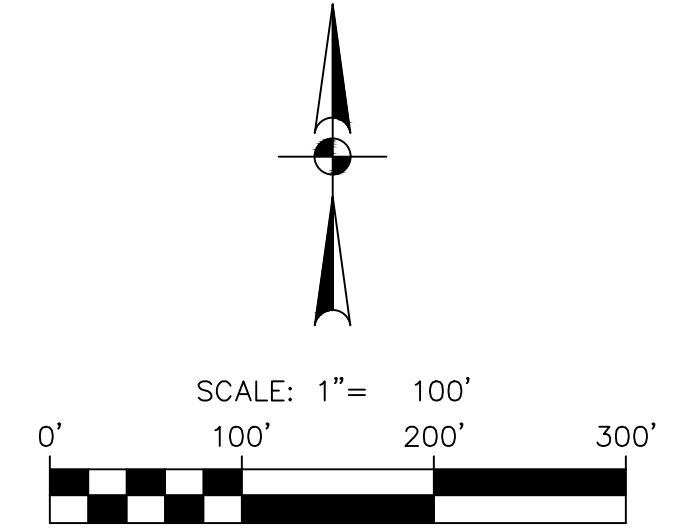
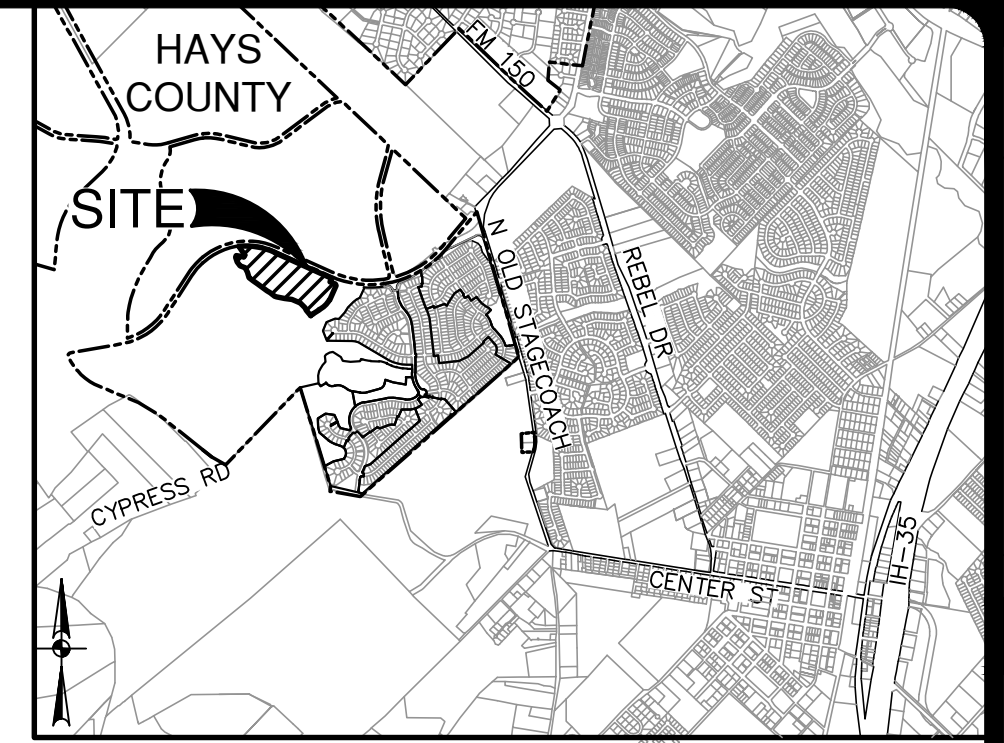
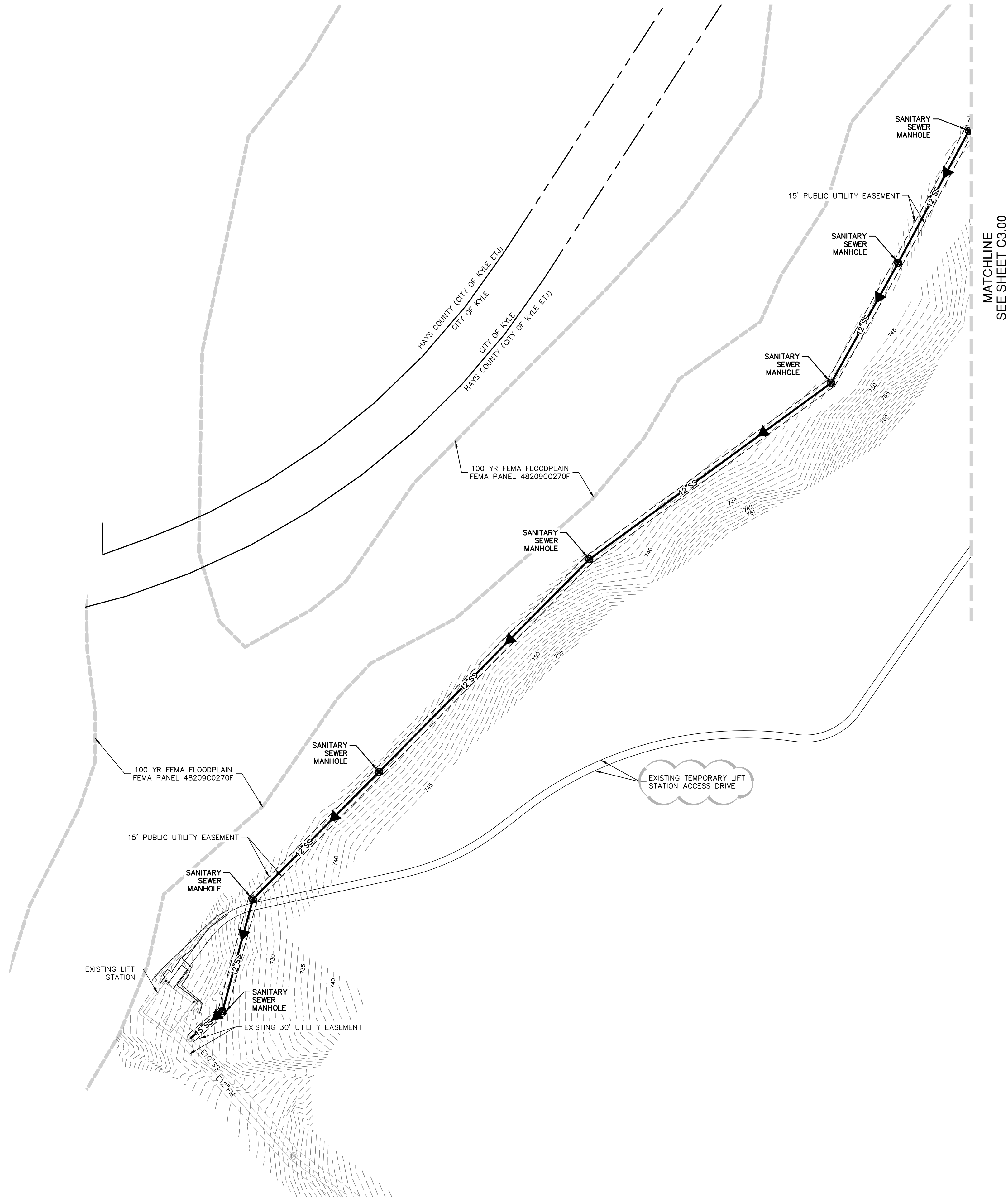
6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL SANITARY SEWER PLAN

PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C3.00

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LEGEND:

- SECTION BOUNDARY
- - - - 960 EXISTING CONTOUR
- - - - EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING POTABLE WATER
- PROPOSED POTABLE WATER

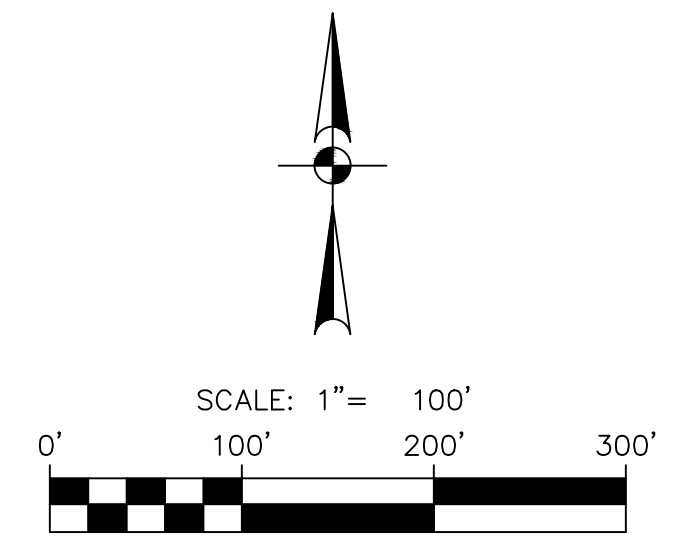
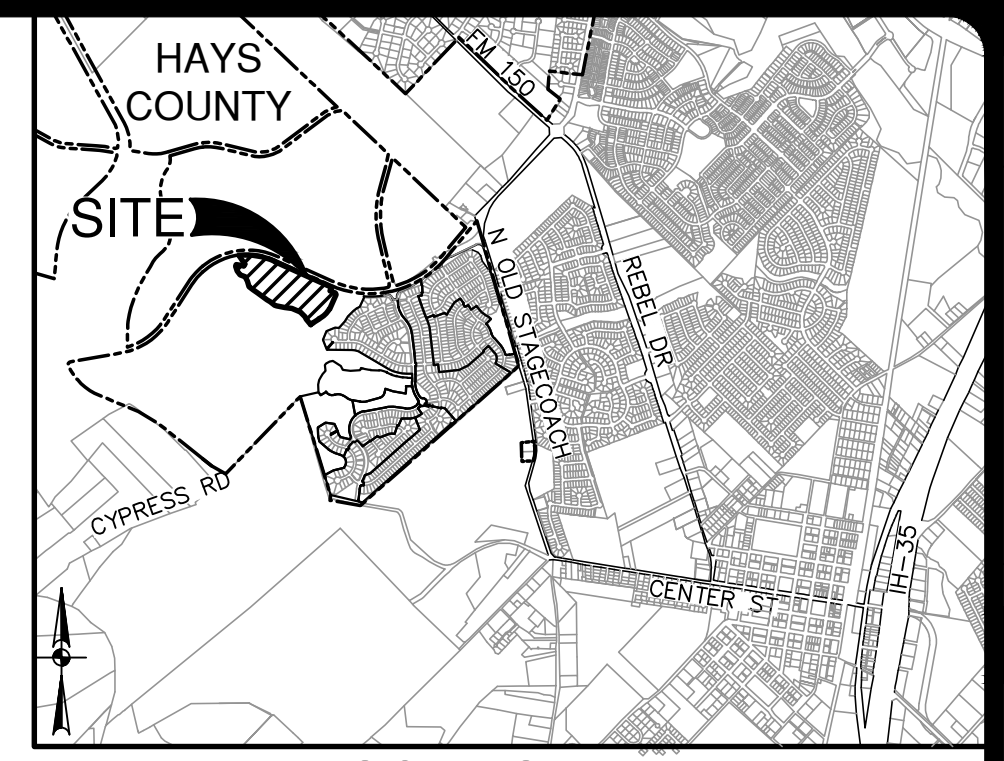
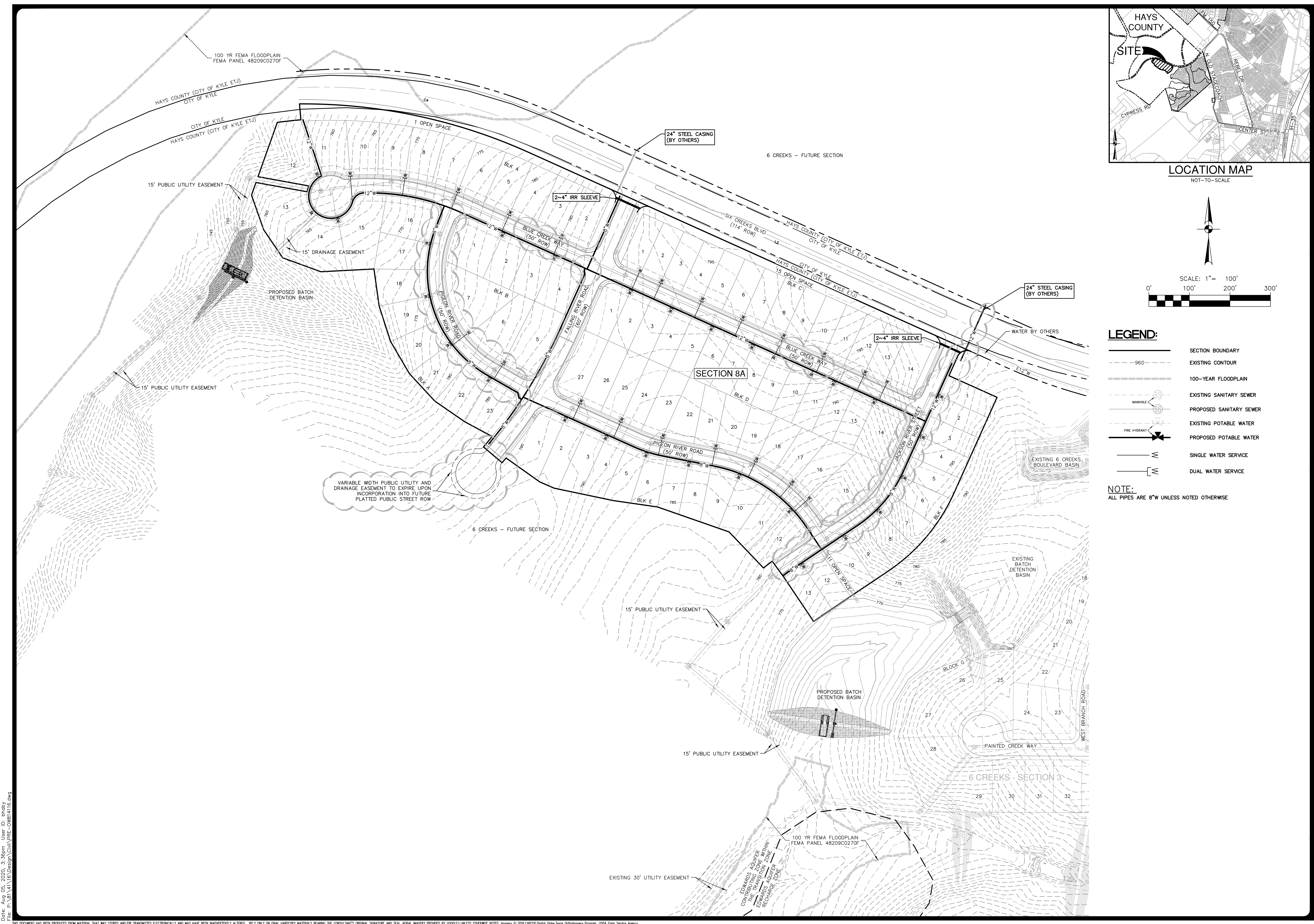
NO.	REVISION	DATE
1	LIFT STATION DRIVE	08/05/20



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TPEF FIRM REGISTRATION #179 | TPELUS FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL SANITARY SEWER PLAN

PLAT NO.	
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C3.01



LEGEND:

- SECTION BOUNDARY
- EXISTING CONTOUR
- 100-YEAR FLOODPLAIN
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING POTABLE WATER
- PROPOSED POTABLE WATER
- SINGLE WATER SERVICE
- DUAL WATER SERVICE

NOTE:
ALL PIPES ARE 8"W UNLESS NOTED OTHERWISE

NO.	REVISION	DATE
1	STREET NAME & WATER LINE	08/05/20



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TEXAS FIRM REGISTRATION #979 | TBPUS FIRM REGISTRATION #1008890

6 CREEKS-PHASE 1, SECTION 8A
 HAYS COUNTY, TEXAS
 PRELIMINARY PLAN
 OVERALL WATER DISTRIBUTION PLAN

PLAT NO.	8141-16
JOB NO.	8141-16
DATE	AUGUST 2020
DESIGNER	JH
CHECKED	JH
DRAWN	AC
SHEET	C4.00

Date: Aug 05 09:50 3:35pm User: jh_blacky
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 Item # 4



CITY OF KYLE, TEXAS

Talavera Subdivision - Preliminary Plan (SUB-20-0153)

Meeting Date: 1/12/2021

Date time:6:30 PM

Subject/Recommendation: Talavera Subdivision - Preliminary Plan (SUB-20-0153) 119.43 acres; 407 lots for property located at the northwest intersection of Goforth Road and Bunton Creek Road.

Staff Proposal to P&Z: Approve the Preliminary Plan.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

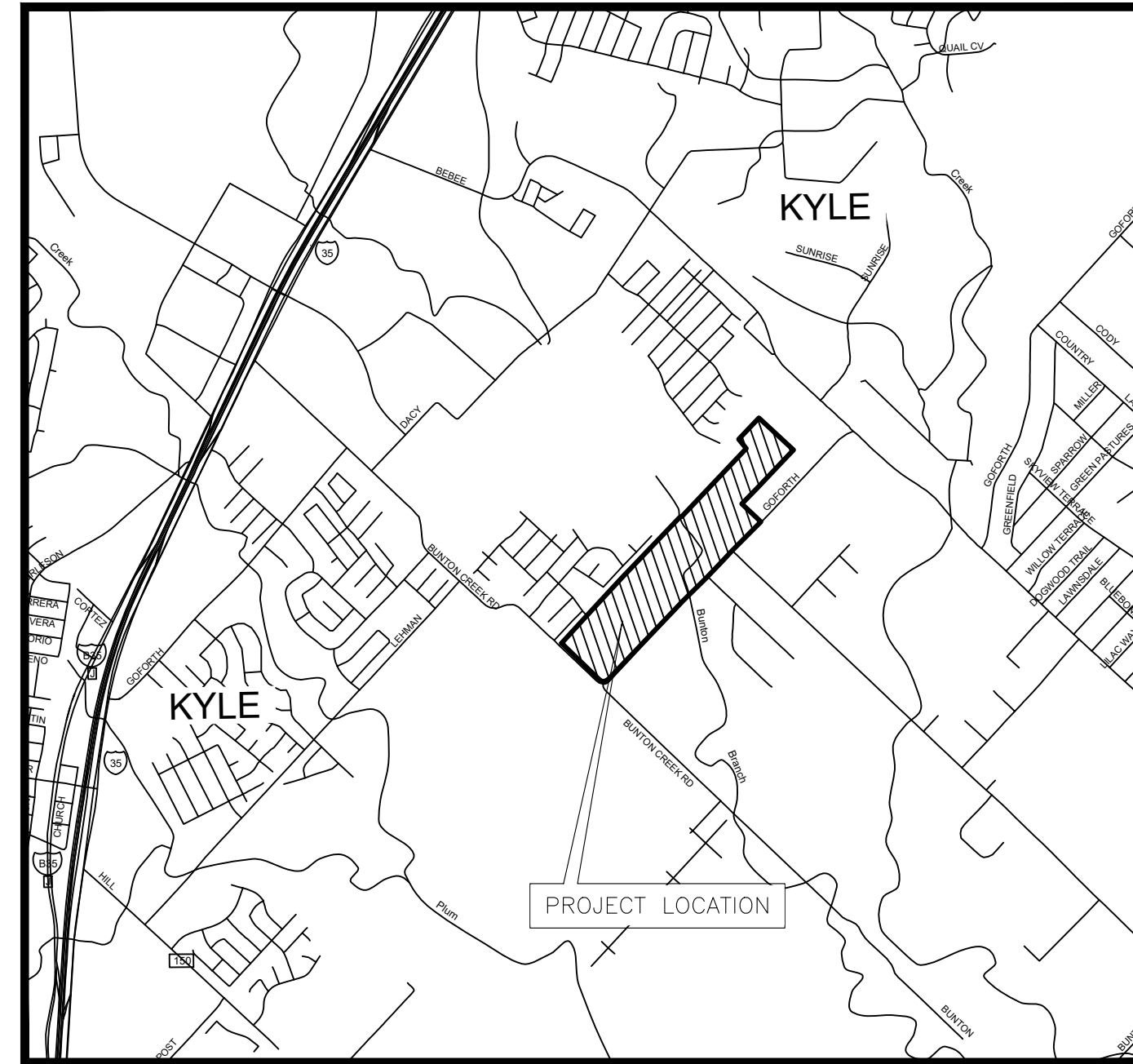
- ☐ Preliminary Plan

GENERAL NOTES:

1. THE PROVISIONS OF THE CITY OF KYLE DEVELOPMENT CODE AND THE PROVISIONS OF THE APPROVED DEVELOPER AGREEMENT SHALL GOVERN THIS PROJECT.
2. ALL DEVELOPMENT WITHIN THIS SUBDIVISION MUST ADHERE TO THE CITY OF KYLE ZONING/SUBDIVISION ORDINANCE AND THE DEVELOPMENT AGREEMENT APPROVED JULY 17, 2019, INCLUDING AMENDMENTS.
3. THE FULLY DEVELOPED CONCENTRATED STORM RUNOFF FOR THE 100 YEAR STORM SHALL BE CONTAINED WITHIN DRAINAGE EASEMENTS AND RIGHTS OF WAY.
4. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
5. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
6. ALL STREETS IN THIS SUBDIVISION ARE PUBLIC STREETS, EXCEPT ALLEYS WHICH WILL BE PRIVATE, UNLESS NOTED OTHERWISE.
7. ALL ALLEYS IN THIS SUBDIVISION ARE PRIVATE AND SHALL BE DEEDED TO AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
8. RESIDENTIAL LOTS ARE LIMITED TO ONE SINGLE FAMILY DWELLING PER LOT.
9. ALL STREET, DRAINAGE, SIDEWALKS, EROSION CONTROLS AND WATER AND WASTEWATER LINES ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO THE CITY OF KYLE STANDARDS.
10. OPERATIONS AND MAINTENANCE OF THE DETENTION POND FACILITIES SERVING ALL SINGLE FAMILY LOTS WILL BE OWNED AND OPERATED BY THE HOMEOWNERS ASSOCIATION.
11. NO OBJECTS INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING AND OTHER STRUCTURES SHALL BE PERMITTED IN DRAINAGE EASEMENTS. FENCES ARE ALLOWED ALONG LOT LINES ONLY, PROVIDED THEY DO NOT OBSTRUCT FLOW FOR SURFACE USE DRAINAGE EASEMENTS.
12. SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF ALL STREETS, AS FOLLOWS: LOCAL STREETS, 4' BOTH SIDES, COLLECTOR STREETS, 6' BOTH SIDES. SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
13. WATER SERVICE WILL BE PROVIDED BY THE GOFORTH SUD.
14. WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.
15. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOTS IN THIS SUBDIVISION, SITE DEVELOPMENT PERMITS AND BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF KYLE.
16. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS DISCOVERED ON THIS SITE.
17. MUNICIPAL UTILITY EASEMENTS TO BE USED FOR UTILITY SERVICE PROVIDED TO LOTS WITHIN THIS SUBDIVISION ONLY; NOT ALLOWED FOR PASS-THRU OR PRIMARY MAINS SERVICING OUTSIDE DEVELOPMENT.
18. SIDEWALKS SHALL BE INSTALLED ON THE STREET SIDE(S) OF ALL LOTS. WHERE LOT IS NOT RESIDENTIAL OR COMMERCIAL USE, THE SIDEWALK SHALL BE INSTALLED WITH SUBDIVISION CONSTRUCTION. PEDESTRIAN RAMPS SHALL BE INSTALLED WITH STREET CONSTRUCTION.
19. BUILDING COVERAGE LIMITATION SHALL BE BASED ON LOT SETBACK REQUIREMENTS; GENERALLY SHALL BE 50% FOR A SINGLE FAMILY (ATTACHED/DETACHED) LOTS AND 60% FOR ALLEY LOAD LOTS
20. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND SIMILAR LINES SHALL BE PLACED UNDERGROUND. SUCH LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE. AS AUTHORIZED BY V.T.C.A., LOCAL GOVERNMENT CODE CH. 212, THE CITY COUNCIL MAY WAIVE THIS REQUIREMENT FOR GOOD CAUSE, AND PERMIT SUCH LINES TO BE INSTALLED ABOVE GROUND.
21. SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO SECTION 2.02 OF THE DEVELOPMENT AGREEMENT AND BE COMPLIANT WITH ZONING DISTRICT R-1-3. FRONT: 20'; INTERIOR SIDE: 10'; CORNER LOT: 10'; REAR: 10'
22. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF ALL STREETS. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOTS SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED.
23. ALL EXISTING EASEMENTS ARE SHOWN AND NOTED ON THE PLAT.
24. POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPED SITE SHALL DEVELOP AND IMPLEMENTS A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR, AND MADE AVAILABLE FOR REVIEW BY THE CITY.
25. OPEN SPACE LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
26. ALL STREETS LESS THAN 32' CURB TO CURB WILL REQUIRE "NO PARKING" SIGNAGE ALONG ONE SIDE. ALL STREETS LESS THAN 26' CURB TO CURB WILL REQUIRE "NO PARKING" SIGNAGE ALONG BOTH SIDES OF THE STREET.

PRELIMINARY PLAN TALAVERA SUBDIVISION

KYLE, HAYS COUNTY, TEXAS



PROJECT LOCATION: N.T.S.

SUBMITTED: OCTOBER 2020

LEGAL DESCRIPTION

127.456 ACRES (5,551,988 SQUARE FEET) ROBERT E. SCHLORTT, JR. & WIFE, KAREN S. SCHLORTT ALL OF A CALLED 80.30 ACRES & ALL OF A CALLED 46.476 ACRES VOL. 262, PG. 129 & VOL. 362, PG. 08 H.C.D.R. SITUATED IN THE JOHN STEWART SURVEY ABSTRACT NO. 14 HAYS COUNTY, TEXAS

SUMMARY NOTES

ENGINEER: CHRIS RAWLS, P.E., NO. 124994
BGE, INC., TBPE F-1046
1701 DIRECTORS BLVD, SUITE 1000
AUSTIN, TEXAS 78744
(512) 879-0400

SURVEYOR: JONATHAN O. NOBLES RPLS NO. 5777
BGE, INC., TBPLS #10106502
101 W LOUIS HENNA BLD, SUITE 400
AUSTIN, TEXAS 78728
(512) 879-0400

DEVELOPER: RANCH ROAD DEVELOPMENT, LLC
3951 HIGHWAY 71 E, BLDG A
BASTROP, TEXAS 78602

UTILITY PROVIDERS: CITY OF KYLE (WASTEWATER)
GOFORTH SPECIAL UTILITY DISTRICT (WATER)
PEDERNALES ELECTRIC COOPERATIVE
CHARTER COMMUNICATIONS (INTERNET)

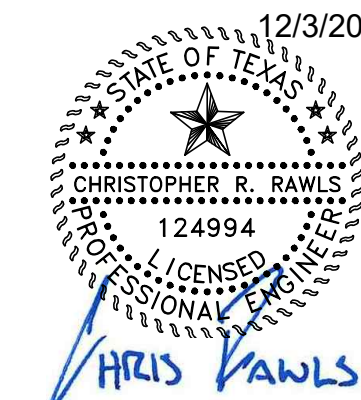
LAND USE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	TOTAL
SITE ACREAGE	32.00 AC.	21.06 AC.	26.53 AC.	23.22 AC.	102.81 AC
50' LOTS	122	86	110	89	407
LOCAL STREET (LF)	6,113 LF	2,826 LF	4,804 LF	3,139 LF	16,882 LF
DENSITY (LOTS/AC)	3.81	3.99	3.96	3.83	3.89

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY HAYS COUNTY ENGINEERS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, HAYS COUNTY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER.

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	OVERALL PRELIMINARY PLAN
3	PHASES 1 & 2
4	PHASES 3 & 4
5	PRELIMINARY UTILITY PLAN (1 OF 2)
6	PRELIMINARY UTILITY PLAN (2 OF 2)



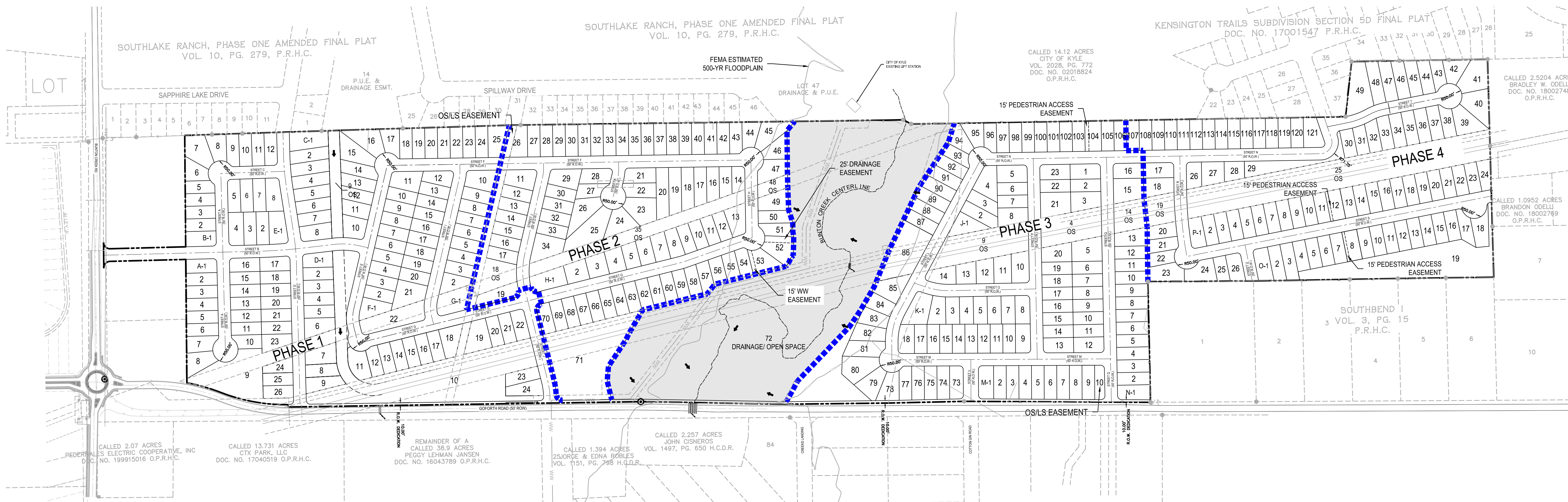
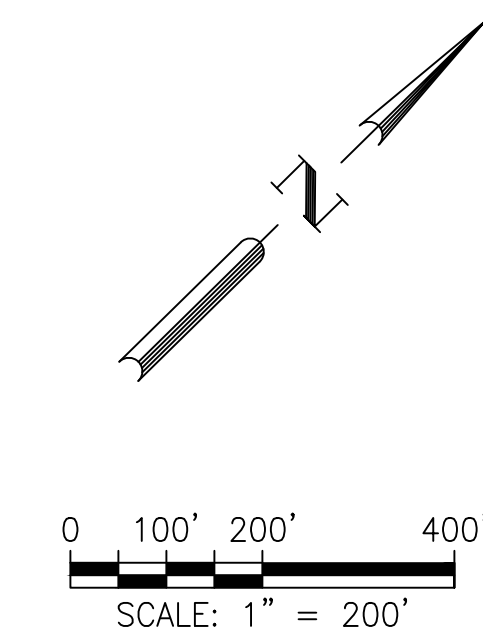
BGE, Inc.
7330 San Pedro Ave., Suite 202
San Antonio, TX 78216
Tel: 210-581-3600 • www.bgeinc.com
TBPE Registration No. F-1046

SHEET
REFERENCE
NUMBER

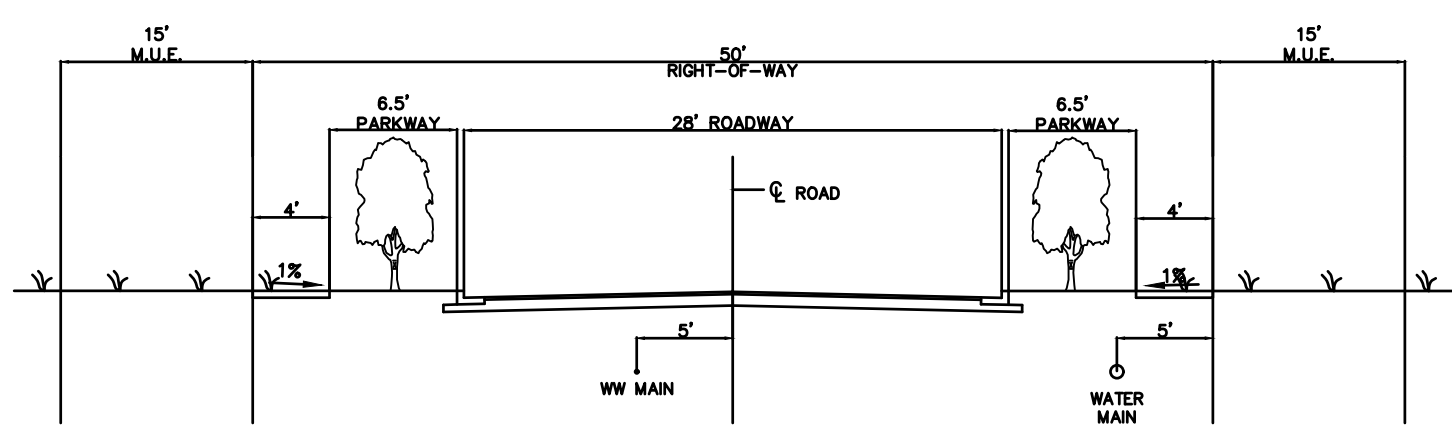
SHEET 1 OF 6

NOTES:

1. THIS SUBDIVISION IS ENCLOSED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND AS DEFINED BY FEDERAL EMERGENCY ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL NUMBERS 48209C0290F AND 48209C0405F, DATE EFFECTIVE SEPTEMBER 2, 2005.
2. THE TRACT DOES NOT LIE OVER THE EDWARDS AQUIFER RECHARGE ZONE (EARZ) OR CONTRIBUTING ZONE.
3. THE TRACT IS WHOLLY LOCATED WITHIN THE PLUM CREEK WATERSHED.
4. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION POND AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY AND/OR HOMEOWNERS ASSOCIATIONS.
5. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
6. POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPED SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENT FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR AND MADE AVAILABLE FOR REVIEW BY THE CITY.
7. LOCATIONS OF WATER/WASTEWATER LINES AND APPURTENANCES ARE APPROXIMATE, AND CONSTRUCTION DOCUMENTS MUST BE APPROVE PRIOR TO PLACEMENT.
8. ALL STREETS LESS THAN 32' CURB TO CURB WILL REQUIRE 'NO PARKING' SIGNAGE ALONG ONE SIDE. ALL STREETS LESS THAN 26' CURB TO CURB WILL REQUIRE 'NO PARKING' SIGNAGE ALONG BOTH SIDES OF THE STREET.
9. DEVELOPER TO DEDICATE 10' OF R.O.W. FOR FUTURE GOFORTH RD. IMPROVEMENTS AT THE TIME OF FINAL PLAT.



TYPICAL STREET SECTION



LEGEND

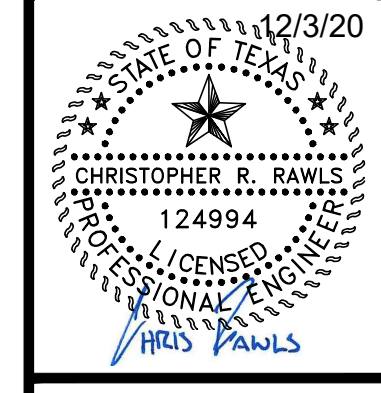
- PROPERTY BOUNDARY
- RIGHT OF WAY
- LOT LINE
- EASEMENT
- PHASE LINE
- LOT NUMBER 10

REV	DATE	DESCRIPTION

DESIGNED BY: STK
 REVIEWED BY: GWN
 DRAWN BY: STK

BGE
 BGE, INC.
 1701 Directors Blvd, Suite 1000
 Austin, TX 78744 TEL: 210-581-3600
 www.bgeinc.com
 TBE Registration No. F-1046

TALavera SUBDIVISION
 OVERALL PRELIMINARY PLAN


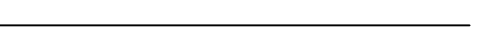
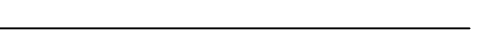
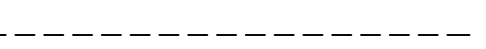



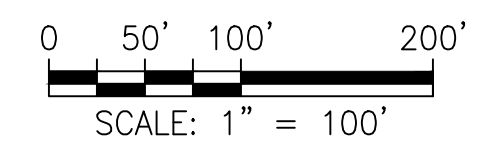
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NOTES:

1. THIS SUBDIVISION IS ENCLOSED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND AS DEFINED BY FEDERAL EMERGENCY ADMINISTRATION FLOOD HAZARD BOUNDARY MAP COMMUNITY PANEL NUMBERS 48209C0290F AND 48209C0405F, DATE EFFECTIVE SEPTEMBER 2, 2005.
2. THE TRACT DOES NOT LIE OVER THE EDWARDS AQUIFER RECHARGE ZONE (EARZ) OR CONTRIBUTING ZONE.
3. THE TRACT IS WHOLLY LOCATED WITHIN THE PLUM CREEK WATERSHED.
4. ALL STREETS LESS THAN 32' CURB TO CURB WILL REQUIRE "NO PARKING" SIGNAGE ALONG ONE SIDE. ALL STREETS LESS THAN 26' CURB TO CURB WILL REQUIRE "NO PARKING" SIGNAGE ALONG BOTH SIDES OF THE STREET.
5. DEVELOPER TO DEDICATE 10' OF R.O.W. FOR FUTURE GOFORTH RD. IMPROVEMENTS AT THE TIME OF FINAL PLAT.

LEGEND

- PROPERTY BOUNDARY 
- RIGHT OF WAY 
- LOT LINE 
- EASEMENT 
- PHASE LINE 



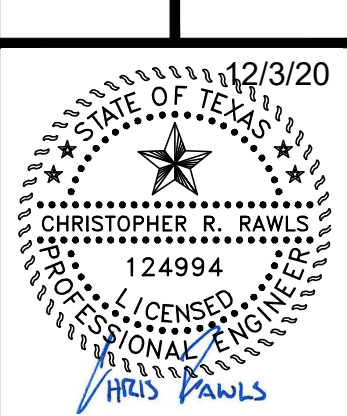
DATE	REV	DESCRIPTION

DESIGNED BY: STK
 REVIEWED BY: GWN
 DRAWN BY: STK



BGE, INC.
 1701 Directors Blvd, Suite 1000
 Austin, TX 78744 TEL: 214-581-3600
 www.bgeinc.com
 TPE Registration No. F-1046

TALAVERA SUBDIVISION
 PRELIMINARY PLAN - PHASES 1 & 2


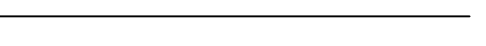
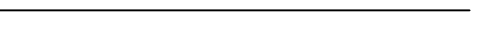
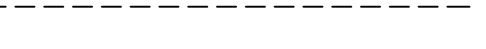



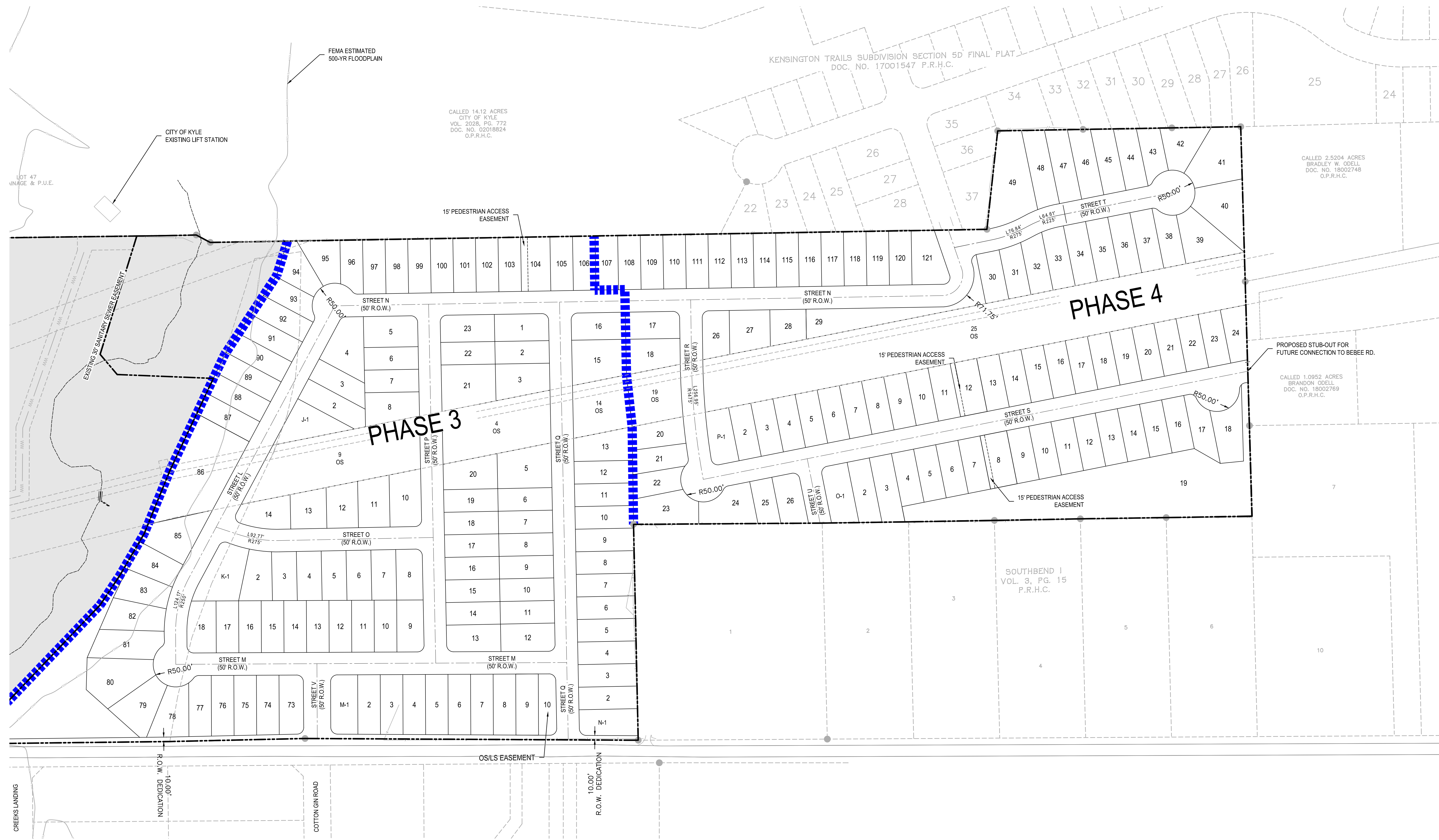
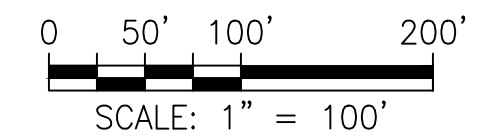
G:\TXO\Projects\DR\Harcott\6396-00_Goforth Kyle Tract\02 - Phase 1\03_CADD\01_ShisPreliminary Plan\3_Preliminary Plan - PHASES 1 & 2.dwg Layout: PHASES 1 & 2.dwg Plotter: 12/3/2020 8:15:14 AM By: jmartinez

NOTES:

1. THIS SUBDIVISION IS ENCRACED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND AS DEFINED BY FEDERAL EMERGENCY ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL NUMBERS 48209C0290F AND 48209C0405F, DATE EFFECTIVE SEPTEMBER 2, 2005.
2. THE TRACT DOES NOT LIE OVER THE EDWARDS AQUIFER RECHARGE ZONE (EARZ) OR CONTRIBUTING ZONE.
3. THE TRACT IS WHOLLY LOCATED WITHIN THE PLUM CREEK WATERSHED.
4. ALL STREETS LESS THAN 32' CURB TO CURB WILL REQUIRE "NO PARKING" SIGNAGE ALONG ONE SIDE. ALL STREETS LESS THAN 26' CURB TO CURB WILL REQUIRE "NO PARKING" SIGNAGE ALONG BOTH SIDES OF THE STREET.
5. DEVELOPER TO DEDICATE 10' OF R.O.W. FOR FUTURE GOFORTH RD. IMPROVEMENTS AT THE TIME OF FINAL PLAT.

LEGEND

- PROPERTY BOUNDARY 
- RIGHT OF WAY 
- LOT LINE 
- EASEMENT 
- PHASE LINE 



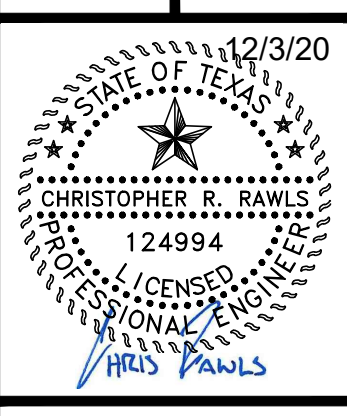
NO.	DATE	REV	DESCRIPTION

DESIGNED BY: STK
 REVIEWED BY: GWN
 DRAWN BY: STK



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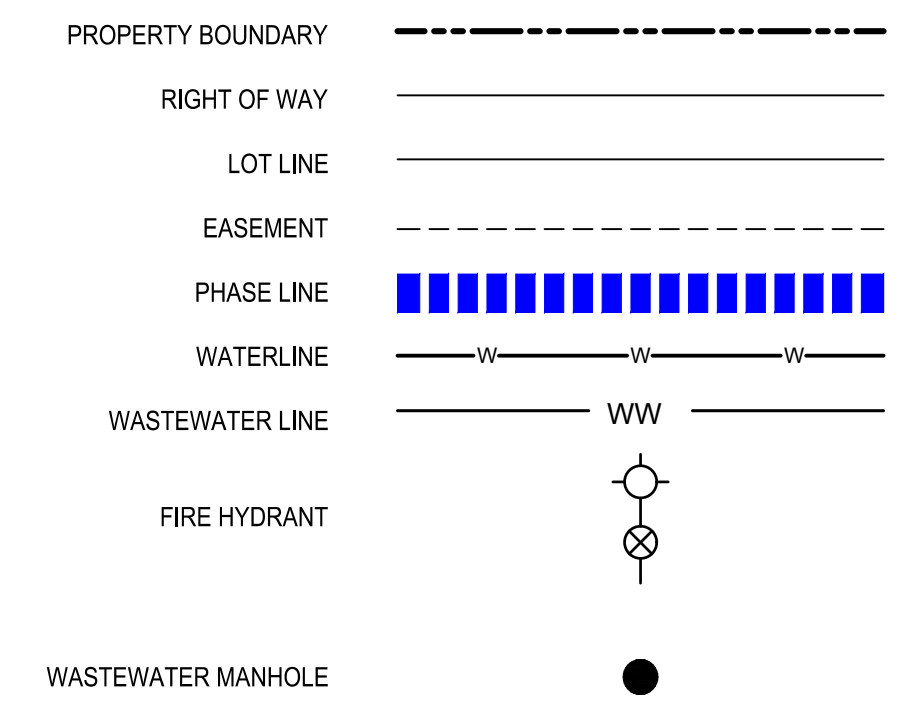
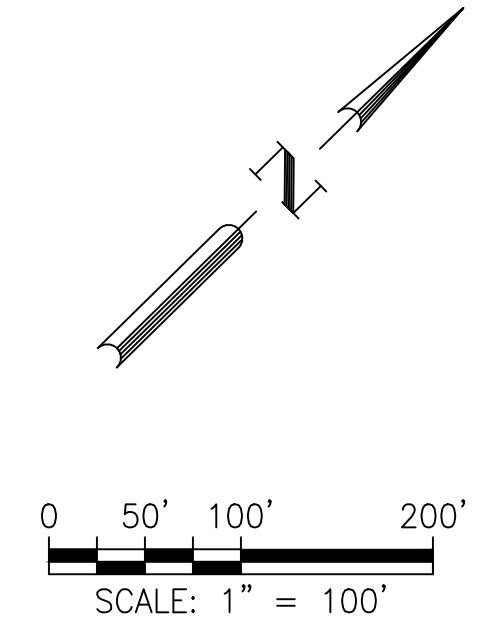
TALAVERA SUBDIVISION
 PRELIMINARY PLAN - PHASES 3 & 4



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NOTES:

1. THIS SUBDIVISION IS ENCLOSED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND AS DEFINED BY FEDERAL EMERGENCY ADMINISTRATION FLOOD HAZARD BOUNDARY MAP COMMUNITY PANEL NUMBERS 48209C0290F AND 48209C0405F, DATE EFFECTIVE SEPTEMBER 2, 2005.
2. THE TRACT DOES NOT LIE OVER THE EDWARDS AQUIFER RECHARGE ZONE (EARZ) OR CONTRIBUTING ZONE.
3. THE TRACT IS WHOLLY LOCATED WITHIN THE PLUM CREEK WATERSHED.
4. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY AND/OR HOMEOWNERS ASSOCIATIONS.
5. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
6. POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPED SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENT FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR AND MADE AVAILABLE FOR REVIEW BY THE CITY.
7. LOCATIONS OF WATER/WASTEWATER LINES AND APPURTENANCES ARE APPROXIMATE, AND CONSTRUCTION DOCUMENTS MUST BE APPROVED PRIOR TO PLACEMENT.



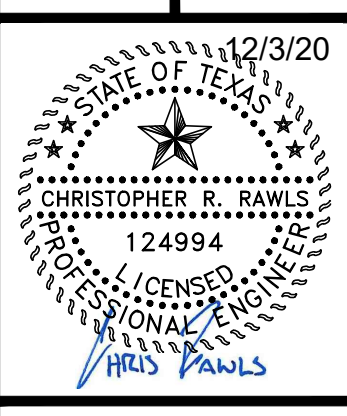
REV	DATE	DESCRIPTION

DESIGNED BY: STK
 REVIEWED BY: GWN
 DRAWN BY: STK



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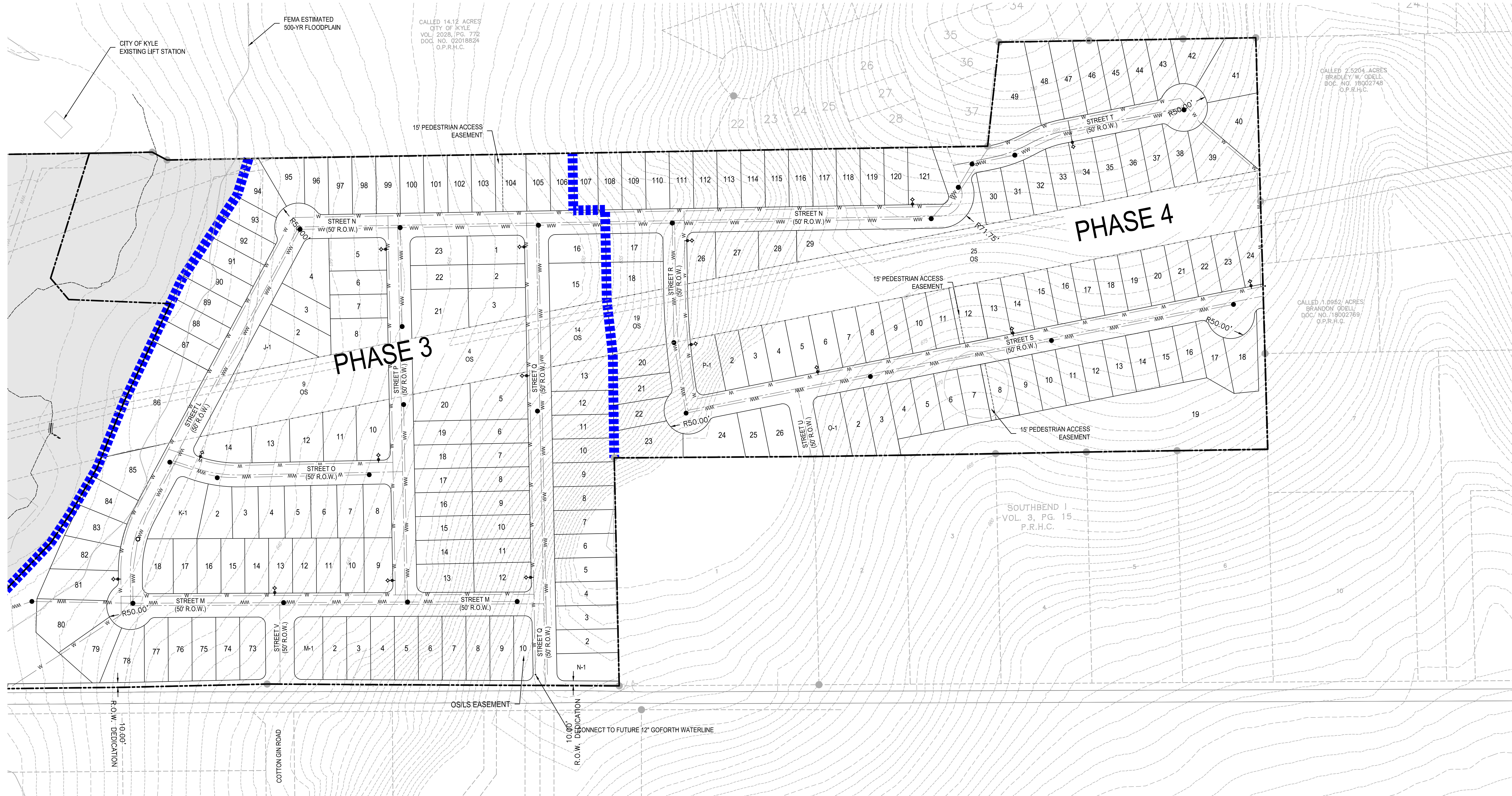
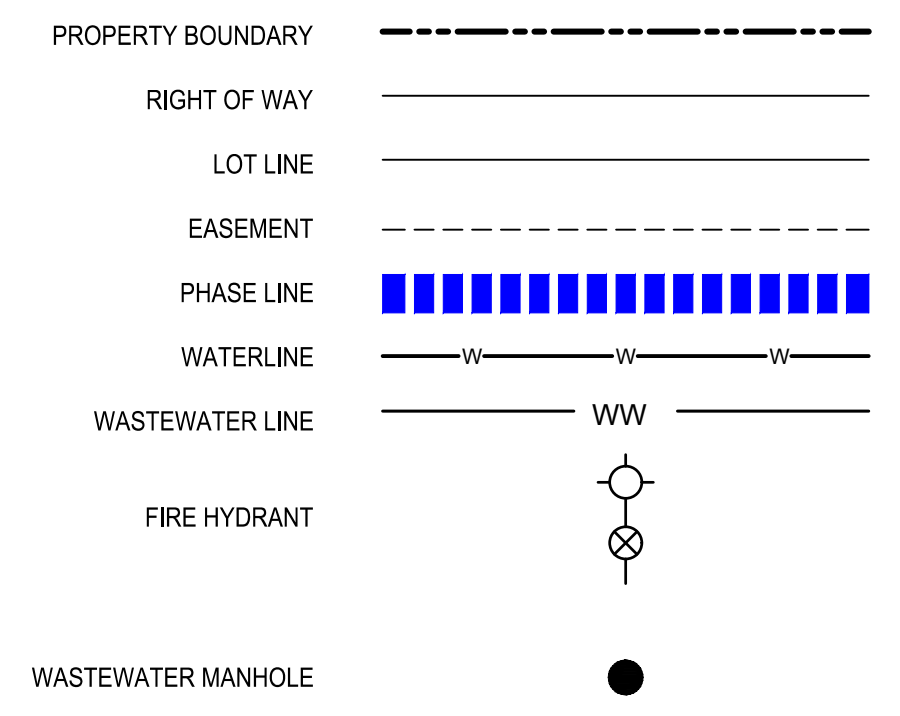
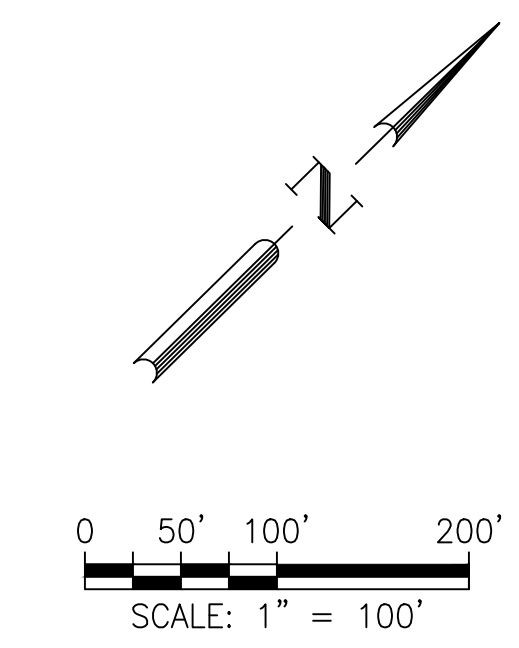
TALavera SUBDIVISION
 PRELIMINARY UTILITY PLAN (1 OF 2)



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NOTES:

- THIS SUBDIVISION IS ENCRAGED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND AS DEFINED BY FEDERAL EMERGENCY ADMINISTRATION FLOOD HAZARD BOUNDARY MAP COMMUNITY PANEL NUMBERS 48209C0290F AND 48209C0405F, DATE EFFECTIVE SEPTEMBER 2, 2005.
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- LOCATIONS OF WATER/WASTEWATER LINES AND APPURTENANCES ARE APPROXIMATE, AND CONSTRUCTION DOCUMENTS MUST BE APPROVE PRIOR TO PLACEMENT.



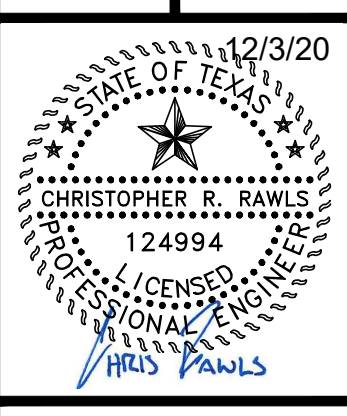
REV	DATE	DESCRIPTION

DESIGNED BY: STK
 REVIEWED BY: GWN
 DRAWN BY: STK



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 Austin, TX 78744 TEL: 210-581-3600
 www.bgeinc.com
 TBE Registration No. F-1046

TALavera SUBDIVISION
 PRELIMINARY UTILITY PLAN (2 OF 2)



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CITY OF KYLE, TEXAS

Plum Creek Phase 1, Section 11G
Replat of Lot 1B, Block A (SUB-
20-0156)

Meeting Date: 1/12/2021
Date time: 6:30 PM

Subject/Recommendation: Plum Creek Phase 1, Section 11G Replat of Lot 1B, Block A (SUB-20-0156) 2.139 acres; 2 commercial lots for property located at 4600 FM 1626.

Staff Proposal to P&Z: Approve the Replat.

Other Information: See attached.

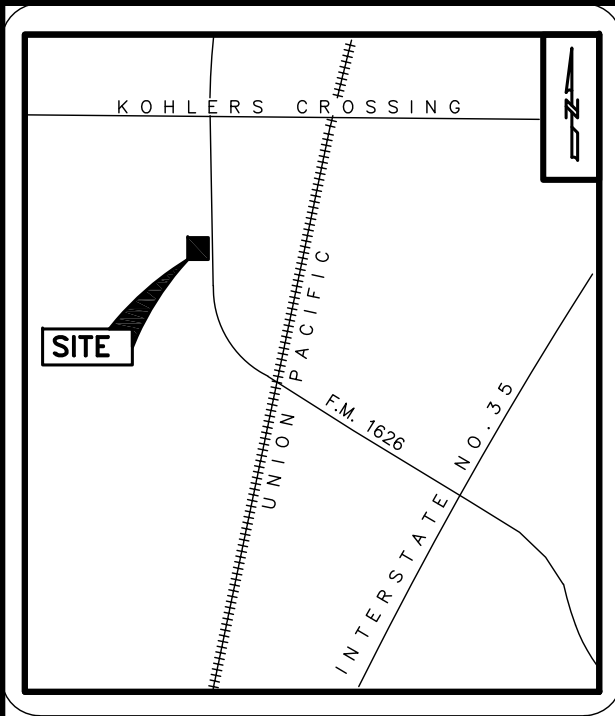
Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

□ Plat

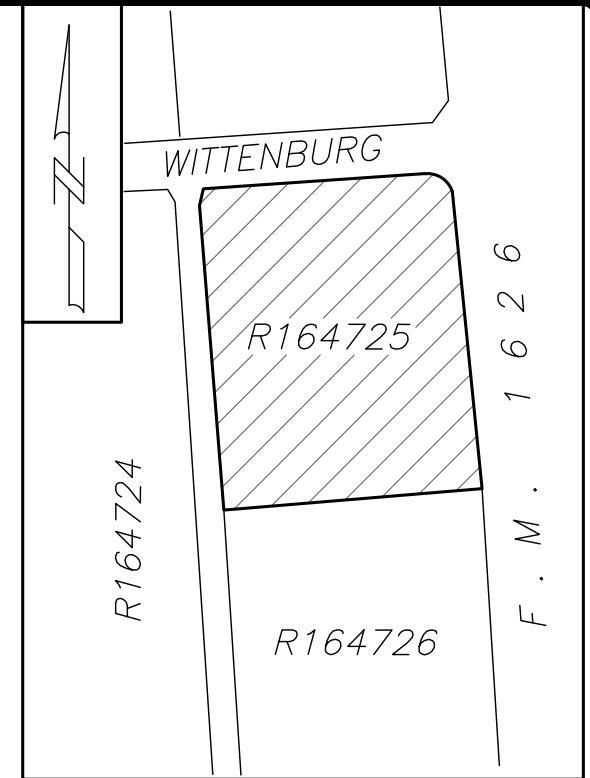


VICINITY MAP
N.T.S.

LOT 1, BLOCK A
(3.892 AC)
CROMWELL AT
PLUM CREEK LP
(R169008)
O.P.R.H.C.TX.

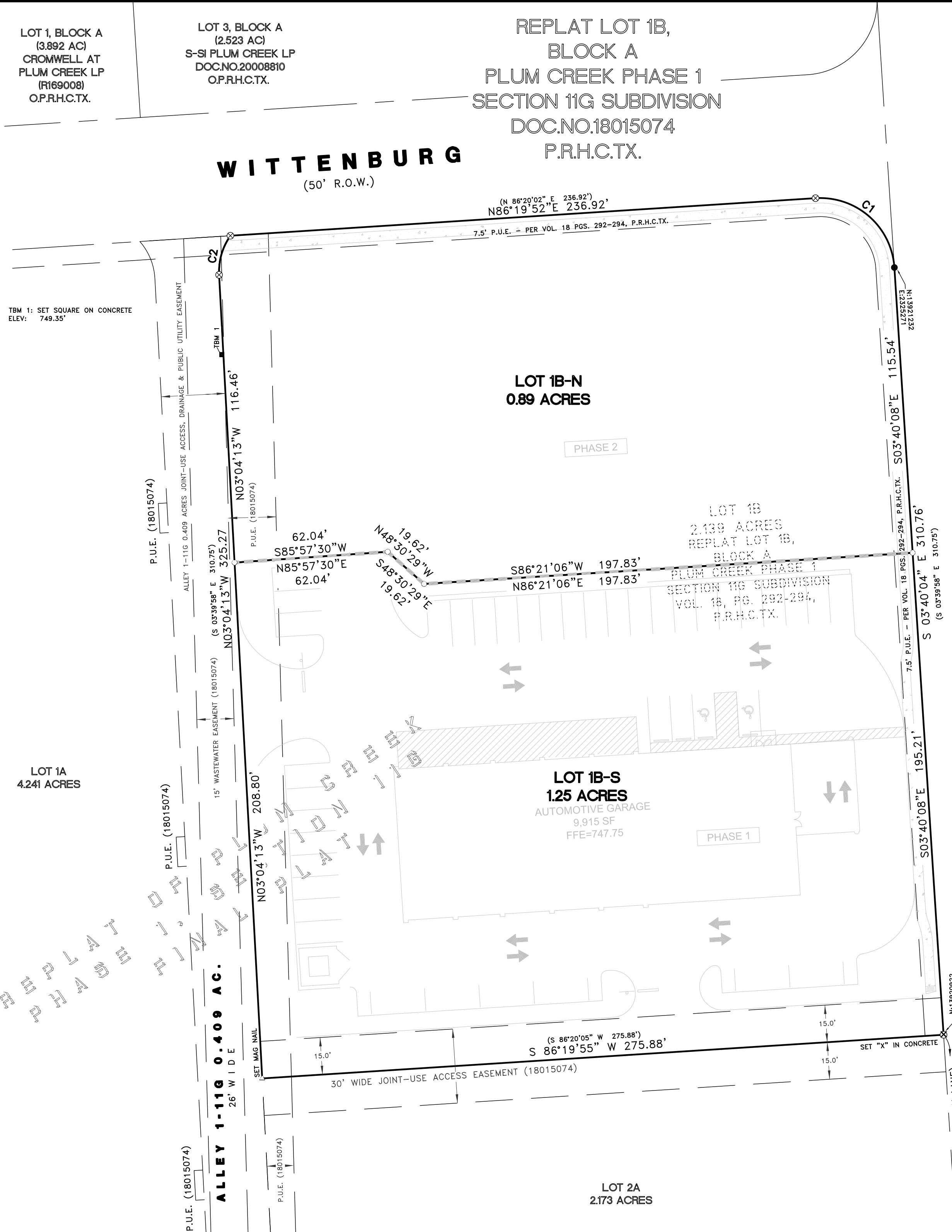
LOT 3, BLOCK A
(2.523 AC)
S-SI PLUM CREEK LP
DOC.NO.20008810
O.P.R.H.C.TX.

REPLAT LOT 1B,
BLOCK A
PLUM CREEK PHASE 1
SECTION 11G SUBDIVISION
DOC.NO.18015074
P.R.H.C.TX.



ORIGINAL LOT CONFIGURATION
N.T.S.

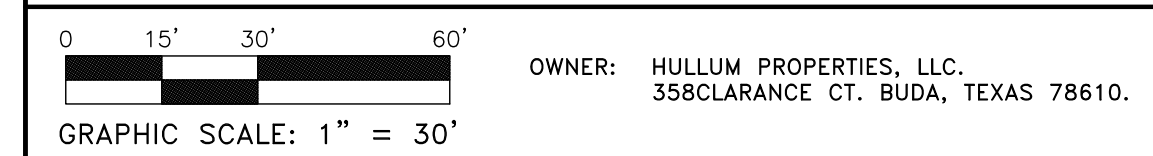
TBM 1: SET SQUARE ON CONCRETE
ELEV: 749.35'



- SCALE 1" = 30'
- LEGEND
- IRON PIPE FOUND
 - IRON ROD FOUND
 - IRON ROD SET
 - ⊗ CAPPED "RPLS 5687"
 - ⊗ CALCULATED POINT
 - ⊗ MAG NAIL SET
 - ⊗ POWER POLE
 - OVERHEAD ELECTRIC LINE
 - DOWN GUY
 - ⊗ ELECTRIC METER
 - WOOD FENCE
 - ⊗ ELECTRIC GROUND
 - ⊗ UNDERGROUND UTILITY MARKER SIGN
 - ⊗ SIGN POST
 - P.U.E. PUBLIC UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - ⊗ (BRG.-DIST) RECORD CALL
 - ⊗ STMH O STORM SEWER MANHOLE
 - ⊗ "X" IN CONCRETE

KYLE PARKWAY
(R.O.W. VARIES)
(F.M. HIGHWAY 1626)

REPLAT LOT 1B,
BLOCK A
PLUM CREEK PHASE 1
SECTION 11G SUBDIVISION
DOC.NO.18015074
P.R.H.C.TX.



OWNER: HULLUM PROPERTIES, LLC.
358CLARANCE CT. BUDA, TEXAS 78610.

ASH & ASSOCIATES
SURVEYING - PLANNING - ARCHITECTURE
"SERVING THE COMMUNITY OF TEXAS"

142 JACKSON LANE
SAN MARCOS, TEXAS 78666
(512) 392-1719
ashandassociates.net

Surveying:
100847-00
Architecture:
TX20240

DRAWN: MAM	SCALE: 1"=30'	REV. DATE	PROJECT No.
REVIEWED: RHT	DATE: 10/15/20	12/07/20	18-6936-B
©ASH & ASSOCIATES, L.L.C.			SHEET 1 OF 2

OWNER: HULLUM PROPERTIES, LLC.
358CLARANCE CT. BUDA, TEXAS 78610.

ACREAGE: 2.139 ACRES

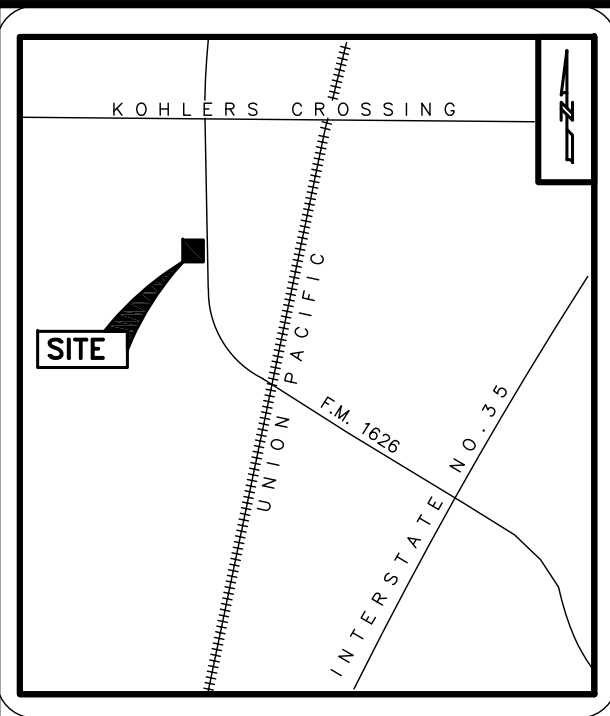
SURVEY: JESSE DAY, ABS. NO. 159

NUMBER OF LOTS: LOT 2

PROPOSED USE: COMMERCIAL

DATE: 10/15/2020

SURVEYOR: ASH AND ASSOCIATES
RICHARD H. TAYLOR
512 392 1719



VICINITY MAP
N.T.S.

REPLAT LOT 1B,
BLOCK A
PLUM CREEK PHASE 1
SECTION 11G SUBDIVISION
DOC.NO.18015074
P.R.H.C.TX.

REPLAT NOTES:

- 1) THIS SUBDIVISION IS SUBJECT TO ALL NOTES, COVENANTS AND RESTRICTIONS OF REPLAT OF PLUM CREEK PHASE 1, SECTION 11G, FINAL PLAT, RECORDED IN DOCUMENT NO.18015074, HAYS COUNTY PLAT RECORDS.
- 2) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR HAYS COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48209C0290F, DATED SEPTEMBER 2, 2005, THIS PROPERTY IS LOCATED IN ZONE "X"(UNSHADED), WHICH IS AN AREA OUTSIDE THE 100-YEAR FLOODPLAIN.
- 3) BEARING BASIS DERIVED BY GPS MEASUREMENTS ADJUSTED BY HARIN (HIGH ACCURACY REFERENCE NETWORK) & PROJECTED TO TEXAS STATE PLANE COORDINATES & NAD83 (HORIZONTAL) & NAVD88 (VERTICAL).
- 4) NO BUILDING, ACCESSORY BUILDING, FENCING OR LANDSCAPING WHICH INTERFERE WITH THE FLOW OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN A NATURAL DRAINAGE WAY OR DRAINAGE EASEMENT.
- 5) THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE ONE (1) LOT INTO TWO (2) LOTS BY REPLATTING LOT 1B, BLOCK A, OF REPLAT OF PLUM CREEK SECTION 11G SUBDIVISION, RECORDED IN DOCUMENT NO.18015074, OF THE PLAT RECORDS, HAYS COUNTY, TEXAS.
- 6) COMPLIANCE WITH EDWARDS AQUIFER PROTECTION PROGRAM REQUIREMENTS DURING ANY DEVELOPMENT OF THIS PROPERTY.
- 7) NO LOTS ARE TO BE OCCUPIED UNTIL OSSF PERMIT OR PUBLIC SEWER, WATER AND ELECTRICITY AND ROADS HAVE BEEN PROVIDED AND CONSTRUCTION IS COMPLETED AND APPROVED.
- 8) SIDEWALKS ALONG PUBLIC RIGHT-OF-WAY ADJACENT TO LOT 1A, LOT 1B, AND LOT 2A, BLOCK A SHALL BE INSTALLED BY THE OWNER OF LOT 1A, LOT 1B, AND LOT 2A, BLOCK A AT THE TIME OF SITE DEVELOPMENT AND PRIOR TO SUCH OWNER'S OCCUPANCY OF LOT 1A, LOT 1B, AND LOT 2A, BLOCK A. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO DEDICATE TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
- 9) NO OBJECT INCLUDING BUILDING, ACCESSORY BUILDING, FENCING OR LANDSCAPING WHICH WOULD INTERFERE WITH CONVEYANCES OF STORM WATER SHALL BE PLACES OR ERECTED WITHIN DRAINAGE EASEMENTS.
- 10) ALL UTILITIES WITHIN THIS SUBDIVISION SHALL BE UNDERGROUND.
- 11) ALL OPEN SPACES, DRAINAGE EASEMENT AND LANDSCAPE EASEMENTS AREAS DEPICTED HEREON SHALL BE MAINTAINED, KEPT NEATLY CUT, FREE FROM DEBRIS, AND WITH RESPECT TO DRAINAGE EASEMENTS, FREE FROM TREE/BRUSH RE-GROWTH BY THE COMMERCIAL PROPERTY OWNER'S ASSOCIATION (THE "POA") OR ITS SUCCESSORS OR ASSIGNS. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHTS-OF-WAY TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY OWNER OR HOME OWNERS ASSOCIATIONS.
- 12) THE OWNER OF LOT 1A, LOT 1B, AND LOT 2A, BLOCK A ARE REQUIRED TO SUBMIT THE SITE DEVELOPMENT PLAN FOR LOT 1A, LOT 1B, AND LOT 2A, BLOCK A TO THE CITY OF KYLE, PCDP, AND IF NOT THE SAME PARTIES AS ARE IN PCDP, THEN THE ARCHITECTURAL REVIEW COMMITTEE FOR THE POA, FOR THEIR RESPECTIVE REVIEWS AND APPROVALS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY ON OR AROUND LOT 1A, LOT 1B, AND LOT 2A, BLOCK A, INCLUDING WITHOUT LIMITATION, THE INSTALLATION OF THE SIDEWALKS AND ANY OTHER IMPROVEMENTS REQUIRED HEREIN.
- 13) PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOT 1A, LOT 1B, AND LOT 2A, BLOCK A IN THIS SUBDIVISION, SITE DEVELOPMENT AND/OR BUILDING PERMITS WILL BE OBTAINED FORM THE CITY OF KYLE.
- 14) THE LOTS SHALL BE ALLOWED TO UTILIZE MFR PARKING WHEN THE STRUCTURES ARE USED AS RENTAL PRODUCTS ON A SINGLE LOT (A SINGLE RESIDENTIAL OPERATION), BUT IF AND WHEN THE STRUCTURES ARE EITHER (1) SUBDIVIDED ONTO THEIR OWN LOTS OR (2) SOLD CONDOMINIUM FOR PRIVATE OCCUPANCY (MULTIPLE SINGLE OPERATIONS), THEN THE PARKING FOR EACH DWELLING NEEDS TO MEET THE CITY'S STANDARD FOR SFR.

CURVE TABLE				
CURVE #	ARC LENGTH	RADIUS	BEARING	CHORD LENGTH
C1	47.13'	30.00'	S48°40'08"E	42.43'
(C1)	(47.12')	(30.00')	(S48°39'58"E)	(42.43')
C2	16.81'	24.50'	N16°05'03"E	16.48'
(C2)	(16.81')	(24.50')	(N16°05'13"E)	(16.48')

STATE OF TEXAS *
COUNTY OF HAYS *
KNOW ALL MEN BY THESE PRESENTS

THAT, HULLUM PROPERTIES, LLC., OWNER OF 2.139 ACRES OF LAND, LOT 1B, BLOCK A, REPLAT OF PLUM CREEK PHASE 1, SECTION 11G, FINAL PLAT, RECORDED IN DOCUMENT NO. 18015074, PLAT RECORDS, HAYS COUNTY, TEXAS, SITUATED IN THE JESSE DAY SURVEY, ABSTRACT NO. 159, HAYS COUNTY, TEXAS, SAME BEING CONVEYED BY WARRANTY DEED TO SAID HULLUM PROPERTIES, LLC., DATED OCTOBER 24, 2018 AND RECORDED IN DOCUMENT NO. 18037944, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS, DO HEREBY REPLAT SAID LOT 1B, BLOCK A, 2.139 ACRES OF LAND, INTO "REPLAT OF LOT 1B - BLOCK A, PLUM CREEK, PHASE 1, SECTION 11G", AND DEDICATE TO THE USE OF ALL PUBLIC STREETS, ALLEYS, PARKS, DRAINS, WATERCOURSES, EASEMENTS AND PUBLIC PLACES SHOWN ON THIS PLAT. WE FURTHER CERTIFY THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

HULLUM PROPERTIES LLC DATE
358 CLARENCE CT. BUDA, TEXAS 78610.

STATE OF TEXAS *
COUNTY OF HAYS *

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRADLEY HULLUM, OWNER OF HULLUM PROPERTIES LLC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, A.D., 2020.

NOTARY PUBLIC
STATE OF TEXAS

ALL MAILBOXES LOCATED IN THE RIGHT OF WAY SHALL BE OF AN APPROVED TXDOT OR FHWA APPROVED DESIGN

EDWARDS AQUIFER NOTE:
THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE TRANSITION ZONE OF THE EDWARDS AQUIFER.

PLAT INFORMATION:		
TOTAL AREA: 2.139 ACRES	NUMBER OF LOTS OVER 10 ACRES:	0
TOTAL NUMBER OF LOTS: 2	NUMBER OF LOTS 5-10 ACRES:	0
	NUMBER OF LOTS 2-5 ACRES:	0
	NUMBER OF LOTS 1-2 ACRES:	1
AVERAGE SIZE OF LOTS: 1.07 ACRES	NUMBER OF LOTS LESS THAN 1 ACRES:	1

SERVICE NOTES:

THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE CITY OF KYLE TEXAS.

UTILITY INFORMATION:
WATER: CITY OF KYLE
SEWER: CITY OF KYLE
ELECTRICITY: PEDERNALES ELECTRIC
TELEPHONE: SPECTRUM

DISTRICTS:
THIS SUBDIVISION LIES WITHIN THE AUSTIN COMMUNITY COLLEGE DISTRICT
THIS SUBDIVISION LIES WITHIN THE HAYS CONSOLIDATED INDEPENDENT SCHOOL DISTRICT
THIS SUBDIVISION LIES WITHIN THE SOUTH HAYS FIRE DEPARTMENT/ EMERGENCY SERVICE DISTRICT NO. 5 & NO. 9 AND IS SUBJECT TO THE FIRE CODES OF HAYS COUNTY.
PLUM CREEK GROUND WATER CONSERVATION DISTRICT

PLANNING AND COMMUNITY DEVELOPMENT CERTIFICATION.

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT OF THE CITY OF KYLE, TEXAS, AND IS HEREBY APPROVED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.

DATED THIS ____ DAY OF _____, 2020.

MAYOR TRAVIS MITCHELL
CITY COUNCIL

JENNIFER HOLM DATE MICHELLE CHRISTIE DATE
CITY SECRETARY CHAIRPERSON

REVIEWED BY:

CITY ENGINEER DATE

DIRECTOR OF PUBLIC WORKS DATE

STATE OF TEXAS *
COUNTY OF HAYS *

I, RICHARD H. TAYLOR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS OR VISIBLE UTILITY LINES OR ROADS IN PLACE UNLESS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN HEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF KYLE.

PRELIMINARY SUBJECT TO REVIEW 12/07/2020

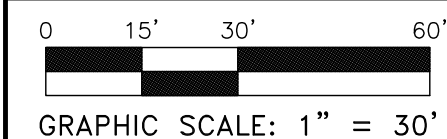
RICHARD H. TAYLOR DATE
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS, NO. 3986

STATE OF TEXAS *
COUNTY OF HAYS *

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 2020, AT _____ O'CLOCK __.M., AND RECORDED ON THE ____ DAY OF _____, 2020 AT _____ O'CLOCK __.M., IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN INSTRUMENT # _____.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

REPLAT LOT 1B,
BLOCK A
PLUM CREEK PHASE 1
SECTION 11G SUBDIVISION
DOC.NO.18015074
P.R.H.C.TX.



OWNER: HULLUM PROPERTIES, LLC.
358CLARENCE CT. BUDA, TEXAS 78610.

ASH & ASSOCIATES
SURVEYING - PLANNING - ARCHITECTURE
SERVING THE COMMUNITY OF TEXAS

142 JACKSON LANE
SAN MARCOS, TEXAS 78666
(512) 392-1719
ashandassociates.net

Surveying:
100847-00
Architecture:
TX20240

DRAWN: MAM	SCALE: 1"=30'	REV. DATE	PROJECT No.
REVIEWED: RHT	DATE: 10/15/20	12/07/20	18-6936-B
©ASH & ASSOCIATES, L.L.C.			SHEET 2 OF 2



CITY OF KYLE, TEXAS

Howerton Plum Creek - Site Plan (SD-20-0079)

Meeting Date: 1/12/2021
Date time:6:30 PM

Subject/Recommendation: Howerton Plum Creek - Site Plan (SD-20-0079) 2.976 acres; 1 commercial lot for property located at 4282 S. FM 1626.

Staff Proposal to P&Z: Approve the Site Plan.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

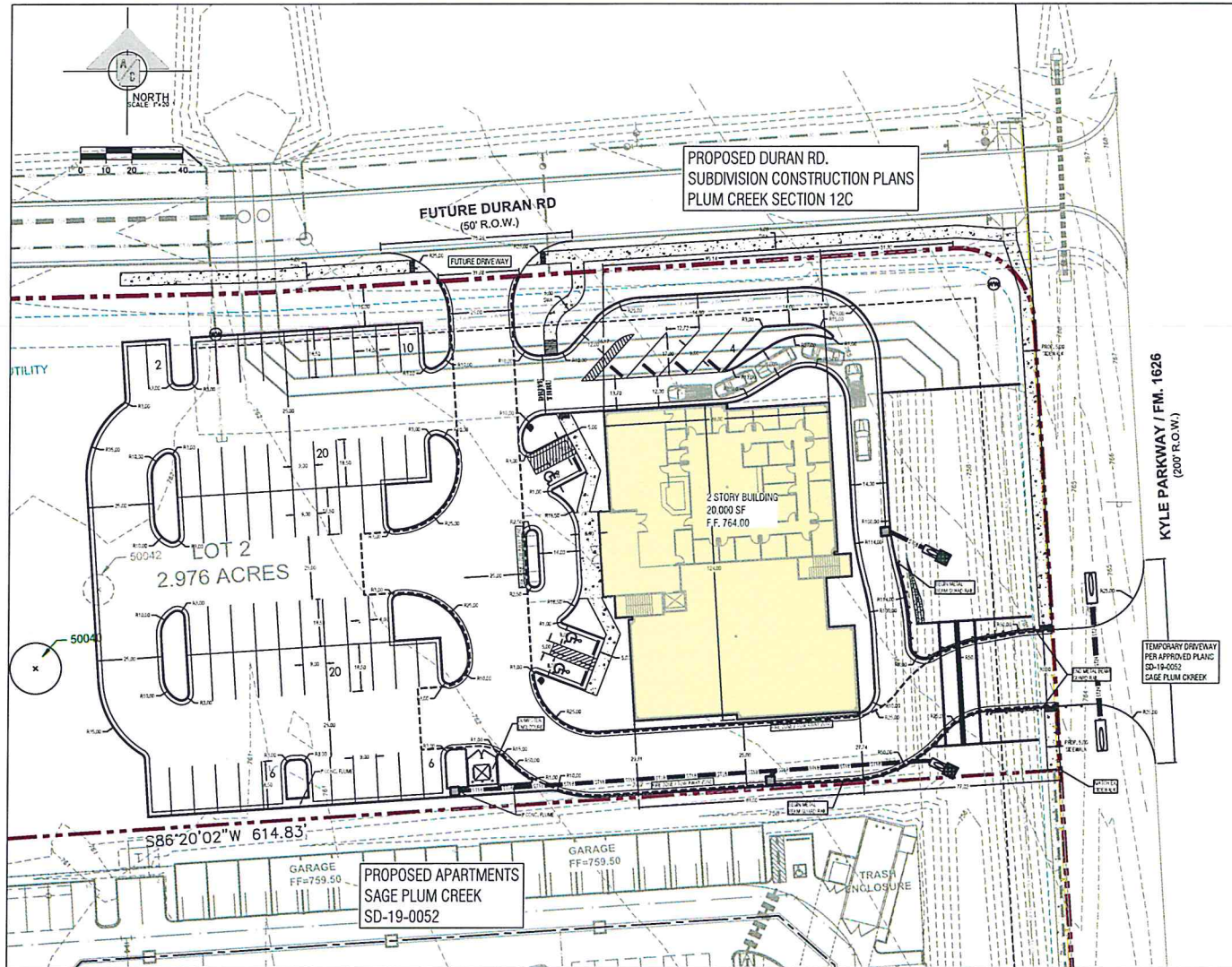
- Site and Landscape Plan



DATE	REVISIONS	APPROVED BY

DATE: 12/27/20
 TIME: 10:00 AM
 DRAWN BY: JAC
 CHECKED BY: JAC

DIMENSIONAL SITE & FIRE LANE PLAN
 8
 of 20



LEGEND

PROPOSED	DESCRIPTION
—	BOLLARD
—	BOSS POST
—	OVERHEAD ELEC. LINE
—	UNDERGROUND ELEC. LINE
—	STORAGE TANK
—	STORAGE TANK
—	WATER LINE
—	WASTE WATER LINE
—	FORCE MAIN
—	EXISTING WATER LINE
—	EXISTING WASTE WATER LINE
—	LESS LINE
—	PROPERTY LINE
—	EASIMENT
—	FOUND HOLE PVI
—	POWER POLE
—	POW. OUT
—	FIRE HYDRANT
—	WATER VALVE
—	WATER METER
—	GAS VALVE
—	REGULATOR
—	GAS VALVE
—	METAL FENCE
—	WICK FENCE
—	WASTE WATER MANHOLE
—	MANHOLE
—	CLEAN OUT
—	DRAINAGE ALLET
—	HANDICAP PARKING
—	ELECTRIC CHAL. BOX
—	ELECTRIC METER
—	ELECTRIC TRANSFORMER
—	TELEPHONE SERVICE BOX
—	8' x 11.5' PARKING SPACE
—	PROPOSED SPOT GARAGE
—	PROPOSED FINISHED GRADE
—	PROPOSED DRAINAGE AREA
—	LIMITS OF CONSTRUCTION
—	SPOILS AND STORAGE AREA
—	TRICE FENCE TYP.
—	SILT FENCE TYP.
—	CONSTRUCTION ENTRANCE
—	ACCESSIBLE ROUTE
—	TREE TO BE SAVED
—	TREE TO BE REMOVED

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Howerton Eye Clinic Impervious Cover Table:

	Grass Site Area = 2.976 acres	TOTAL Sq. ft.	percent %
Buildings =	129,833 square feet	10,807	8.34%
Parking and Drives =		46,004	35.56%
Schwabacher =		1,677	1.29%
Total Proposed Impervious Cover =		58,578	45.19%
		1.34	AC

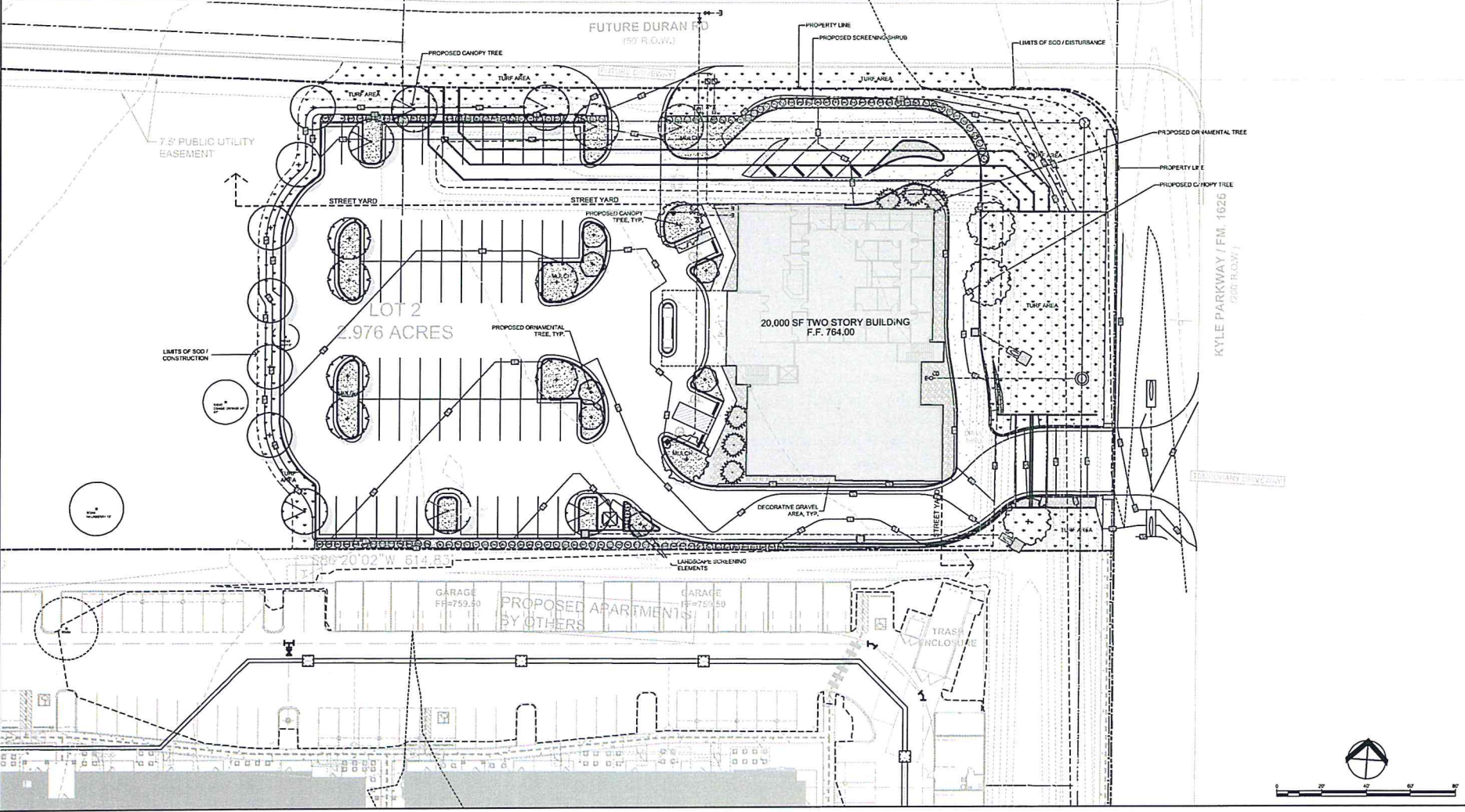
Howerton Eye Clinic Parking Requirements:

	sq. ft.	1,000	Total Required Parking
General Retail	20,000	3.5 to 1,000 sq ft.	70
			0
Total Required =			70
Handicap Requirements:			
Total Required Handicap			3
Proposed No. Spaces			3
Proposed Required Spaces			69
Proposed Compact Spaces			9
Total Parking Provided =			71

CASE NO. SD-20-0079

LARGE SHADE TREES		
SYMBOL	COMMON NAME	SIZE AND(SHADE)
	Mexican Sycamore	3" caliper minimum
	Shumard Red Oak	3" caliper minimum
	Live Oak	3" caliper minimum
	Cedar Elm	3" caliper minimum

ORNAMENTAL TREES		
SYMBOL	COMMON NAME	SIZE AND CONDITION
	Redbud, Texas	2" caliper minimum
	Desert Willow	2" caliper minimum



REVISIONS	Description
Date	



**HOWERTON CLINIC - PLUM CREEK
CITY OF KYLE, TEXAS
LANDSCAPE SUBMITTAL PLAN**

DATE: 11-02-20
SCALE: 1"=20'-0"



Sheet:
L1 of L2
JOB#: E106-13

LARGE SHADE TREES				
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE AND(SHADE)
	8	Mexican Sycamore	Platanus mexicana	3" caliper minimum
	5	Shumard Red Oak	Quercus shumardii var. Texana	3" caliper minimum
	6	Live Oak	Quercus virginiana var. Cathedral	3" caliper minimum
	6	Cedar Elm	Ulmus crassifolia	3" caliper minimum

ORNAMENTAL TREES				
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
	7	Redbud, Texas	Cercis canadensis var. texensis	2" caliper minimum
	6	Desert Willow	Chilopsis linearis	2" caliper minimum

SHRUBS				
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
	68	Big Muhly	Muhlenbergia lindheimeri	3 gallon, 30" ht. minimum
	26	Double Knockout Rose	Rosa x 'Radiko'	3 gallon, 30" ht. minimum
	24	Rosemary, Upright	Rosmarinus officinalis	3 gallon, 30" ht. minimum
	11	Soft Yucca	Yucca recurvifolia	3 gallon, 30" ht. minimum

TURF GRASS / MISC				
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
	ref. plan	Tiffway 419 Bermuda grass	Cynodon 'TIFF 419'	solid sod
	ref. plan	3" Cafe River Rock		Installed a min. of 4" depth w. weed mat

LANDSCAPE CALCULATIONS		
Total Site Area	Required	Provided
	N/A	79,539 (LOC)
Total Req. Landscape Area (10%)	7,954 s.f.	21,209 s.f.
STREET/YARD LANDSCAPE		
Streetyard Landscape Area (35%)	11,411 s.f.	14,952 s.f.
ADDITIONAL LANDSCAPE REQ.		
7,954 s.f. / 600 = 19	Required	Provided
19 x 2 = 38 trees	38 Trees	38 Trees
19 x 4 = 76 shrubs	76 Shrubs	129 Shrubs
TREE MITIGATION		
No trees removed on this site.		

- GENERAL LANDSCAPE CONSTRUCTION NOTES**
- Contractor shall provide all labor and materials necessary to complete the work shown on the plans.
 - All proposed landscaping is to be installed as per local city ordinances and codes. Notify owner's representative and landscape architect of any discrepancies prior to construction.
 - All plant material shall comply with plant size per container as stated by the American Association of Nurseryman.
 - Plants are subject to inspection and approval by the landscape architect. Plants required for the site may be inspected and tagged at growing site before delivery.
 - Groundcover bed preparation shall be 2 inches of planting mix tilled 8 inches into bed areas.
 - Shrubs and trees shall be pocket planted. Excavate planting hole 1-1/2 times the width and height of the root ball. Backfill with 1/3 planting mix, 1/3 native soil and 1/3 sandy loam.
 - Grading shall provide positive drainage away from buildings and other structures. Fine grade for positive drainage to prevent ponding.
 - Quantities provided in the plant list are for general use only, contractor is responsible for verification of all plant quantities.
 - Contractor is responsible for quality of workmanship, superintendence and scheduling of work.
 - Contractor is responsible for removal of trash and job safety conditions.
 - Contractor to provide (1) year warranty on all plant material.

REVISIONS	Description
Date	

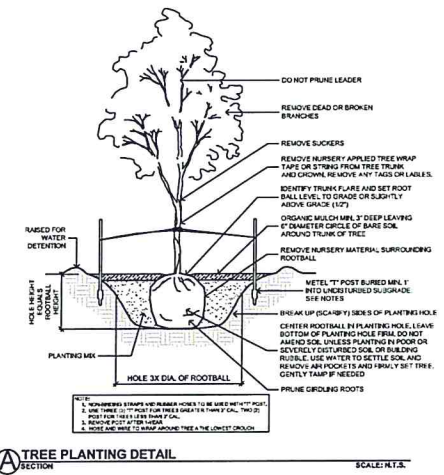


HOWERTON CLINIC - PLUM CREEK
 CITY OF KYLE, TEXAS
 LANDSCAPE SUBMITTAL NOTES AND DETAILS

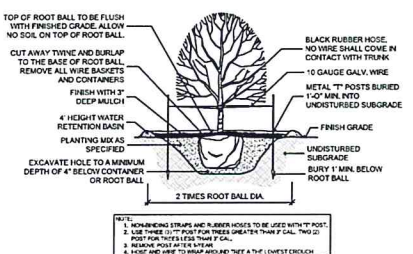
DATE: 11-02-20
SCALE: AS SHOWN



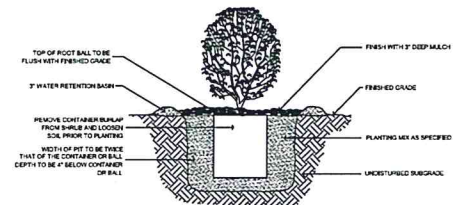
Sheet:
L2 of L2
JOB#: E106-13



A TREE PLANTING DETAIL SECTION SCALE: N.T.S.



B ORNAMENTAL TREE PLANTING DETAIL SECTION SCALE: N.T.S.



C SHRUB PLANTING DETAIL SECTION SCALE: N.T.S.



CITY OF KYLE, TEXAS

Silberberg Phase 2 - Site Plan (SD-20-0086)

Meeting Date: 1/12/2021
Date time: 6:30 PM

Subject/Recommendation: Silberberg Phase 2 - Site Plan (SD-20-0086) 2.427 acres; 1 commercial lot for property located at 4210 Benner Road.

Staff Proposal to P&Z: Approve the Site Plan.

Other Information:

Legal Notes:

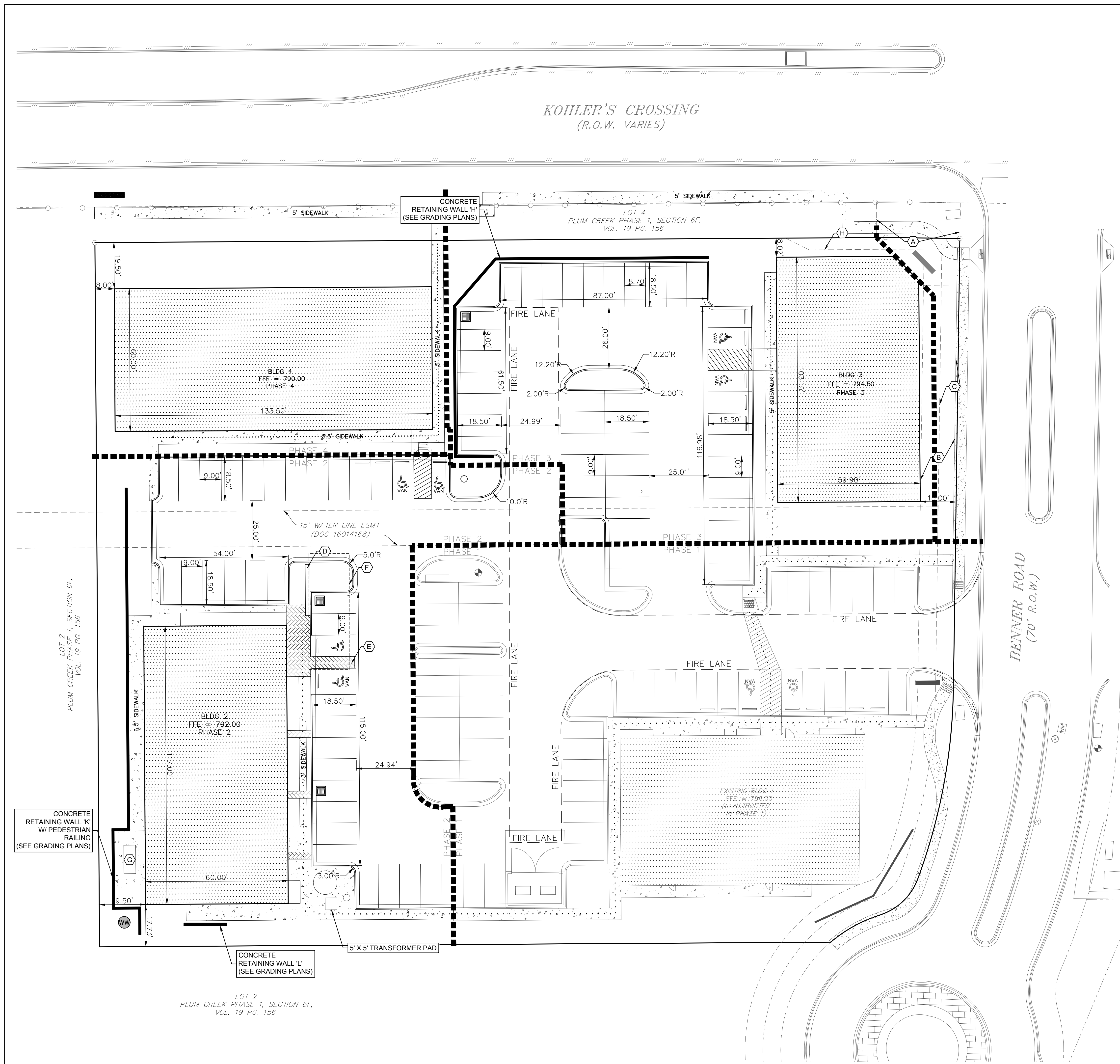
Budget Information:

ATTACHMENTS:

Description

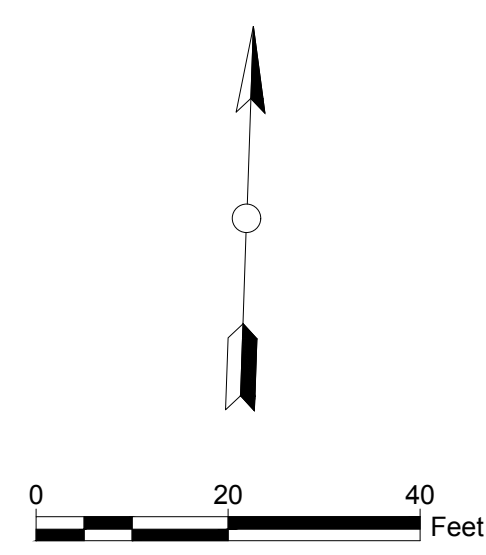
- Site Plan
- Landscape Plan

KOHLER'S CROSSING
(R.O.W. VARIES)



LEGEND

- PROPERTY LINE
- EXIST POWER POLE
- EXIST GUY WIRE ANCHOR
- LIGHT POLE
- ELECTRIC RISER POLE
- EXISTING TREE
- CURB AND GUTTER
- FIRE LANE
- PROPOSED SIGN
- HANDICAP SYMBOL
- HANDICAP ACCESSIBLE ROUTE



TAG # CALLOUT

A	SIGN EASEMENT - VOL. 19, PG. 156
B	15' LANDSCAPE AND PEDESTRIAN EASEMENT - VOL. 19, PG. 156
C	7.5' P.U.E. - VOL. 19, PG. 156
D	BUILDING SIGN WALL (SEE ARCH PLANS)
E	BRICK PAVERS ON CONCRETE (SEE ARCH PLANS)
F	DASHED LINE REPRESENTS PORTE COCHERE (SEE ARCH PLANS)
G	BACKUP GENERATOR ENCLOSURE (SEE ARCH AND MEP PLANS)
H	LANDSCAPE EASEMENT - VOL. 19, PG. 156

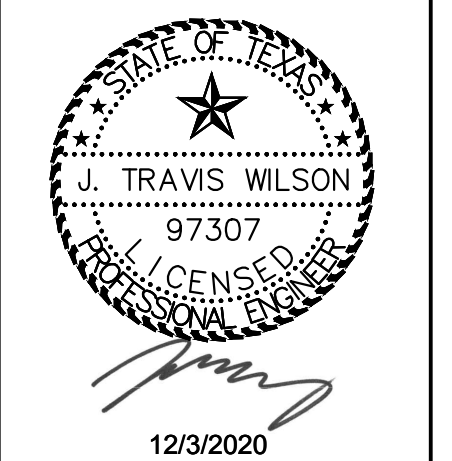
- NOTES:**
- SEE EXISTING RECORDED PLAT FOR SITE BOUNDARY AND EASEMENT INFORMATION.
 - SEE LANDSCAPE PLANS FOR LOCATIONS OF PROPOSED PLANTINGS, BENCHES, TRASH RECEPTACLES, FURNITURE AND BICYCLE RACKS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING AND FACE OF RETAINING WALL UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE NOTED, ALL PARKING LOT RADII ARE 3'.
 - ALL SIGNS SHALL COMPLY WITH THE CURRENT EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - CONTRACTOR SHALL CALL ONE-CALL CENTER (1-800-545-8005) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN EASEMENTS OR STREET R.O.W.
 - A MINIMUM VERTICAL CLEARANCE OF 14'-0" IS REQUIRED FOR ALL DRIVEWAYS AND INTERNAL CIRCULATION AREAS ON SITE.
 - EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE.
 - SEE ARCHITECTURAL PLANS FOR COMPLETE BUILDING DIMENSIONS.
 - ALL THOROUGHFARES DESIGNATED "FIRE LANE" ON THIS SITE PLAN SHALL HAVE RED CURB WITH WHITE STENCILING READING "FIRE LANE / NO PARKING" IN LETTERING AT LEAST 3-INCHES HIGH, THE STENCILING SHALL BE AT INTERVALS 30 FEET OR LESS. PAINT ASPHALT IN FRONT OF DUMPSTER LOCATION ONLY.
 - SEE ARCHITECTURAL PLANS FOR SITE LIGHTING PLAN AND DETAILS.
 - WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.
 - SEE SHEET 21 FOR PAVEMENT PLAN.
 - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH CROSS SLOPES OF LESS THAN 2.0% AND RUNNING SLOPES OF LESS THAN 5.0% SLOPES FOR ALL SIDEWALKS ADJACENT TO ALL PROPOSED DOORS, HANDICAPPED PARKING AREAS AND AT ALL SIDEWALK INTERSECTIONS AND/OR TURNS SHALL BE LESS THAN 2.0% IN ALL DIRECTIONS.
 - EACH BUILDING SHALL HAVE AN INDIVIDUAL KNOX BOX. IN ADDITION TO BUILDING KEYS, THE OWNER SHALL PROVIDE A KEY TO THE LOCK ON THE LADDER FOR EACH BUILDING.
 - REAR DOORS OF EACH SUITE SHALL BE LABELED WITH THE SUITE NUMBER AND BUSINESS NAME FOR FIRE DEPARTMENT IDENTIFICATION.

	PHASE 1	PHASES 1 & 2	PHASES 1, 2 & 3	PHASES 1, 2, 3 & 4
TOTAL AREA (S.F.)			105,720	
TOTAL AREA (AC.)			2,427	
PROPOSED CONDITIONS:				
TOTAL FLOOR AREA (SF)	6,382	13,402	19,535	27,545
FLOOR AREA RATIO	.06 : 1.00	.13 : 1.00	0.18 : 1.00	0.26 : 1.00
TOTAL IMPERVIOUS COVER (SF)	28,866	51,831	71,016	80,202
TOTAL IMPERVIOUS COVER (AC)	0.66	1.19	1.63	1.84
TOTAL IMPERVIOUS COVER (%)	27.3	49.0	67.2	75.9
BUILDING COVERAGE (SF)	6,382	13,402	19,535	27,545
BUILDING COVERAGE (%)	6.0	12.7	18.5	26.1
PARKING SUMMARY:				
ACCESSIBLE SPACES	2	6	8	8
STANDARD SPACES	49	81	119	119
TOTAL SPACES	51	87	127	127
PARKING RATIO	128	152	153	215

LEGAL DESCRIPTION: LOT 3, BLOCK A, PLUM CREEK PHASE 1, SECTION 6F
PER SECTION 53-33 (N)(4) OF CITY OF KYLE CODE, UP TO 50% OF THE STANDARD PARKING SPACES MAY BE BETWEEN 8.5' AND 9.0' IN WIDTH. THIS PROJECT PROPOSES 61 STANDARD SPACES 9.0' OR WIDER AND 59 STANDARD SPACES BETWEEN 8.7' AND 9.0' IN WIDTH (49%)

- ACCESSIBILITY NOTES:**
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
 - ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
 - ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
 - GROUND SURFACES ALONG ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT.

MillerGRAY
Consulting • Engineering • Infrastructure
7320 N. McPac Expressway, Suite 203
Austin, Texas 78731
Phone (512) 861-5300
www.millergray.com
TBPE FIRM REG. NO. F-16302

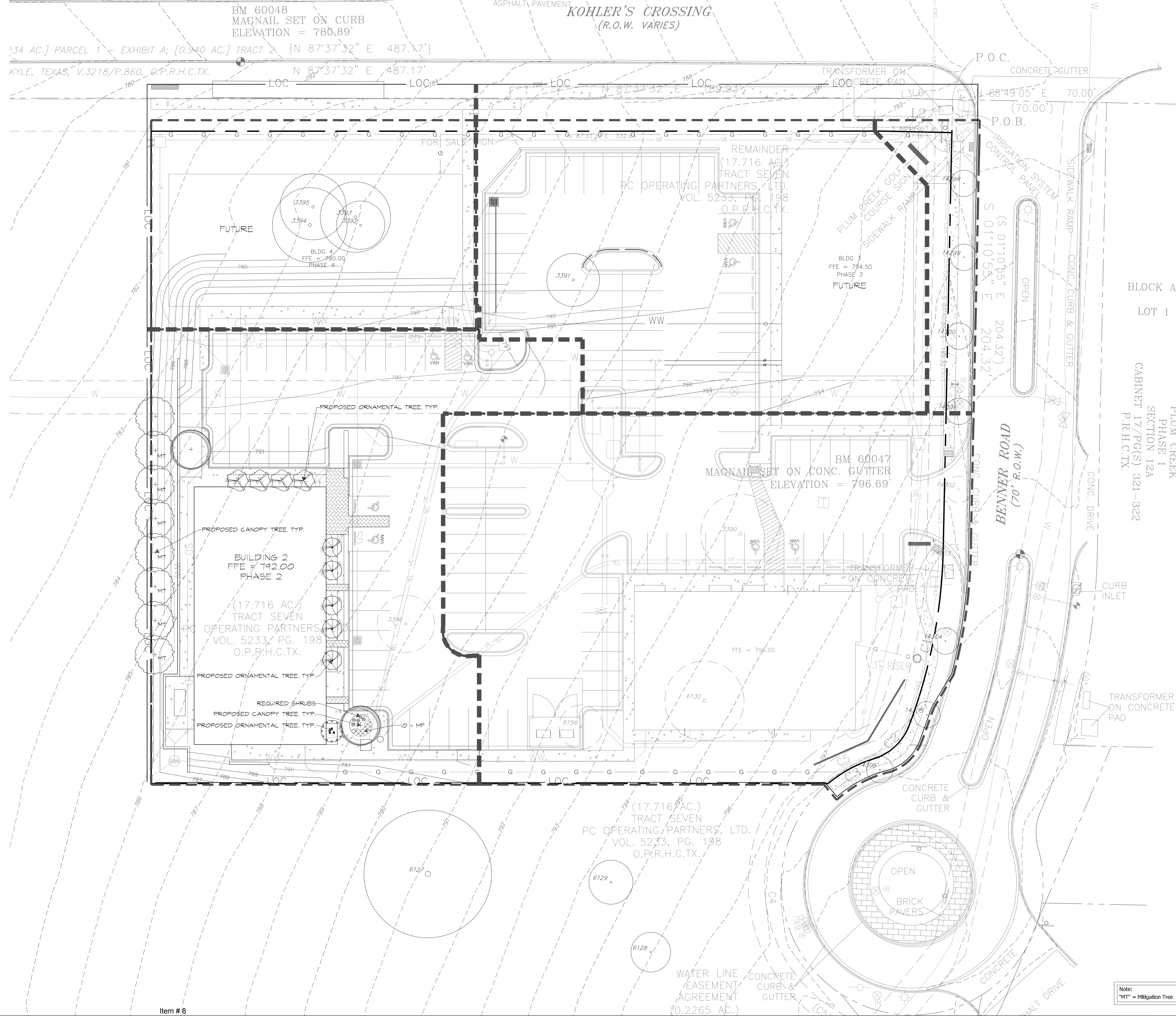


SILBERBERG DEVELOPMENT
4210 BANNER, KYLE, TEXAS

SITE PLAN

PROJECT NUMBER	REVISIONS/CORRECTIONS		DATE	DESCRIPTION
	NO.	BY		
00286-001	R2	JTW	10/13/20	REPLACEMENT SHEET
DATE:	DESIGNED:		CHECKED:	
12/3/2020	KKE		JTW	

SHEET NO.
4 of 26
SUB-20-0109



BM 60048
MAGNAIL SET ON CURB
ELEVATION = 780.89'
{34 AC.} PARCEL 1 - EXHIBIT A; {0.940 AC.} TRACT 2 {N 87°37'32" E 487.17'}
KYLE, TEXAS, V.3218/P.860, O.P.R.H.C.T.X.

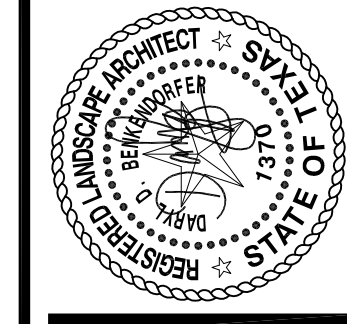
ASPHALTY PAVEMENT
KOHLER'S CROSSING
(R.O.W. VARIES)

BLOCK A
LOT 1
PLUM CREEK
PHASE 1
SECTION 12A
CABINET 17/PG(S) 321-322
P.R.H.C.T.X.

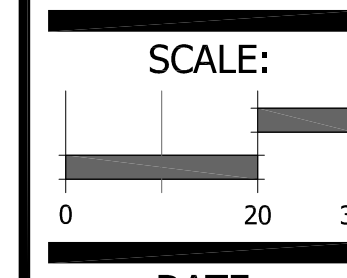
WATER LINE
EASEMENT
AGREEMENT
(0.2265 AC.)

Note:
"MT" = Mitigation Tree

DATE	REVISIONS	COMMENTS
07/14/20	1	REPLACEMENT SHEET
12/04/20	2	REPLACEMENT SHEET



SILBERBERG DEVELOPMENT
4210 BENNER ROAD, KYLE, TEXAS
CITY SUBMITTAL LANDSCAPE PLAN



DATE:
10/14/20



3701 Bee Cave Road
Austin, TX 78746
P 512 366 3109
F 512 369 3465

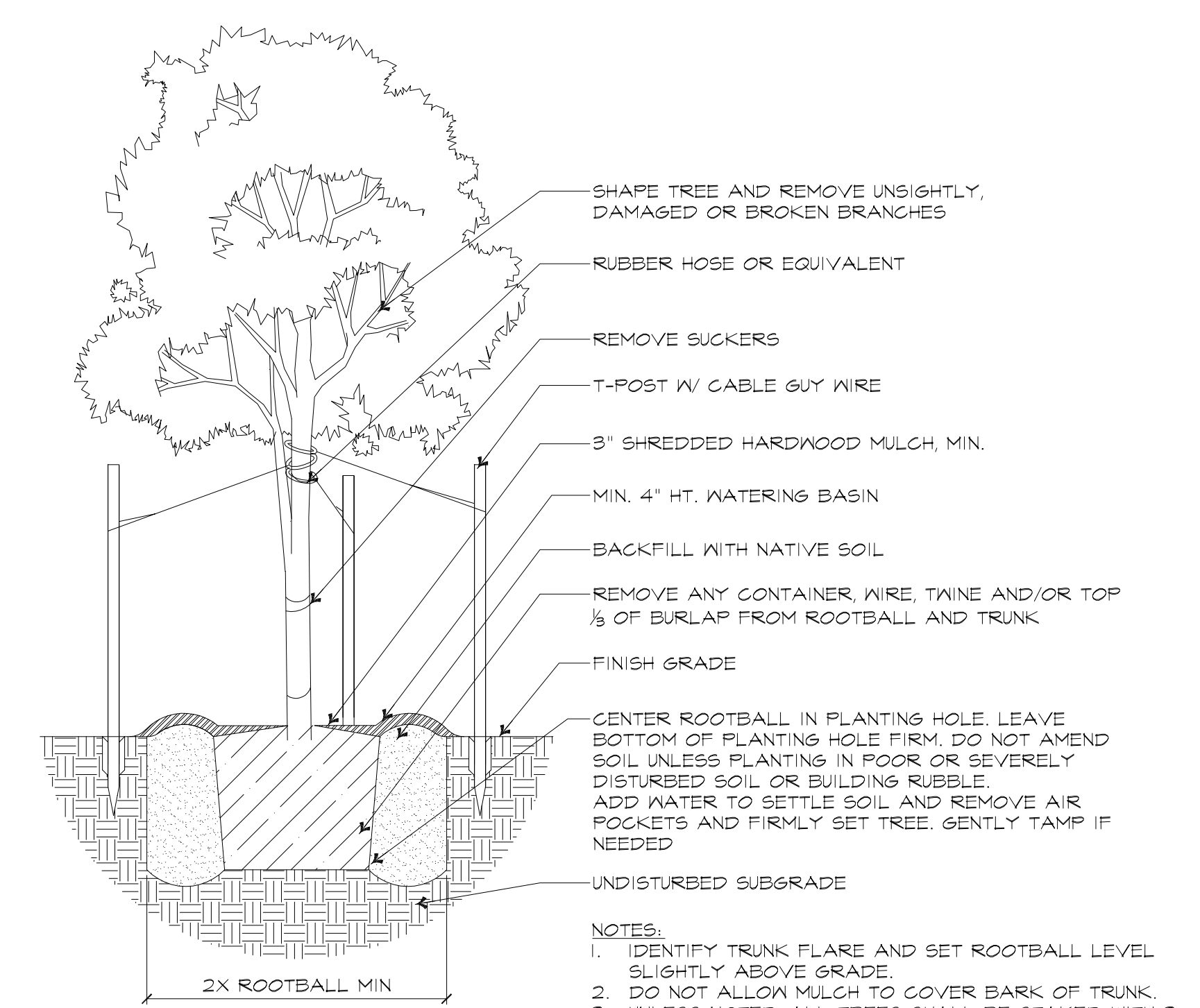
FOR THE CITY OF KYLE USE ONLY

PHASE 2 LANDSCAPE REQUIREMENTS

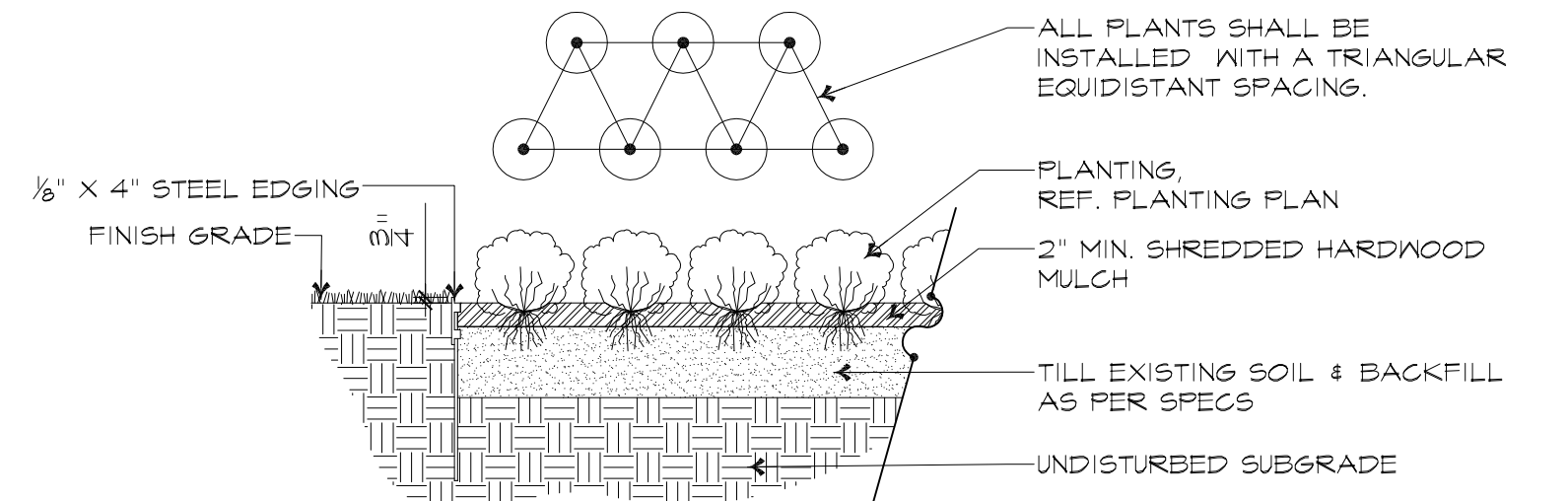
ZONING: MXD - Commercial

LANDSCAPE CALCULATIONS	Required	Provided
	Total Site Area	
Minimum percentage of the total lot area devoted to landscape (10%)	3,061 sf.	> 3,061 sf.
REQUIRED PLANTINGS	Required	Provided
For every 600 square feet of landscape area required by this article, two trees and four shrubs shall be planted.		
3,061 sf. / 600 sf. = 5		
5 x 2 = 10 Trees	10 Trees	10 Ornamental Trees
5 x 4 = 20 Shrubs	20 Shrubs	20 Shrubs
Case 1: Required landscape area less than 10,000 square feet = One three-inch caliper tree and three one-gallon shrubs per 1,000 square feet (maximum ten trees and 30 shrubs).		
3,061 sf. / 1,000 sf. = 3		
3 x 1 = 3 Three-Inch Caliper Trees	3 Three-Inch Caliper Trees	3 Three-Inch Caliper Trees
3 x 3 = 9 One-Gallon Shrubs	9 One-Gallon Shrubs	9 One-Gallon Shrubs
REPLACEMENT TREES	Required	Provided
Tree 3396 is to be removed in Phase 2.		
Tree 3396 is a 13" Live Oak. Replace 1" removed with 1.5" proposed trees.		
13" x 1.5" = 19.5"	19.5"	21"
		7 Three-Inch Caliper Trees

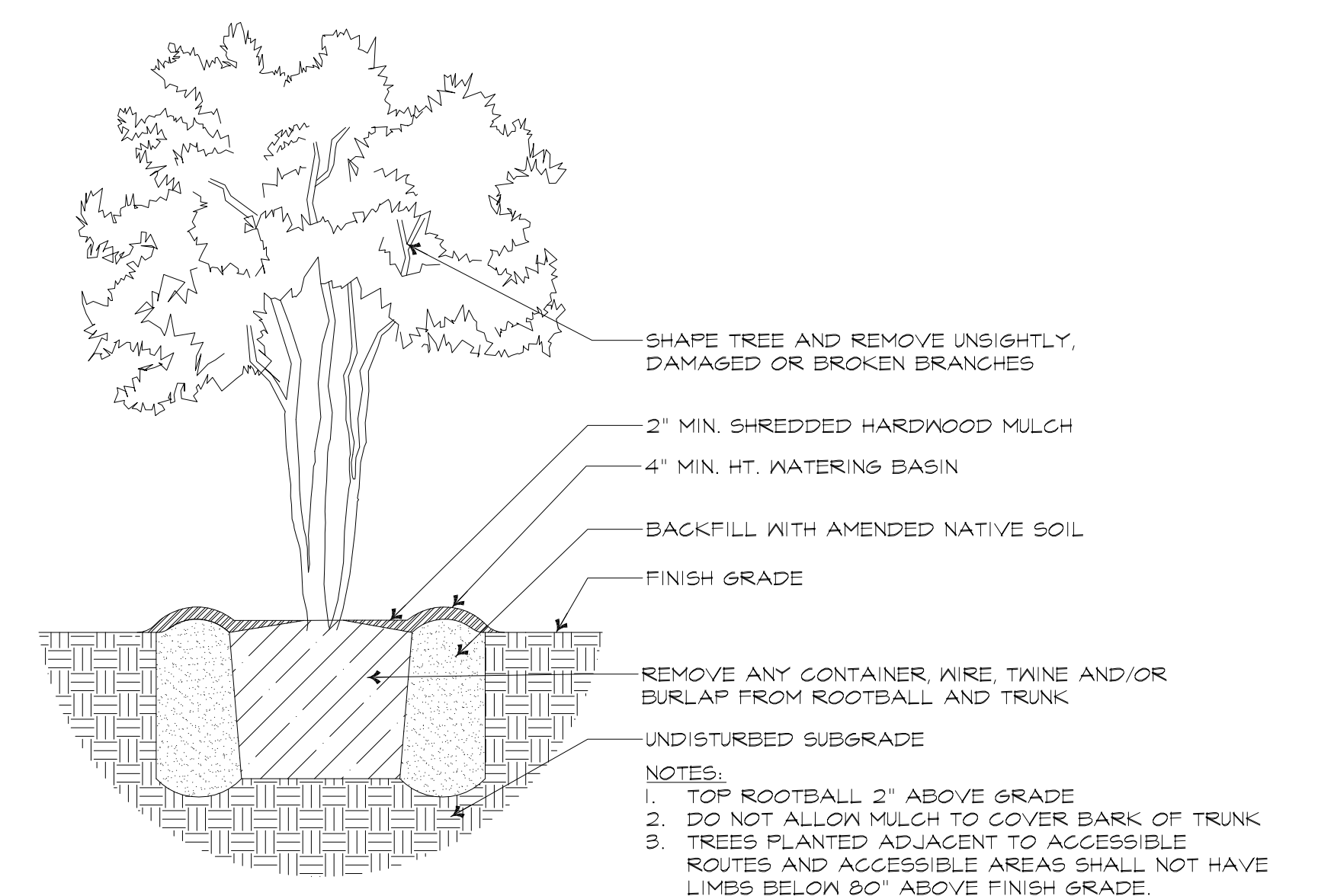
PLANT SCHEDULE						
CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
	2	Live Oak	Quercus virginiana	B & B or Container	3"	12' Ht. / 4' Sprd.
	8	Cedar Elm	Ulmus crassifolia	B & B or Container	3"	12' Ht. / 5' Sprd.
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
	4	Yaupon Holly	Ilex vomitoria	#30		6' Ht. / 4' Sprd.
	1	White Crape Myrtle	Lagerstroemia indica 'Natchez'	#30		8' Ht. / 5' Sprd.
	5	Southern Wax Myrtle	Myrica carifera	#30		8' Ht. / 5' Sprd.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
	5	Pink Skullcap	Scutellaria suffrutescens	#1		6" Ht. / 12" Sprd.
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
	10	Mexican Feather Grass	Nassella tenuissima	#1		



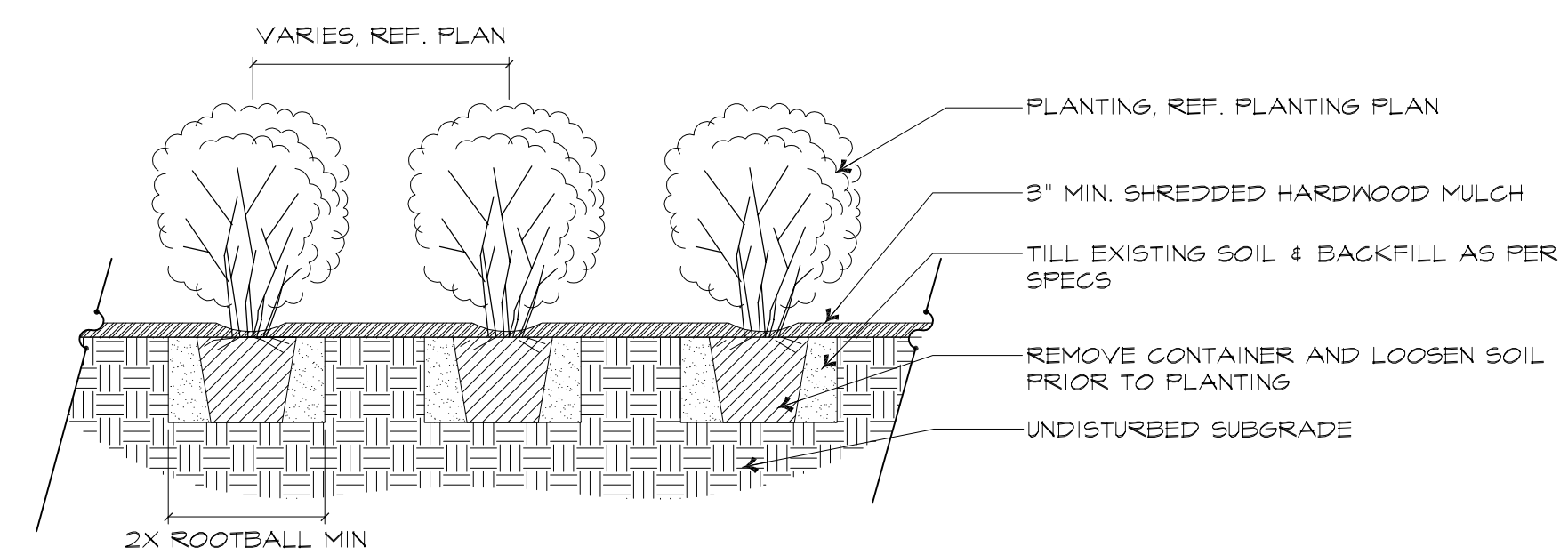
TREE PLANTING
SECTION / ELEVATION
SCALE: N.T.S.



GROUNDCOVER / SEASONAL COLOR PLANTING
SECTION / ELEVATION
SCALE: 3/4" = 1'-0"



ORNAMENTAL TREE PLANTING
SECTION / ELEVATION
SCALE: 1/2" = 1'-0"



SHRUB "POCKET" PLANTING DETAIL W/ BED PREPARATION
SECTION / ELEVATION
SCALE: N.T.S.

CITY OF KYLE NOTES

- Sec. 53-986. - Maintenance.
- (e) The owner of the landscaped property shall be responsible for the maintenance of all landscape areas. Said areas shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free of refuse and debris. All planted areas shall be provided with a readily available water supply and watered as necessary to ensure continuous healthy growth and development. Maintenance shall include the replacement of all dead plant material if that material was used to meet the requirements of this article. Landscape material must be trimmed and maintained for roadway visibility.
- (f) All property within the city limits will adhere to city drought management program when watering.
- Sec. 53-987. - Planting criteria.
- (a) Trees. Trees shall be a minimum of three inches in caliper measured six inches above the root flare immediately after planting. A list of recommended landscape trees may be obtained from the city. If the developer chooses to substitute trees not included on the recommended list, those trees shall have an average mature crown greater than 15 feet in diameter to meet the requirements of this article. Trees having an average mature crown less than 15 feet in diameter may be substituted by grouping trees so as to create at maturity the equivalent of a 15-foot diameter crown if the drip line area is maintained. A minimum area three feet in radius is required around the trunks of all existing and proposed trees.
- (b) Tree selection.
- Trees selected for planting must meet minimum requirements as provided below and in the American Standard of Nursery Stock.
 - Trees selected for planting must be free from injury, pests, disease, or nutritional disorders.
 - Trees selected for planting must be of good vigor. The determination of vigor is a subjective evaluation, and dependent upon species variability. The following criteria is generally used for the determination of vigor:
 - Foliage should have a green or dark green color. Vigorous trees will have large leaves and dense foliage when compared to trees with poor vigor.
 - Shoot growth for most vigorous trees will be at least one foot per year. At least one-half of the branches should arise from the top one-third and one-half from the center one-third.
 - Bark texture can denote vigor. Smooth or shiny bark on the trunk and branches of a young tree usually signifies good vigor; conversely, rough and dull bark could indicate poor vigor.
 - Trunk taper. The trunks of vigorous trees will generally have an increase in diameter with a decrease in height. Trees with reverse tapers or no taper should be avoided.
 - Root color. Young roots of most trees will be light in color.
 - Trees selected for planting must be free of root defects. Two types of root defects generally occur:
 - Kinked roots, in which taproots, major branch roots, or both are bent more than 90 degrees with less than 20 percent of the root system originating above the kink. A tree with such roots will probably bend at the soil line when released from a supporting stake.
 - Circling or girdling roots which circle 80 percent or more of the root system by 360 degrees or more. A tree with such roots would ultimately have less than 20 percent of its system available for support.
- (c) Shrubs and ground cover. Shrubs, vines and ground cover planted pursuant to this section shall be good, healthy nursery stock. Shrubs must be, at a minimum, a one-gallon container size, but shall average two-gallon for the entire project, and be drought resistant species. This applies to all zoning classifications.
- (d) Turf grass. In order to limit the volume of water required for the turf, it is required that grass areas be planted with drought resistant species normally grown as permanent lawns, such as Bermuda, Zoysia, Buffalo or other similar drought resistant grasses. Grass areas may be sodded, plugged, sprigged or seeded except that solid sod shall be used in areas subject to erosion. This applies to all zoning classifications.
- Other low water requirement turf products will be considered and may be approved by a designated city official or body on a case-by-case basis.
 - These requirements for specific types of turf are adopted to establish conservation practices under the drought management plan of the city.
 - The requirements set forth in this subsection shall not prohibit the installation or planting of any turf not described in this section (nonconforming turf) if at least 50 percent of the nonpermeable cover area of the lot or parcel was planted with a nonconforming turf prior to the effective date of the ordinance from which this chapter is derived and the same nonconforming turf is being installed or planted.
- (e) Synthetic plants. Synthetic or artificial lawns or plants shall not be used in lieu of plant requirements in this section.
- (f) Architectural planters. The director of planning and community development or his/her designee is authorized to approve the use of architectural planters when he/she determines the overall intent of the division and/or specific guidelines can be met.
- (g) Other. Approved decorative aggregate or pervious brick pavers shall qualify for landscaping credit if contained in planting areas, but no credit shall be given for concrete or other impervious surfaces. No more than 50 percent of the required total landscape area may be covered in aggregate and/or pervious pavers.

REVISIONS

DATE	COMMENTS
07/14/20	AS REPLACEMENT SHEET
02/04/20	AS REPLACEMENT SHEET

DATE: 07/14/20

12/04/20

SILBERBERG DEVELOPMENT
 4210 BENNER ROAD, KYLE, TEXAS
 CITY SUBMITTAL LANDSCAPE PLAN

SCALE:
AS SHOWN

DATE:
10/14/20

2701 Bee Cave Road
Heritage Square, Ste P
Austin, TX 78746
P 512 366 5199
F 512 369 3465



CITY OF KYLE, TEXAS

Jimmy and Diana Owen - Zoning
(Z-20-0066)

Meeting Date: 1/12/2021
Date time:6:30 PM

Subject/Recommendation: Consider a request by Jimmy and Diana Owen (Z-20-0066) to assign original zoning to approximately 1.4 acres of land from Agriculture 'AG' to Retail Service District 'RS' for property located at 101 Sunflower Circle, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

Other Information: Please see attachments.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- Staff Memo
- Letter of Request
- Application
- Location Map
- Current Zoning Map
- Land Use Districts Map

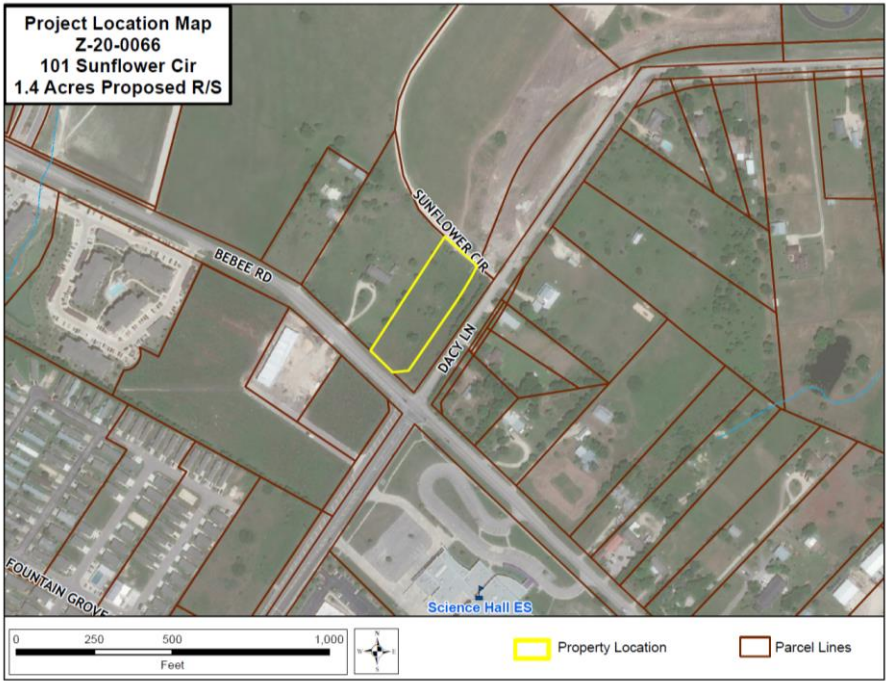
Property Location 101 Sunflower Circle (North corner of Dacy Lane & Bebee Rd Intersection), Kyle, TX 78640

Owner Jimmy C. & Diana L. Owen
115 Robin Way
San Marcos, TX 78666

Agent David Glover
P.O. Box 786
San Marcos, TX 78667

Request Rezone 1.399-Acres A (Agriculture) to RS (Retail Services)

Vicinity Map

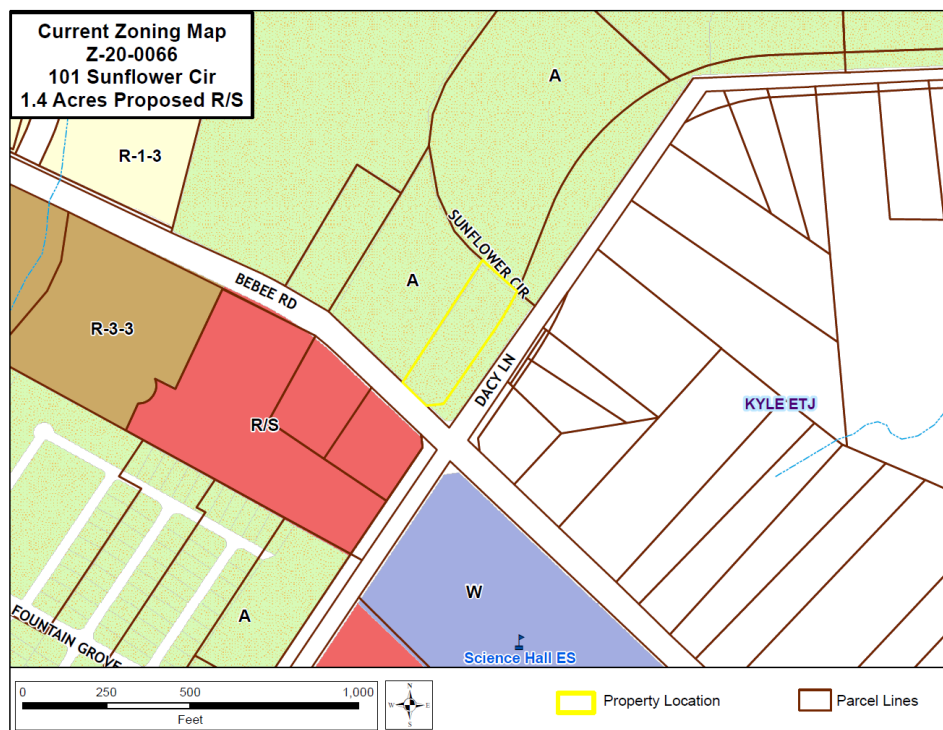


Site Description

101 Sunflower Circle is an undeveloped parcel zoned "A" (Agriculture). The site previously had a single-family residence on site, prior to Hays County purchasing rights-of-way for the Dacy Lane widening project. To the north and northwest is land zoned "A" with single-family residences and the City of Kyle's PARD property (vacant). To the east and northeast are mostly single-family residences/parcels in the City of Kyle's Extra-Territorial Jurisdiction (outside the city limits). To the south is Science Hall Elementary School (zoned Warehouse). Southwest of and across Bebee Road, are parcels zoned "RS", with a convenience store/fuel station under construction, and a restaurant on the hard corner (in review).

The applicant seeks to rezone the property from "A" (Agriculture) to "RS" (Retail Services).

Current Zoning



Existing Zoning

Sec. 53-36. - Agricultural district A.

The permitted uses in the agricultural district A allow farming, ranching, pasturage, detached single-family residences and related accessory structures, on a minimum one-acre tract. Parks, playgrounds, greenbelts and other public recreational facilities, owned and/or operated by the municipality or other public agency are permitted.

(Ord. No. 438, § 23, 11-24-2003)

Requested Zoning

RS (Retail Services)

Sec. 53-480. - Purpose and permitted uses.

This district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety, department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in [section 53-1230](#).

(Ord. No. 438, § 42(a), 11-24-2003)

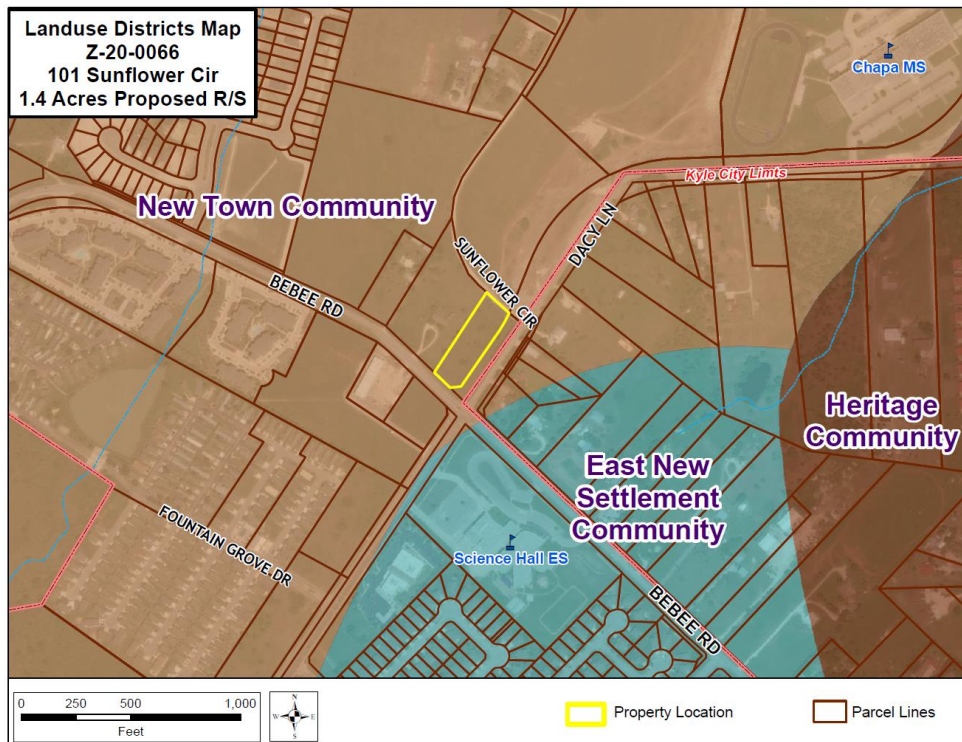
Conditions of the Zoning Ordinance

Sec. 53-1205 Amendments

- (d) *Referral of amendment to planning and zoning commission.* Upon its own motion, a request by the planning and zoning commission, or the receipt of an administratively complete petition and application to zone or rezone a lot, tract or parcel of land, which petition and application has been examined and approved as to form by the city manager, shall be referred to the planning and zoning commission for consideration, public hearing, and recommendation to

the city council. The council may not enact a rezoning amendment until the planning and zoning commission has held a public hearing and made its recommendation to the city council, or has made a final vote on the matter without obtaining a majority, on the zoning or rezoning of the property.

- (e) *Action by the planning and zoning commission.* The planning and zoning commission shall cause such study and review to be made as advisable and required, shall give public notice and hold a public hearing as provided by state law, and shall recommend to the council such action as the planning and zoning commission deems proper...



Comprehensive Plan Text

The subject site is located in the “New Town Community” District. The RS zoning district is recommended in the “New Town Community” District.

Current Land Use Chart

New Town Community

Recommended Zoning Categories: R-1-1, R-1-2, R-1-3, R-1-C, R-1-T, R-2, R-3-2, R-3-3, CC, NC, **RS**, MXD, O/I

Conditional Zoning Categories: E, A, C/M, R-1-A, R-3-1, RV, T/U, UE, HS, W

New Town Community

'Character': Currently consisting of primarily residential uses, open fields, some commercial uses along I-35, and the City's new Performing Arts Center, the New Town District will likely experience significant development pressures in the near future. This District straddles both I-35 and FM 1626, and growth from Austin and Buda is spreading south along these roadways. These land uses and the forms that follow are wide ranging and varying according to the existing development pattern in place today, and the availability for utility service to as-yet undeveloped lands. The New Town District includes undeveloped residential areas, the proposed site for an 'Uptown' shopping/activity center, proposed and existing commercial along higher classified roadways, and legacy residential that has existed for many years. This District should be livable, comfortable, and convenient for all residents of Kyle and surrounding region. Elements of form and design are critical to ensuring transitions between neighboring uses.

'Intent': The New Town District is designed to contain a horizontal mix of land uses that should be integrated across the area to express a cohesive community form. Many differing uses are encouraged throughout the District, but are distributed in autonomous land parcels instead of vertically aggregated in fewer land parcels. Horizontal mixed uses provide a transition to integrate the community form of New Town with surrounding communities, landscapes and nodes.

As parcels along major roadways and along side high capacity wet utilities come available, the development density of those parcels should be established higher than other areas of the city, especially any properties in proximity to either I-35, FM 1626 or both. The purpose of the New Town District is to harness economic development potential and establish its position as the sustainable center of surrounding growth. The leading way to

make this a reality is to build off the strength of the urban form supported in the Core Area Transition District, make use of the transportation network already in place that runs through and along this district, and enable more uses and architectural types that blend well into the urban design form. This District should provide economic support to Kyle based on locational advantages gained by access to growth advancing from south Austin and nodal developments on the northern side of Kyle. Mixed-Use development should be encouraged, not only permitted, to maximize economic development. This can be achieved by aggregating appropriate densities in order to support a mixture of uses. Development patterns and employment opportunities should be created in the New Town District that do not conflict with the surrounding community fabric. Establishing mixed use zoning districts and employment districts will compliment the existing retail and service uses present today, and should be supported by the adjacent residential and future integrated multi-family residential.

Analysis

101 Sunflower Circle sits at the north corner of Dacy Lane and Bebee Road. The site is zoned “A” and is currently vacant. At one point, the parcel had a single-family residence. However, with the Dacy Lane widening project, Hays County purchased additional rights-of-way and demolished the residence.

The applicant seeks the “RS” zoning district, allowing general point-of-sale retail and service uses, predominantly carried out indoors. Typical types of businesses may include, but are not limited to retail, office, restaurants, hotels, convenience stores and fuel stations. The site is in the New Town Community District which recommends the “RS” zoning district.

The intersections of major roads like both Dacy Lane and Bebee Road, seeing high volumes of vehicular traffic, often attract high-turnover retail uses which cater to the motoring public. Additionally, Dacy Lane is scheduled to be improved with a widening project by Hays County. This particular intersection is an emergent retail node, owing its transition to the zoning and development across the street to the south-southwest.

Both water and wastewater are adjacent and available for the site, and any new development will be required to tie into the public system. Additionally, standard site development requirements will be required, per city code (parking ratios, landscaping, appropriate vehicular circulation, building setbacks, etc.).

Recommendation

In conclusion, staff supports the rezoning from “A” (Agriculture) to “RS” (Retail Services). Staff asks the Planning & Zoning Commission to vote in support of the rezoning application.

Attachments

- Application
- Location Map
- Existing Zoning Map
- Land Use Districts Map


11-11-2020

To Whom It May Concern:

Since the City of Kyle and the County of Hays have purchased a portion of our land and tore down our home, at 101 Sunflower Circle, Kyle Texas, to widen Dacy Lane and run a sewer line through said land, we would like to re-zone our land for commercial use. This seems to be a more suitable use for the remaining property.

We would appreciate your help and consideration to our request.

Thank you


Jimmy C Owen

APPLICATION & CHECKLIST – ZONING CHANGE

Zoning: JIMMY C. OWEN / DIANA L. OWEN _____
(Name of Owner) (Submittal Date)

INSTRUCTIONS:

- Fill out the following application and checklist completely prior to submission.
- Place a check mark on each line when you have complied with that item.
- Use the most current application from the City's website at www.cityofkyle.com or at City Hall. City ordinances can be obtained from the City of Kyle.

REQUIRED ITEMS FOR SUBMITTAL PACKAGE:

The following items are required to be submitted to the Planning Department in order for the Zoning Application to be accepted.

- 1. Completed application form with owner's original signature.
- 2. Letter explaining the reason for the request.
- 3. **Application Fee:** \$428.06, plus \$3.62 per acre or portion thereof.
Newspaper Publication Fee: \$190.21 **Sign Notice Fee:** \$127.00

Total Fee: _____

- 4. A map or plat showing the area being proposed for rezoning.
- 5. A clear and legible copy of field notes (metes and bounds) describing the tract (when not a subdivided lot).
- 6. Certified Tax certificates: County School City
- 7. Copy of Deed showing current ownership.

*** A submittal meeting is required. Please contact Debbie Guerra at (512) 262-3959 to schedule an appointment.

1. **Zoning Request:**
Current Zoning Classification: AGRICULTURE
Proposed Zoning Classification: RETAIL / SERVICES
Proposed Use of the Property: _____
Acreage/Sq. Ft. of Zoning Change: 1.399 ACRES

2. **Address and Legal Description:**

Provide certified field notes describing the property being proposed for rezoning.
Provide complete information on the location of the property being proposed for rezoning.

Street Address: 101 SUNFLOWER CIRCLE, KYLE, TX 78640
Subdivision Name/Lot & Block Nos.: LOT 2, SILVER MILLS SUBDIVISION

Property Recording Information: Hays County
Volume/Cabinet No. 969 Page/Slide No. 35

3. **Ownership Information:**

Name of Property Owner(s): JIMMY C. OWEN
DIANA L. OWEN

Certified Public Notary:

This document was acknowledged before me on the 12 day of November, 2020, by
Jim Owens (Owner(s)).
Diana Owens

Notary Public State of Texas
(Seal)



[Handwritten Signature]

(If property ownership is in the name of a partnership, corporation, joint venture, trust or other entity, please list the official name of the entity and the name of the managing partner.)

Address of Owner: 115 ROBIN WAY
SAN MARCOS, TX 78666
Phone Number: 512 787-8496
Fax Number: _____
Email Number: PAPAABBY@ADL.COM

I hereby request that my property, as described above, be considered for rezoning:

Signed: Jimmy C. Owen Diana L. Owen
Date: 11-12-20

4. Agent Information:

If an agent is representing the owner of the property, please complete the following information:

Agent's Name: DAVID GLOVER
Agent's Address: P.O. Box 786
Agent's Phone Number: 512 757-1717
Agent's Fax Number: 512 396-2943
Agent's Mobile Number: 512 757-1717
Agent's Email Number: SMRE@AGGIENETWORK.COM

I hereby authorize the person named above to act as my agent in processing this application before the Planning and Zoning Commission and City Council of the City of Kyle:

Owner's Signature: Jerry C Owen Deanne L. Owen
Date: 11-12-20

*Do Not Write Below This Line
Staff Will Complete*

Tax Certificates: County School City

Certified List of Property Owners Within 200'

All Fees Paid: Filing/Application Mail Out Costs

Attached Map of Subject Property

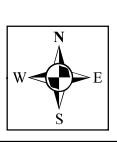
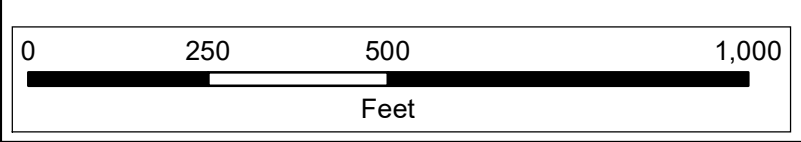
Accepted for Processing By: _____ Date: _____

Date of Public Notification in Newspaper: _____


Date of Public Hearing Before Planning and Zoning Commission: _____

Date of Public Hearing Before City Council: _____

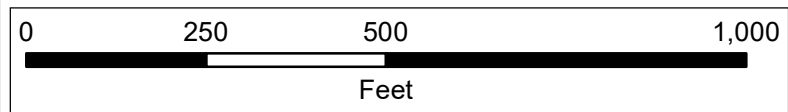
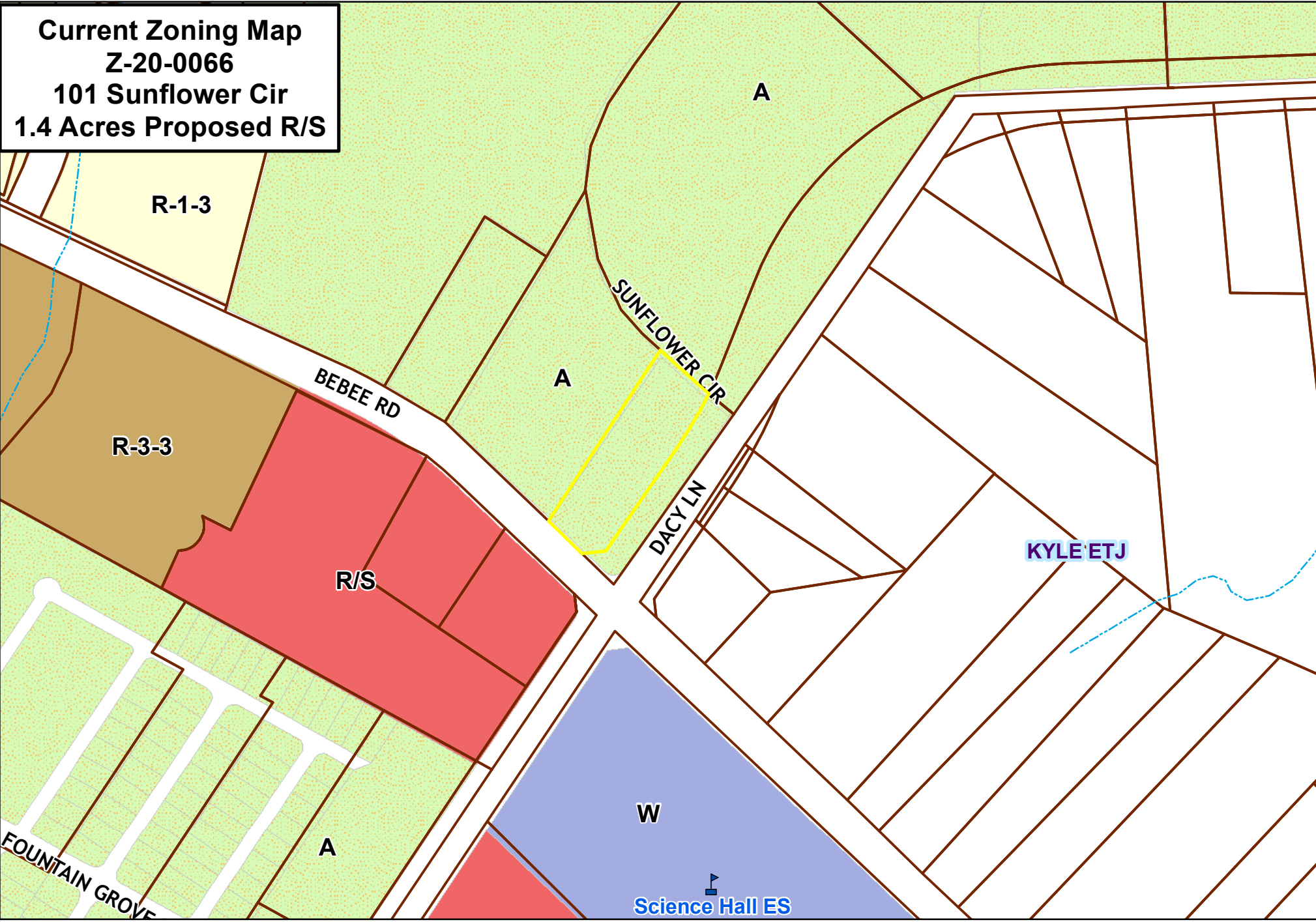
Project Location Map
Z-20-0066
101 Sunflower Cir
1.4 Acres Proposed R/S




 Property Location
Item # 9

 Parcel Lines

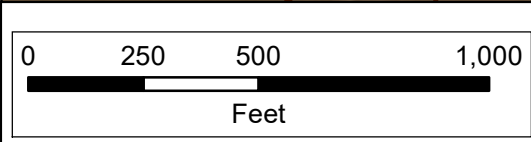
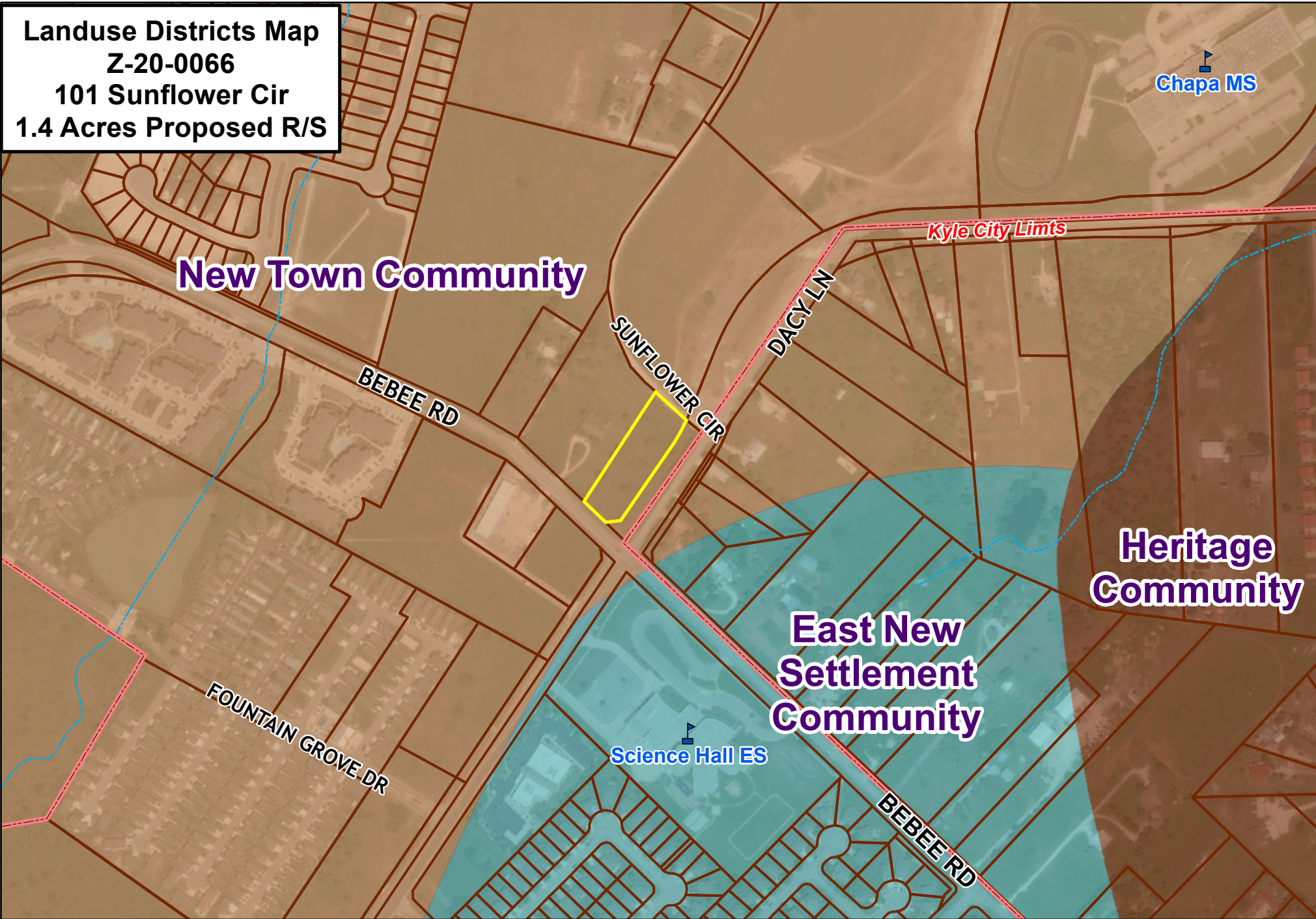
Current Zoning Map
Z-20-0066
101 Sunflower Cir
1.4 Acres Proposed R/S




 Property Location
Item # 9

 Parcel Lines

Landuse Districts Map
Z-20-0066
101 Sunflower Cir
1.4 Acres Proposed R/S



 Property Location
Item # 9

 Parcel Lines



CITY OF KYLE, TEXAS

Kyle Mortgage Investors, LLC - Zoning (Z-20-0067)

Meeting Date: 1/12/2021
Date time:6:30 PM

Subject/Recommendation: Consider a request by Kyle Mortgage Investors, LLC (Z-20-0067) to rezone approximately 57-acres of land from R-1-2 (42.3-acres) & RS (15-acres) to PUD (R-1-A, 54-acres) & (RS, 3.3-acres) for property located at 1821 W. RR 150, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

Other Information: See attachments.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- Staff Report
- Letter of Request
- Location Map
- Current Zoning Map
- Land Use Districts Map
- Conceptual Land Plan
- PUD Development Standards
- Letter of Opposition

Property Location	W FM 150, Kyle, Texas (900' NW of FM 2770 & W FM 150)
Owner	Kyle Mortgage Investors, LLC 10800 Wilshire Blvd, Ste. 2101 Los Angeles, CA 90024
Agent	Jeffrey S. Howard McLean & Howard 901 S. MoPac Expy, Ste. 225 Austin, TX 78746
Request	Rezone 41.5-Acres (R-1-2) & 14.89-Acres (RS) to 57-Acres PUD (R-1-A & RS)

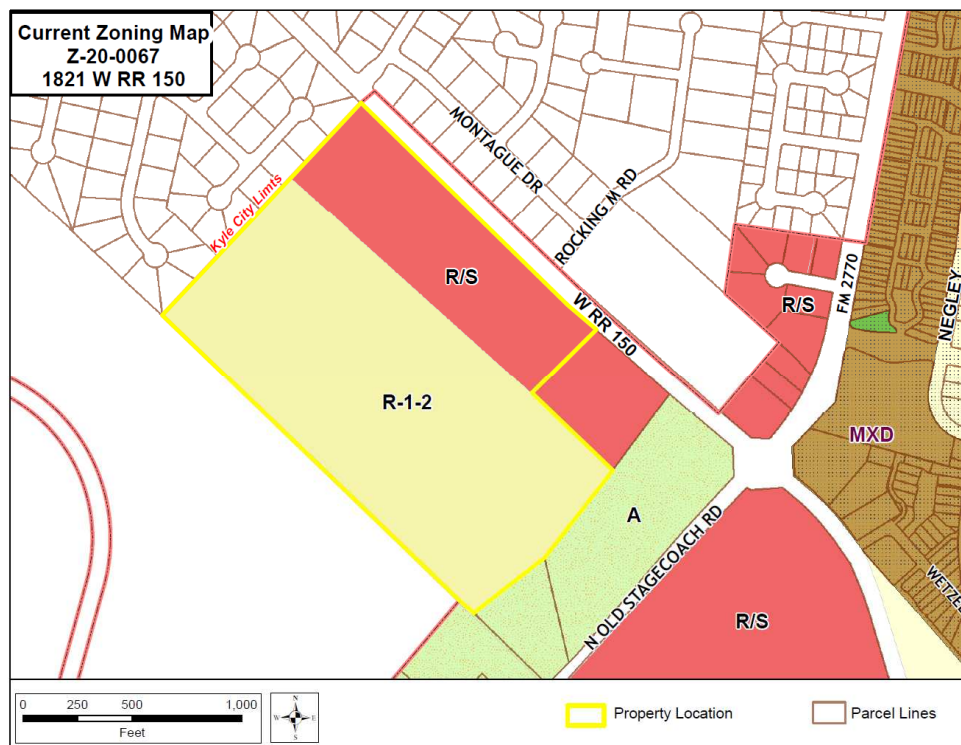
VICINITY MAP



SITE DESCRIPTION

The parcel is approximately 950-feet northwest of the FM 150 & FM 2770 intersection. The site is largely vacant, with one manufactured home on site, and split-zoned both R-1-2 (Single-Family Residential Detached 2) and RS (Retail Services). To the northwest is the Quail Meadows subdivision and to the north, across W FM 150, is the Dove Hollow subdivision. Both neighborhoods are in the City of Kyle's ETJ. To the northeast across W FM 150 is the local PEC office, with a convenience store and fuel station on the corner of FM 2770 and W FM 150. Additionally a vacant property, zoned RS sits adjacent and to the east of the 57-acre property. To the southeast and south lies property zoned "A" with single-family residences. To the west is a future phase of the Six Creeks neighborhood (ETJ).

The applicant is requesting the property to be rezoned to a Planned Unit Development (PUD) that encapsulates the RS and R-1-A zoning districts.



Existing Zoning

R-1-2 (Single Family Residential Detached 2), 41.5-Acres

Sec. 53-89. - Purpose and permitted uses.

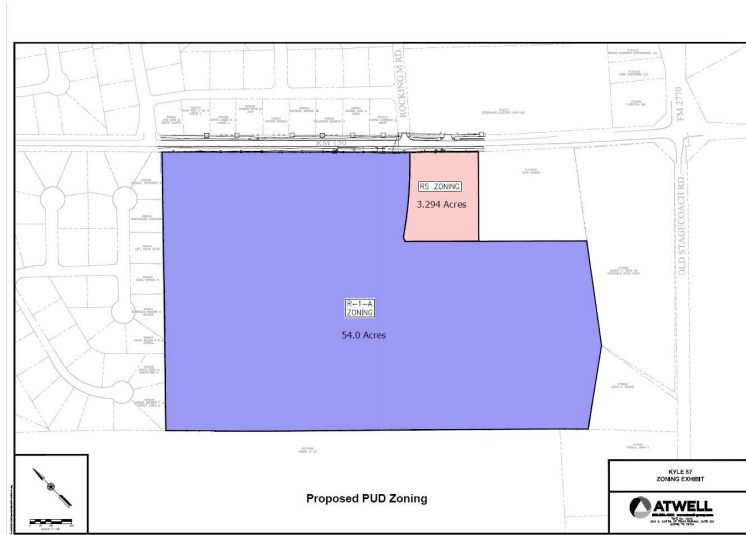
The single-family residential 2 district permits detached single-family dwellings with a minimum of 1,200 square feet of living area, and related accessory structures, on a minimum lot size of 6,825 square feet. There shall be no more than 4.7 houses per buildable acre.

(Ord. No. 438, § 26(a), 11-24-2003)

R/S (Retail Services District) – 14.89-Acres

Sec. 53-480. - Purpose and permitted uses.

This district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety, department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in section 53-1230.



Proposed Zoning

PUD (3.294-Acres RS & 54-Acres R-1-A)

R/S (Retail Services District), 3.294-Acres

Sec. 53-480. - Purpose and permitted uses.

This district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety, department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in section 53-1230.

(Ord. No. 438, § 42(a), 11-24-2003)

R-1-A (Single Family Attached District), 54-Acres

Sec. 53-111. - Purpose and permitted uses.

The single-family attached district R-1-A, garden home allows attached single-family structures with a minimum of 1,000 square feet of living area per dwelling unit and permitted accessory structures on a minimum lot size of 4,800 square feet. There shall

be no more than 6.8 houses per buildable acre. The single-family attached residences authorized in this zoning district include those generally referred to as garden homes, paired homes, patio homes and zero lot line homes. Additionally, single family detached structures are permitted in this district as a conditional use, as provided in V.T.C.A., Local Government Code ch. 211; provided that a conditional use permit may only be approved after a public hearing is held by the city council after having received a report and recommendation from the planning and zoning commission concerning the effect of the proposed use on the adjacent and neighboring properties and neighborhoods.

(Ord. No. 438, § 27(a), 11-24-2003; Ord. No. 438-35, § 3(a), 8-2-2005; [Ord. No. 928](#), § 1(Exh. A), 1-17-2017)

CONDITIONS OF THE ZONING ORDINANCE

Sec. 53-1205 Amendments

(d)

Referral of amendment to planning and zoning commission. Upon its own motion, a request by the planning and zoning commission, or the receipt of an administratively complete petition and application to zone or rezone a lot, tract or parcel of land, which petition and application has been examined and approved as to form by the city manager, shall be referred to the planning and zoning commission for consideration, public hearing, and recommendation to the city council. The council may not enact a rezoning amendment until the planning and zoning commission has held a public hearing and made its recommendation to the city council, or has made a final vote on the matter without obtaining a majority, on the zoning or rezoning of the property.

(e)

Action by the planning and zoning commission. The planning and zoning commission shall cause such study and review to be made as advisable and required, shall give public notice and hold a public hearing as provided by state law, and shall recommend to the council such action as the planning and zoning commission deems proper...

DIVISION 2. - PLANNED UNIT DEVELOPMENT DISTRICT (PUD)

Subdivision I. - In General

Sec. 53-699. - Purpose and objectives.

- (a) The purpose and intent of the planned unit development district is to provide a flexible, alternative procedure to encourage imaginative and innovative designs for the unified development of property in the city consistent with this chapter and accepted urban planning, with overall mixed-use regulations as set forth below and in accordance with the city's comprehensive plan. The planned unit development rules are designed to:
- (1) Allow development which is harmonious with nearby areas;
 - (2) Enhance and preserve areas which are unique or have outstanding scenic, environmental, cultural or historic significance;
 - (3) Provide an alternative for more efficient use of land, resulting in smaller utility networks, safer streets, more open space, and lower construction and maintenance costs;
 - (4) Encourage harmonious and coordinated development, considering natural features, community facilities, circulation patterns and surrounding properties and neighborhoods;
 - (5) Facilitate the analysis of the effect of development upon the tax base, the local economy, population, public facilities and the environment;
 - (6) Provide and result in an enhanced residential and/or work environment for those persons living and/or working within the district; and
 - (7) Require the application of professional planning and design techniques to achieve overall coordinated mixed-use developments and avoid the negative effects of piecemeal, segregated, or unplanned development.
- (b) Toward these ends, rezoning of land and development under this district will be permitted only in accordance with the intent and purpose of the city's comprehensive plan and this chapter, and to that end the planned unit development plan must be prepared and approved in accordance with the provisions of this chapter.

(Ord. No. 438, § 39(a), 11-24-2003)

Sec. 53-703. - Flexible planning.

- (a) When considering a planned unit development (PUD), the unique nature of each proposal for a PUD may require, under proper circumstances, the departure from the strict enforcement of certain present codes and

ordinances, e.g., without limitation, the width and surfacing of streets and highways, lot size, parking standards, set backs, alleyways for public utilities, signage requirements, curbs, gutters, sidewalks and streetlights, public parks and playgrounds, drainage, school sites, storm drainage, water supply and distribution, sanitary sewers, sewage collection and treatment, single use districts, etc.

- (b) Final approval of a PUD by the city council shall constitute authority and approval for such flexible planning to the extent that the PUD as approved, departs from existing codes and ordinances.
- (c) The flexibility permitted for a PUD does not imply that any standard or requirement will be varied or decreased.

(Ord. No. 438, § 39(d), 11-24-2003)

Sec. 53-704. - Rules applicable.

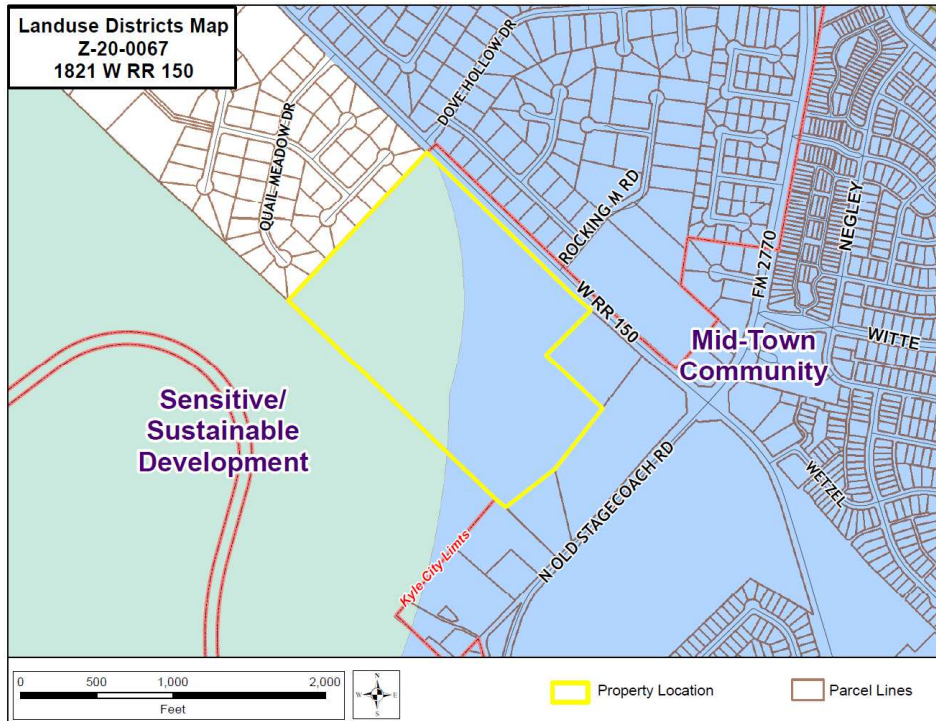
The city council, after public hearing and proper notice to all parties affected and after recommendation from the planning and zoning commission, may attach a planned unit development district designation to any tract of land equal to or greater than three buildable acres. Under the planned development designation the following rules apply:

- (1) The approval of any proposed PUD or combination of uses proposed therein shall be subject to the discretion of the city council, and no such approval will be inferred or implied.
- (2) Permitted uses are those listed under the applicable zoning districts for the base zoning to be applied to the PUD (for example, the permitted uses in a PUD proposed to be developed as CBD-2, RS, W, CM districts). In addition, a planned unit development district may be established where the principal purpose is to serve as a transitional district, or as an extension of an existing district whereby the provision of off-street parking, screening walls, fences, open space and/or planting would create a protective transition between a lesser and more restrictive district. In approving a planned unit development, additional uses may be permitted, and specific permitted uses may be prohibited from the base district.
- (3) Standards required by the base zoning apply in a planned unit development except that the following regulations and standards may be varied in the

adoption of the planned unit development; provided that the plan is consistent with sound urban planning and good engineering practices.

- a. Front, side and rear setbacks.
 - b. Maximum height.
 - c. Maximum lot coverage.
 - d. Floor area ratio.
 - e. Off-street parking requirements.
 - f. Special district requirements pertaining to the base zoning.
 - g. Number of dwelling units per buildable acre.
 - h. Accessory building regulations.
 - i. Sign standards.
- (4) In approving a planned unit development, no standards may be modified unless such modification is expressly permitted by this chapter, and in no case may standards be modified when such modifications are prohibited by this chapter.
- (5) In approving a planned unit development, the city council may require additional standards deemed necessary to create a reasonable transition to, and protection of, adjacent property and public areas, including but not limited to, light and air, orientation, type and manner of construction, setbacks, lighting, landscaping, management associations, open space, and screening.
- (6) The planning and zoning commission and city council, in approving modifications to standards and regulations, shall be guided by the purpose intended by the base zoning and general intent of this chapter.

(Ord. No. 438, § 39(e), 11-24-2003)



COMPREHENSIVE PLAN TEXT

The subject site is located in the “Mid-Town Community District” and the “Sensitive/Sustainable Development” District.

Mid-Town Community District

Recommended: R-1-1, R-1-2, R-1-3, NC
 Conditional: E, **R-1-A**, R-1-T, R-3-1, R-3-2, CC, **R/S**, MXD, O/I

Sensitive/Sustainable Development District

Recommended: A, UE
 Conditional: R-1-1, R-1-2, **R-1-A**, R-2, R-1-T, R-3-3, T/U, NC, **RS**

MID-TOWN COMMUNITY LAND USE DISTRICT

Character: The Mid-Town District contains sites of recent residential development in Kyle and will continue to predominantly feature residential uses. Those residential uses in this District are organized around the curvilinear streets of suburban neighborhood design,

rather than the regular, rectilinear grid that characterizes the Old Town District. The Plum Creek waterway flows through and adjacent to the Mid-Town District, offering opportunities for recreation and a responsibility for environmental conservation. This District has a neighborhood-oriented form built around shared spaces such as streets, yards, porches and common areas. Neighborhood legibility and continuity is enhanced through these shared spaces. Distinctive landscape forms, including creekways, vistas, and rolling hills, give identity to this District and should be preserved, protected, and incorporated into development plans.

Intent: The purpose of the Mid-Town District is to maximize the value capture of new residential development in Kyle. This District enjoys unusual proximity to amenities, such as open space, Downtown, commercial nodes, and transit options. The area is therefore well-positioned to define an economic and lifestyle pattern that is unique to Kyle. New development should accommodate low- to mid-density detached residential uses within the unique landscape forms that are present in the District. Higher density residential, attached residential, and non-residential projects like employment and retail sales should be considered based on their proximity to higher classification streets, higher capacity water and waste water availability, and likelihood of compatibility of adjacent uses. Legibility of neighborhood identity, definition, and transportation should be improved within the Mid-Town District through such elements as trails, sidewalks, signage, and interconnected shared spaces.

SENSITIVE/SUSTAINABLE DEVELOPMENT DISTRICT

Character: Although the Sensitive/Sustainable Development District is currently lacking in roadway connections and therefore somewhat isolated from the rest of Kyle, the newly planned RR 150 bypass will open up a new corridor through this region, as well as new roads extending from the southwest to the northeast, around which natural residential expansion into the hill country will continue. The Sensitive/Sustainable Development District should be characterized primarily by Low-Impact Development. To this end, development and build forms must minimize visual intrusion into the landscape, as well as environmental impact, similar to the Ranch Landscape development pattern. Natural landscape elements should be incorporated into site design and shared/common spaces. Cluster development, conservation subdivisions, and certified resilient building standards are ideal and should be encouraged in this District. These types of development will preserve natural features and amenities while still absorbing an appropriate amount of development pressure.

Intent: The purpose of the Sensitive/Sustainable Development District, is to manage and direct growth toward forms of development that recognize the inherent natural systems

and preserve the existing environmental assets. The two districts, bifurcated by the Ranch and Riparian landscapes will develop with low density residential, and light service and retail master planned communities, located along the new RR 150 bypass (which will extend from Arroyo Ranch to the west side of the Yarrington Road interchange with I-35). Suitably scaled retail and commercial opportunities should be encouraged for the provision of goods and services to residents, to keep that portion of the population from having to make cross-region trips for provisions. Development should be directed towards unique, creative, and site-specific forms that will protect the natural landscapes and create a beneficial community for local residents, and low impact development practices should be encouraged. Although a broad range of uses could be manifested in this District, most of the uses are conditional, affording the City opportunity to enforce sustainable development practices.

ANALYSIS

The 57-acre site sits approximately 900-feet northwest of the intersection of W FM 150 and FM 2770. The site is near what is the existing northwest edge of the City of Kyle's corporate limits. Most of this area is low density, rural, single-family residential, serviced by septic tank facilities, with the occasional commercial facility. To the southeast is higher density commercial and residential (Plum Creek), made possible due to wastewater availability.

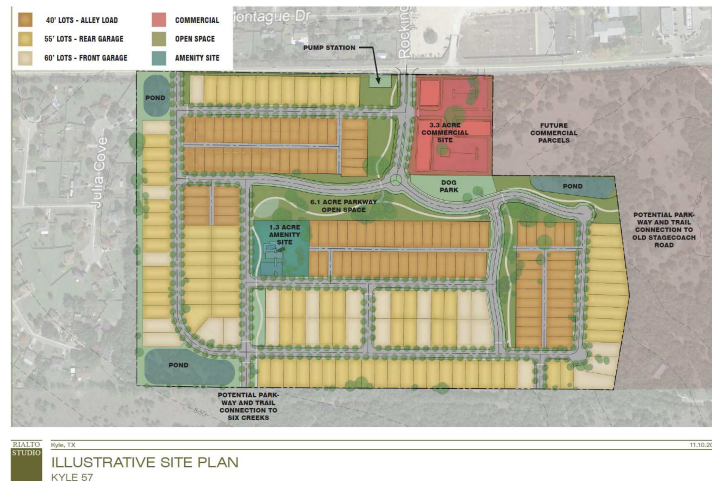
The applicant for the 57-acre parcel is requesting a PUD (Planned Unit Development) zoning district. The PUD district will incorporate both the R-1-A and RS zoning districts. Both the R-1-A and RS zoning districts are only recommended conditionally in both the Mid-Town and Sensitive/Sustainable land use districts, as a majority of the uses existing/expected are single family residential. Therefore it would be expected that community design should condition the development patterns. Secondly, smaller scale retail can be considered, especially those uses servicing the surrounding residential uses. However, it needs to be designed in a manner to "mesh" with the adjacent residential land uses.

Per the City of Kyle's PUD zoning requirements, greater attention is paid to the unified design of a project, and a mix of uses/zoning districts are encouraged. Concurrent variances are allowed, because they're sometimes required to help transition types of land uses and design standards (for a unified result). These variances allowed upon City Council approval (See the "PUD Development Standards" document).

Currently, the site is zoned for 14.89-acres of RS zoning, and 41.5-acres of R-1-2 zoning. The applicant will be reducing the commercial portion to 3.294-acres (RS) and rezoning the remaining 54-acres to R-1-A.

Per the Comprehensive Plan, the site is in both the Mid-Town Community and Sensitive/Sustainable Development land use districts. The R-1-A and RS zoning districts are to be considered “conditionally” in each of these land use districts. This typically means that sufficient/adequate infrastructure must exist or be installed to be allowed. In the case of the proposed Kyle 57 PUD, a significant portion of the site is within the Sensitive/Sustainable Development district. This emphasizes and encourages unique, natural design for the project (yet the City of Kyle does not have “green building” requirements in the development code). Additionally, if any part of the property intersects with the Edward’s Aquifer recharge or contributing zone, the developer will be required to design the project to state code for water quality.

Currently, wastewater is unavailable to the tract. However, an agreement exists between the Blanco River Ranch, this Kyle 57 project, Anthem Development, among other entities. The agreement will help provide much needed water service improvements and wastewater availability to this portion of Kyle.



The attached “PUD Development Standards” document is a tool that allows flexibility for the project, primarily where the City of Kyle’s development code falls short or doesn’t consider certain aspects. The document is a collaboration between city staff and the developer, and as such is presented to improve upon the foundation of the City’s development code. With exception of the development standards, all requirements in the City of Kyle development code, must be implemented. Per Sec. 53-699, Sec. 53-703 and Sec. 53-704, concurrent variances are allowed if approved by Council.

Within the “PUD Development Standards” a significant portion of the modifications to the development code are related to building setbacks and garage placement. The City of Kyle’s residential code places emphasis on reducing homes that are dominated by garages (architecturally). The idea and requirement is to design homes that look like a house and not a garage with a front door attached to the side. Examples will include garages facing alleys, and forward facing garages, but place in the backyard.

The remainder of the modifications relate to subdivision code requirements (alley pavement width, parkland dedication & maintenance and timing of construction. Following approval of the zoning, standard subdivision review and approval processes will be followed. Additionally, the amenities of the project will be subject to the public hearing aspect as required in the Residential Style Guide.

RECOMMENDATION

City staff has reviewed the application and believes the proposed PUD district is appropriate for the 57-acre site. City staff asks the Planning & Zoning Commission to vote to approve the zoning district, as presented.

Attachments

- Application
- Letter of Explanation
- Location map
- Surrounding Zoning Map
- Land Use Districts Map
- Conceptual Land Plan
- PUD Development Standards

November 18, 2020

Howard J. Koontz, Director
Planning Department
100 W. Center Street
Kyle, Texas 78640

via online submittal

RE: Zoning Request – Kyle 57 PUD

Dear Mr. Koontz:

As agent for Kyle Mortgage Investors, LLC (the “Applicant”), owner of approximately 57.29 acres of land, more or less, located at West FM 150 and Old Stagecoach Road, Hays County, Texas (the “Property”), we are hereby submitting an application to request a zoning change. The Owner intends to develop the Property as a mixed use project consisting of single-family residential, open space and trails, and commercial uses (the “Project”).

To successfully construct this unique and harmonious Project, greater flexibility is required than would be permitted under the standard zoning categories. Therefore, pursuant to the Chapter 53, Article III, Division 2 of the City of Kyle (the “City”) Code of Ordinances (the “Code”), the Owner requests that the zoning for the property be changed from Single-Family Residential 2 District ‘R-1-2’ and Retail and Services District ‘RS’ to Planned Unit Development ‘PUD’, to be known as the “Kyle 57 PUD”. Development within the Kyle 57 PUD shall be subject to the use and development regulations attached to this letter.

We look forward to working with the City and all applicable stakeholders on this zoning case. If you have any questions or comments, please do not hesitate to contact me at 512-328-2008.

Sincerely,



Jeffrey S. Howard
McLean & Howard

Kyle 57 PUD Development Standards

Section 1. General Provisions

- (A) **Project Described.** Kyle 57 PUD shall include compatible residential and commercial uses as more particularly depicted on **Exhibit B** (the “Concept Plan”). The Property shall be development as a single family residential community with over 11 acres of open space, trail system and public park that includes a pool and amenity site. Commercial endeavors will serve and provide convenience to the residential tract and general public. The remainder will be necessary infrastructure and right of way.
- (B) **Project Enhancements.** The Developer will provide the following improvements within the project:
 - (1) Entry improvements including an entry monument constructed from durable materials such as concrete, metal, and masonry, with lighting and landscaping, a landscaped median, a landscaped roundabout, and street trees.
 - (2) A landscaped frontage along FM 150 including a fence constructed from masonry or concrete, trees, and other landscaping.
 - (3) Landscape improvements in common areas throughout the community including trails, open lawns, natural areas, seating areas, playscape and a dog park.
 - (4) A private amenity site including a swimming pool and restrooms.
 - (5) All landscape improvements will include permanent irrigation.
- (C) **Applicability.** Development of and uses within the Kyle 57 PUD shall conform to the limitations and conditions set forth herein. If the regulations of the Kyle 57 PUD and the attached exhibits conflict with the City Code, the regulations set forth herein shall control. Except as otherwise specifically modified by the Kyle 57 PUD, all other rules, regulations, and ordinances of the City in effect at the time of permit application apply to development within the Kyle 57 PUD.

Section 2. Residential Tract

- (A) The use and development of the Residential Tract, as more particularly depicted on Concept Plan, shall be subject to the use and development standards of Single-Family Attached District ‘R-1-A’ as the base zoning district, except as modified below.
 - (1) Detached single-family structures are permitted.
 - (2) The minimum residential lot width as measured at the front yard setback shall be forty feet (40’) and the minimum lot size shall be four thousand four hundred (4,400) square feet.
 - (3) A minimum of ten percent (10%) of the residential lots with detached single-family structures shall be at least sixty feet (60’) wide as measured at the front yard setback.
 - (4) A minimum of twenty percent (20%) of the residential lots with detached single-family structures shall be between fifty feet (50’) and sixty feet (60’) wide as measured at the front yard setback.

- (5) The minimum front setback for lots under sixty feet (60') wide shall be ten feet (10') and municipal utility easements located on front lot lines shall be a minimum of ten feet (10') wide.
 - (6) The minimum front setback for lots sixty feet (60') wide or greater shall be twenty feet (20').
 - (7) The minimum side setback for lots under sixty feet (60') wide with detached single-family structures shall be five feet (5') and municipal utility easements located on side lot lines shall be a minimum of five feet (5') wide.
 - (8) The minimum rear setback for residential lots with front-loaded detached garages shall be five feet (5'). The minimum rear setback for all other residential lots shall be ten feet (10').
 - (9) The minimum side setback for detached garages constructed on residential lots shall be zero feet (0'). Municipal utility easements shall not be required on side lot lines for lots on which a detached rear garage will be constructed. Detached single-family living structures must comply with Section 2(A)(7) above.
 - (10) The minimum size of garages shall be four hundred (400) square feet. No additional on-site storage (attached to house or detached) shall be required.
 - (11) The overhang of an eave of a residential building is permitted to encroach within the setbacks and municipal utility easements.
 - (12) The minimum parking required for each residential dwelling unit is two (2) spaces. No additional spaces shall be required for dwelling units with more than two bedrooms.
- (B) The same house plan may be built on every other detached single-family residential lot on either side of the street so long as the house is differentiated by elevation, material and colors. An elevation may only be used once per five (5) consecutive houses. Developer shall be responsible for tracking and ensuring the arrangement of house plans comply, and in the event the house plan configuration is not in compliance, Developer will be solely responsible for any changes necessary to achieve compliance.
- (C) Residential lots may be accessed from (1) a public right of way or (2) by an alley only. Blocks with lots that are accessed only by an alley shall contain no more than forty (40) such lots on a single block face and shall be of such configuration that no portion of any building on any such lot will be more than one thousand fifty (1,050) feet from the right-of-way of an internal street to which the alley is connected.
- (D) Lots under sixty feet (60') wide shall have either:
- (1) Rear-loaded garages with access from a shared alley,
 - (2) Detached rear garages with access from a fourteen foot (14') wide shared-use driveway, measured from edge of pavement to edge of pavement, on alternating lot lines, or
 - (3) Side access if on a corner lot.

- (E) Detached rear garages may be built with a shared wall, so long as it is built to a two-hour fire rating standard.

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The use and development of the Commercial Tract, as more particularly depicted on the Concept Plan, shall be subject to the use and development standards of Retail and Services District ‘RS’ as the base zoning district.

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- (A) Owner shall develop a privately maintained public open space and trail system to be dedicated to the City (“Public Parkland”). Open space less than five (5) contiguous acres may be dedicated to the City without a variance. The Public Parkland shall be maintained by a property owners’ association.
- (B) The Public Parkland is an eligible improvement under a Public Improvement District.

Section 5. Subdivision Infrastructure

- (A) The maximum number of living units equivalent (LUEs) for the Residential and Commercial Tracts is two hundred and fifty (250) LUEs.
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- (C) The width of the alley right of way shall be twenty feet (20’). The minimum pavement width for alleys, measured from edge of pavement to edge of pavement, shall be sixteen feet (16’).
- (D) The City shall coordinate with adjacent landowners to ensure that internal streets that are designed to access adjacent properties are connected in a manner that creates a safe and City Code compliant street network.
- (E) The City shall accept completed Subdivision Infrastructure for ownership, operation, and maintenance in compliance with City Code. The City shall not unreasonably deny, delay, or condition its acceptance of the Subdivision Infrastructure.

Section 6. Landscaping

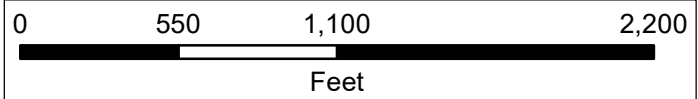
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- (B) Street trees planted on or immediately adjacent to a residential lot shall also count toward the minimum (2) trees required for that lot under Section 54-5 of the City Code. Any other street trees required pursuant to this section of the Kyle 57 PUD shall also count fully as replacement trees under Section 54-12 of the City Code. Under no circumstance shall any provision of this Section reduce the total number of trees that would otherwise be required under Sections 54-5 and 54-12 of the City Code. The street tree requirement continues to apply even after all other requirements of Section 54-5 and 54-12 of the City Code have been satisfied.

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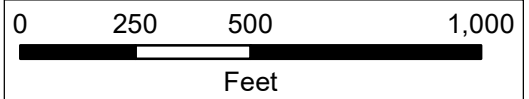
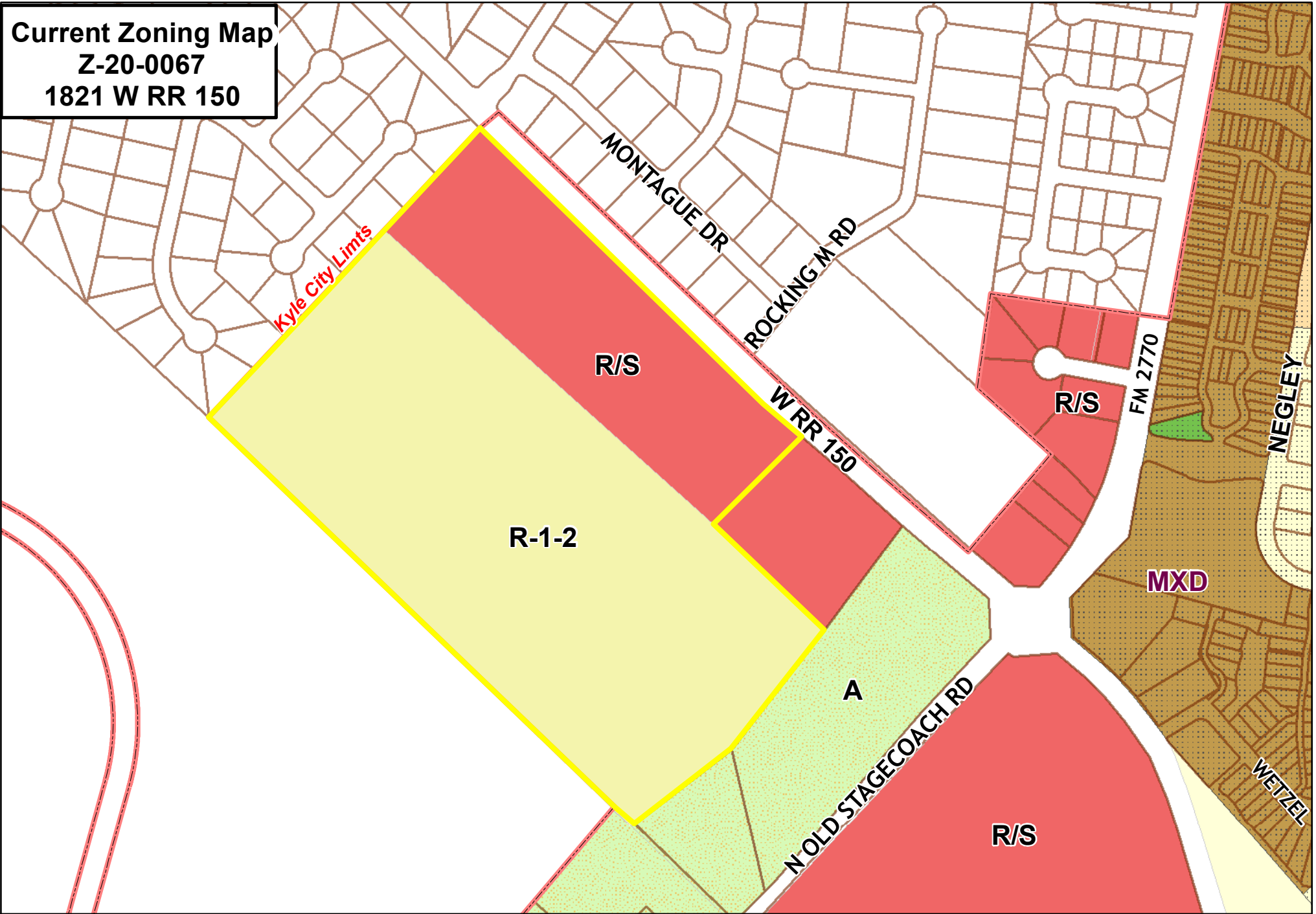
Project Location Map
Z-20-0067
57.3 Acres
1821 W RR 150




 Property Location
Item # 10

 Parcel Lines

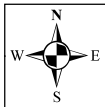
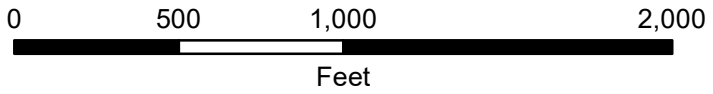
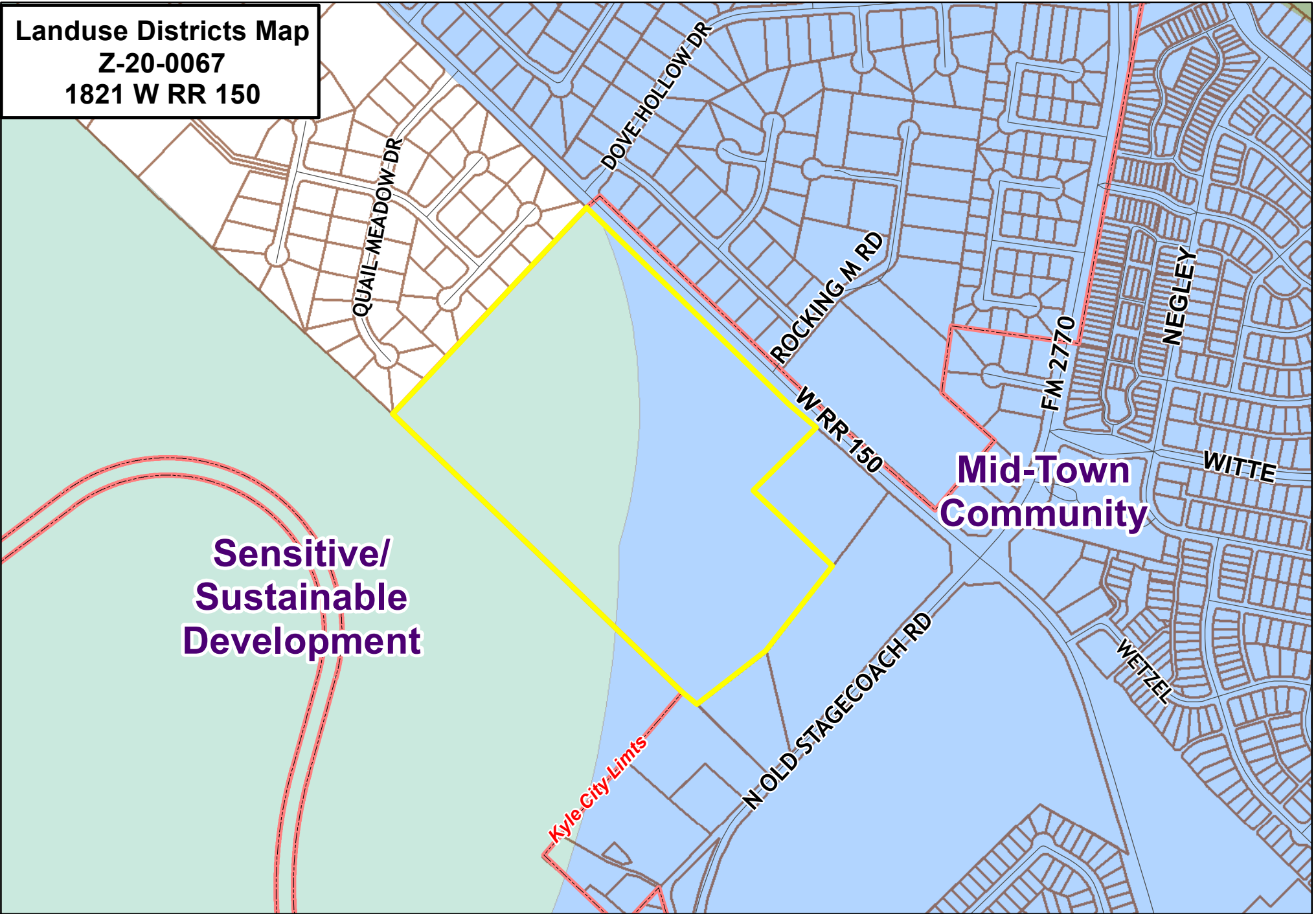
Current Zoning Map
Z-20-0067
1821 W RR 150




 Property Location
Item # 10

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Landuse Districts Map
Z-20-0067
1821 W RR 150

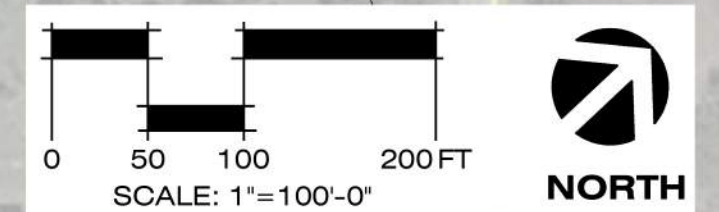


 Property Location
Item # 10

 Parcel Lines

LEGEND:

- 40' LOTS - ALLEY LOAD
- 55' LOTS - REAR GARAGE
- 60' LOTS - FRONT GARAGE
- COMMERCIAL
- OPEN SPACE
- AMENITY SITE



November 18, 2020

Howard J. Koontz, Director
Planning Department
100 W. Center Street
Kyle, Texas 78640

via online submittal

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- (D) Development of the Residential Tract shall utilize the City's alterative process for review and approval of required development permit applications which allows development permit applications to run concurrently.

—You may send your written comments to the Planning Department, 100 W. Center St., Kyle, Texas 78640
(attention: Zoning File # Z-20-0067).

Name: Alton + Deanna Franke Address: 1501 N. Old Stagecoach Rd.
Kyle, Texas
786

I am in favor, this is why _____

I am not in favor, and this is why See Attachment

Attachment: Zoning File #Z-20-0067

Alton E. and Deanna K. Franke

Our property joins the subject property. Our concerns are as follows:

1. No reasonable notice – We received notice on Monday, December 21, 2020 during the Christmas and New Year’s Holidays.
2. Rezoning to a PUD - A PUD is different than standard zoning. It provides for variances than would be provided under standard zoning categories.
3. Flat clearing – Mass grading of the property with existing natural lay of the land (drainage, trees, environmental, historical, etc.) replaced with a high the density development. Flat clearing will damage the wooded area behind our home. Under the rezoning plan, mass grading of the property may begin before final approval of the plats is received from the City. Many of the subdivisions in the area incorporate the natural and historical features of the land into the subdivision plan rather than destroying them.
4. Increased density - A decrease in lot, rear setback, and residence size. The decrease in the rear setback will place new homes closer to our property line and those of other existing property owners.
5. Increased traffic – Traffic currently backs up on nearby 2770 in the area of schools. This would only increase.
6. Decreased absorption area – Increased drainage on the subject property, and for property owners down the creek.
7. Variance to tree ordinance – Lessor older trees, and risk of spreading oak wilt. The area behind our home is wooded with the fear that oak trees removed may be connected by root systems to our trees thereby damaging them. Oak wilt may be transmitted through root systems.
8. Height of new homes

Thank you for your consideration



CITY OF KYLE, TEXAS

1400 E. FM 150, LLC - Zoning (Z-20-0068)

Meeting Date: 1/12/2021
Date time: 6:30 PM

Subject/Recommendation: Consider a request by 1400 E. FM 150, LLC (Z-20-0068) to assign original zoning to approximately 5.87 acres of land from Agriculture 'AG' to Retail Service District 'RS' for property located at 1400 E. RR 150, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

Other Information: See attachments.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- Staff Memo
- Application
- Location Map
- Current Zoning Map
- Land Use Districts Map

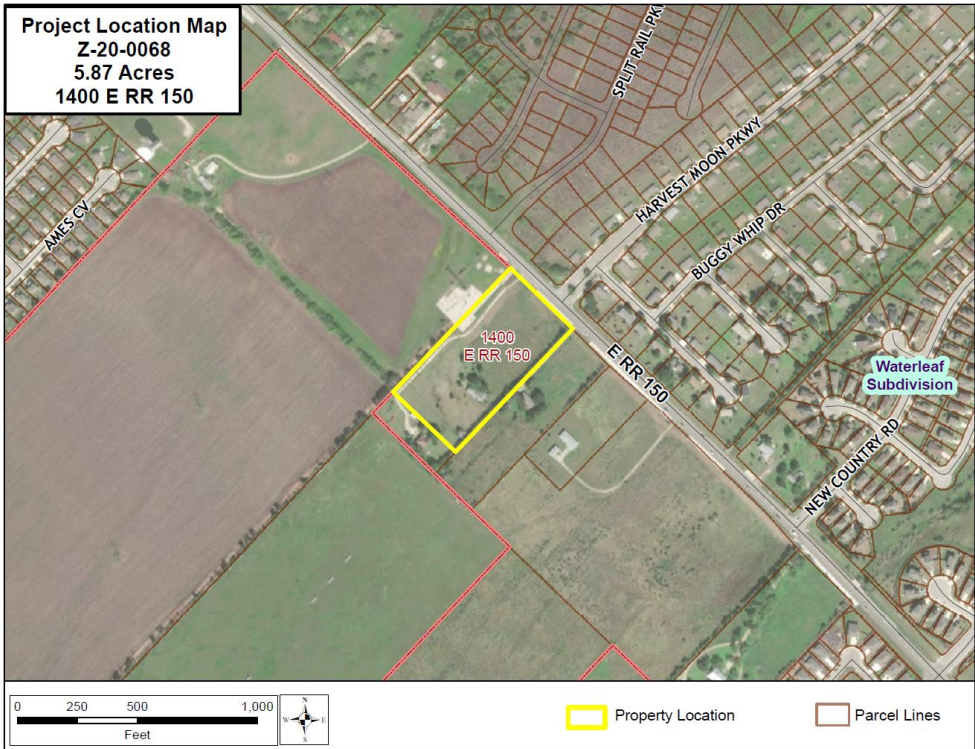
Property Location 1400 E. FM 150, Kyle, Texas 78640

Owner Najib Wehbe

Agent Glen Coleman
P.O. Box 25
Junction, TX 78649

Request Rezone 5.87 Acres "A" (Agriculture) to "RS" (Retail Services)

Vicinity Map

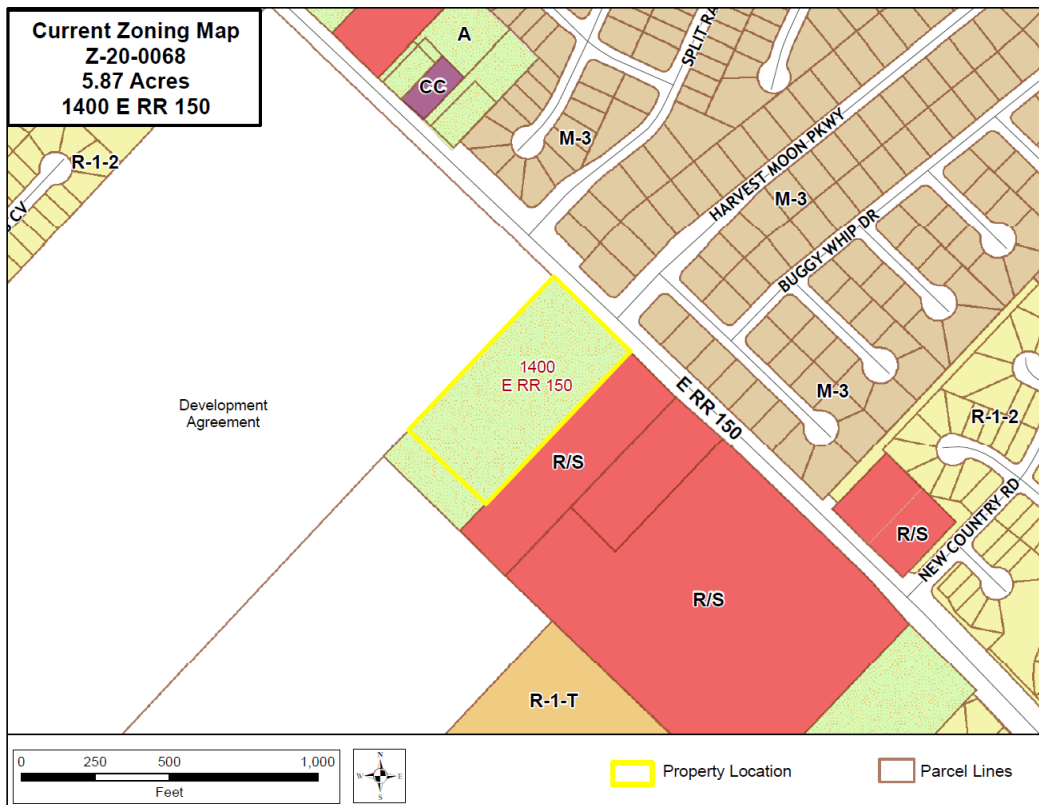


Site Description

The site is a single 5.87-acre parcel, currently zoned “A” (Agriculture), with one single-family residence located on it. Across E FM 150 and to the north/northeast lies the Sunset Ridge Manufacture Home subdivision. To the east/southeast lies parcels zoned “RS” (Retail Services) which typically have only one single-family residence per property. To the south is a parcel zoned “A” with one single-family residence. To the west and northwest lies property in the City of Kyle’s ETJ, currently utilized for agriculture.

The applicant seeks to rezone the property from “A” (Agriculture) to “RS” (Retail Services).

Current Zoning



Sec. 53-36. - Agricultural district A.

The permitted uses in the agricultural district A allow farming, ranching, pasturage, detached single-family residences and related accessory structures, on a minimum one acre tract. Parks, playgrounds, greenbelts and other public recreational facilities, owned and/or operated by the municipality or other public agency are permitted.

(Ord. No. 438, § 23, 11-24-2003)

Requested Zoning

RS (Retail Services District)

Sec. 53-480. - Purpose and permitted uses.

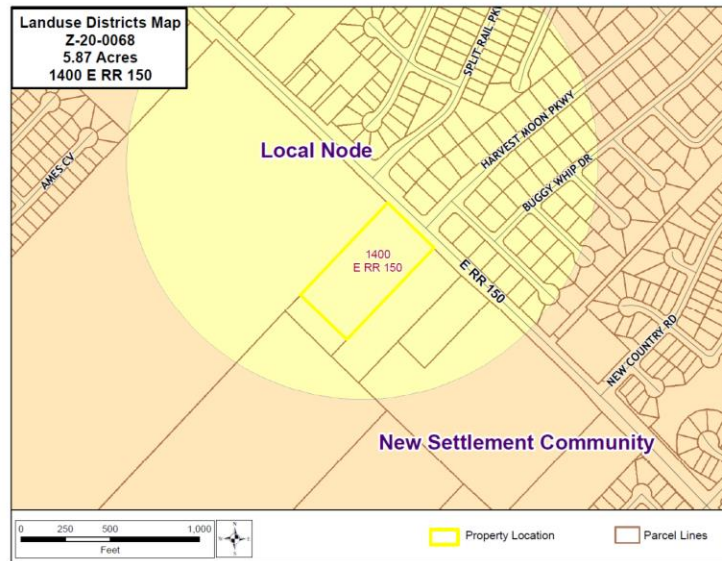
This district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety, department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in [section 53-1230](#).

(Ord. No. 438, § 42(a), 11-24-2003)

Conditions of the Zoning Ordinance

Sec. 53-1205 Amendments

- (d) *Referral of amendment to planning and zoning commission.* Upon its own motion, a request by the planning and zoning commission, or the receipt of an administratively complete petition and application to zone or rezone a lot, tract or parcel of land, which petition and application has been examined and approved as to form by the city manager, shall be referred to the planning and zoning commission for consideration, public hearing, and recommendation to the city council. The council may not enact a rezoning amendment until the planning and zoning commission has held a public hearing and made its recommendation to the city council, or has made a final vote on the matter without obtaining a majority, on the zoning or rezoning of the property.
- (e) *Action by the planning and zoning commission.* The planning and zoning commission shall cause such study and review to be made as advisable and required, shall give public notice and hold a public hearing as provided by state law, and shall recommend to the council such action as the planning and zoning commission deems proper...



Comprehensive Plan Text

The subject site is located in the “Local Node” District. The RS zoning district is recommended conditionally in the “Local Node” District

Current Land Use Chart

Local Node

Recommended Zoning Categories: R-1-C, R-3-2, R-3-3, CC, NC, MXD

Conditional Zoning Categories: R-1-T, R-3-1, **R/S**

Local Node

‘Character’:

Some Local Nodes occur at existing intersections, where a greater intensity of use should be fostered to take advantage of the benefits conferred by that intersection. Other Local Nodes are located at points where new corridors will create significant local intersections in the future. Local Nodes should be comprised of neighborhood-scale retail uses, small public gathering spaces, such as plazas, playgrounds, and trails, and some higher intensity residential opportunities where appropriate. Local Nodes should be designed to serve the local population living within or adjacent to the individual Node. For this reason, Local

Nodes should provide goods and services that enhance convenience and, therefore, quality of life for local residents. A central gathering location should be created within each Local Node to foster a sense of community for the surrounding residents.

'Intent':

The anchor of each Local Node should be service retail, and, of all the Nodes, the Local Nodes should have the lowest level of non-residential development intensity. General goods and services required on a daily basis by residents should be located in Local Nodes, including small food markets, restaurants, banks, and small shops. These Nodes should be connected to the surrounding communities with sidewalks and trails to encourage walking, minimize traffic congestion, and increase safety.

Analysis

The property requesting to be rezoned is sited in an area that is likely to develop from low intensity residential (Agriculture zoning) into a higher intensity area of commercial and residential activity, mostly centered on E FM 150 and Creekside Trail. The project associated with the requested zoning is across E FM 150 from Harvest Moon Parkway (main entrance into the Sunset Ridge community).

This site is immediately northwest and adjacent to several tracts zoned "RS". The Retail Services zoning district allows for many uses relating to "point of sale" service. These include, but are not limited to retail uses, restaurants, offices, convenience store/fuel stations. This site is currently close to the "edge" of the Local Node and is likely to be dependent on vehicular traffic. This is due to E FM 150 being an arterial highway with little to no pedestrian access to it. Commercial uses closer to the center of nodal areas, would be expected to have a greater emphasis on pedestrian or cyclist modes of transportation, as they should be within walking distance of higher density residential uses. Per city code, this site will be code compliant when a site plan is submitted for review. This will include sidewalks, parking, building location, landscaping, detention, etc.

Recommendation

In conclusion, staff supports the rezoning from "A" (Agriculture) to RS (Retail Services) for the property located at 1400 E FM 150, as requested. Staff asks the Planning & Zoning Commission to vote to recommend approval of the request.

Attachments

- Application
- Location Map
- Existing Zoning Map
- Land Use Districts Map

APPLICATION & CHECKLIST – ZONING CHANGE

Zoning: _____ (Name of Owner) _____ (Submittal Date)

INSTRUCTIONS:

- Fill out the following application and checklist completely prior to submission.
- Place a check mark on each line when you have complied with that item.
- Use the most current application from the City’s website at www.cityofkyle.com or at City Hall. City ordinances can be obtained from the City of Kyle.

REQUIRED ITEMS FOR SUBMITTAL PACKAGE:

The following items are required to be submitted to the Planning Department in order for the Zoning Application to be accepted.

- ___ 1. Completed application form with owner’s original signature.
- ___ 2. Letter explaining the reason for the request.
- ___ 3. **Application Fee:** \$428.06, plus \$3.62 per acre or portion thereof.

Newspaper Publication Fee: \$190.21 **Sign Notice Fee:** \$127.00

Total Fee: \$766.99

- ___ 4. A map or plat showing the area being proposed for rezoning.
- ___ 5. A clear and legible copy of field notes (metes and bounds) describing the tract (when not a subdivided lot).
- ___ 6. Certified Tax certificates: County ___ School ___ City ___
- ___ 7. Copy of Deed showing current ownership.

***** A submittal meeting is required. Please contact Debbie Guerra at (512) 262-3959 to schedule an appointment.**

1. Zoning Request:

Current Zoning Classification: Agriculture
Proposed Zoning Classification: Retail Services
Proposed Use of the Property: Service Station and Retail
Acreage/Sq. Ft. of Zoning Change: 5.87 ac

Provide certified field notes describing the property being proposed for rezoning.
Provide complete information on the location of the property being proposed for rezoning.

Street Address: 1400 E FM 150, Kyle, Texas 78640

Subdivision Name/Lot & Block Nos. 5.87 acres of land out of the Milton B. Atkinson Survey

Property Recording Information: Hays County
Document No. 20023141

3. Ownership Information:

Name of Property Owner(s): _____

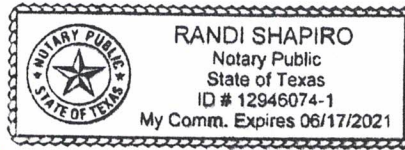
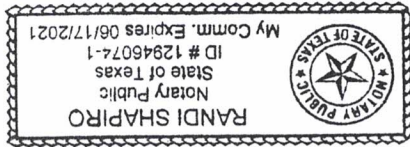
Certified Public Notary:

This document was acknowledged before me on the 14th day of September, 2020 by

Hajib Wehbe (Owner(s)).
Randi Shapiro

Notary Public State of Texas

(Seal)



(If property ownership is in the name of a partnership, corporation, joint venture, trust or other entity, please list the official name of the entity and the name of the managing partner.)

Address of Owner: _____

Phone Number: _____

Fax Number: _____

Email Number: _____

I hereby request that my property, as described above, be considered for rezoning:

Signed: [Signature]

Date: _____

4. Agent Information:

If an agent is representing the owner of the property, please complete the following information:

Agent's Name: Glen Coleman

Agent's Address: PO Box 25
Junction, Texas 76849

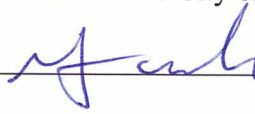
Agent's Phone Number: 512-407-9357

Agent's Fax Number: _____

Agent's Mobile Number: _____

Agent's Email Number: glen.colemantx@gmail.com

I hereby authorize the person named above to act as my agent in processing this application before the Planning and Zoning Commission and City Council of the City of Kyle:

Owner's Signature:  _____

Date: _____

*Do Not Write Below This Line
Staff Will Complete*

Tax Certificates: County School City

Certified List of Property Owners Within 200'

All Fees Paid: Filing/Application Mail Out Costs

Attached Map of Subject Property

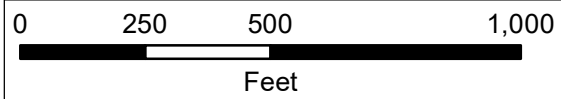
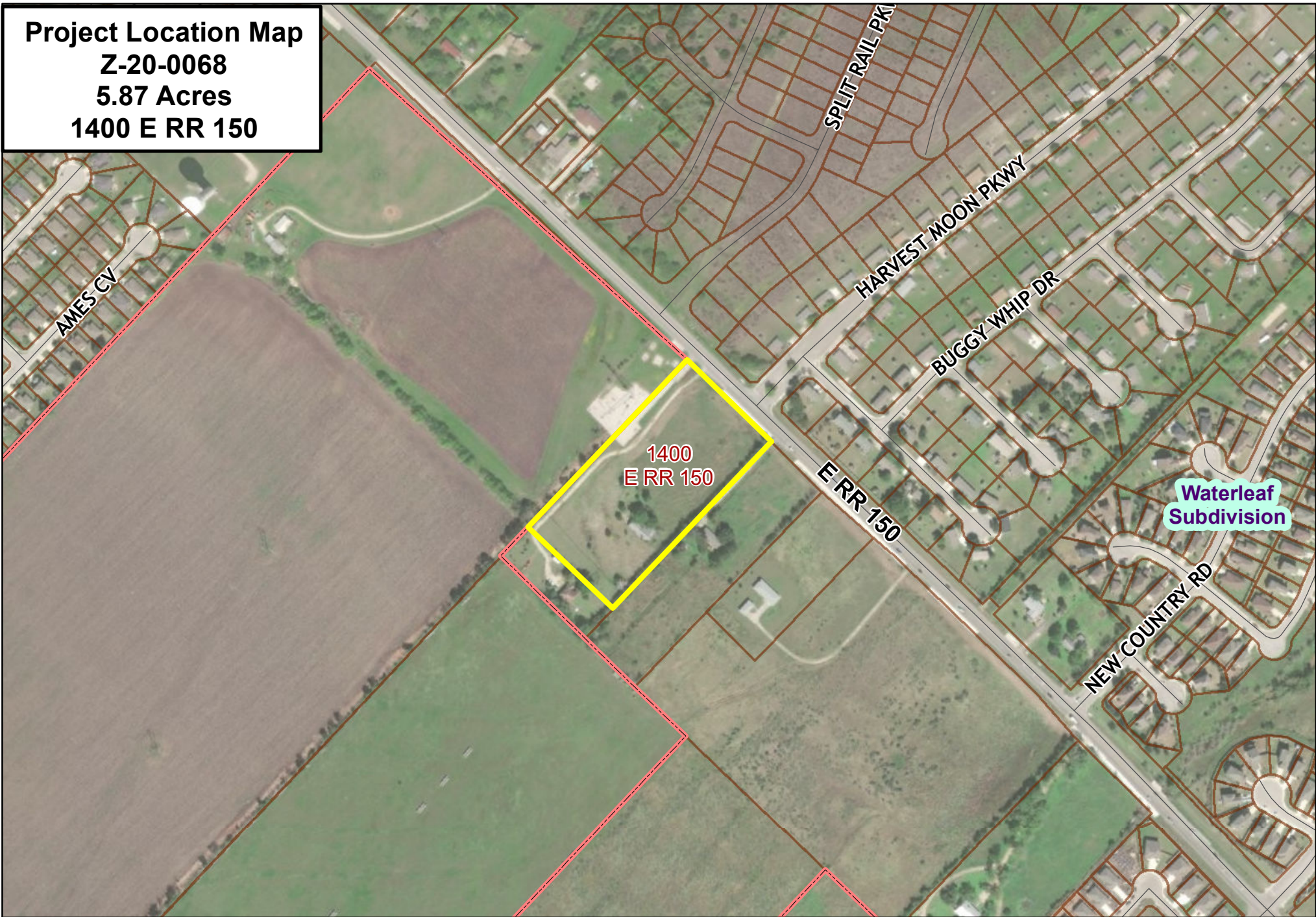
Accepted for Processing By: _____ Date: _____

Date of Public Notification in Newspaper: _____

Date of Public Hearing Before Planning and Zoning Commission: _____

Date of Public Hearing Before City Council: _____

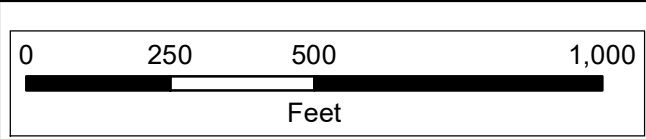
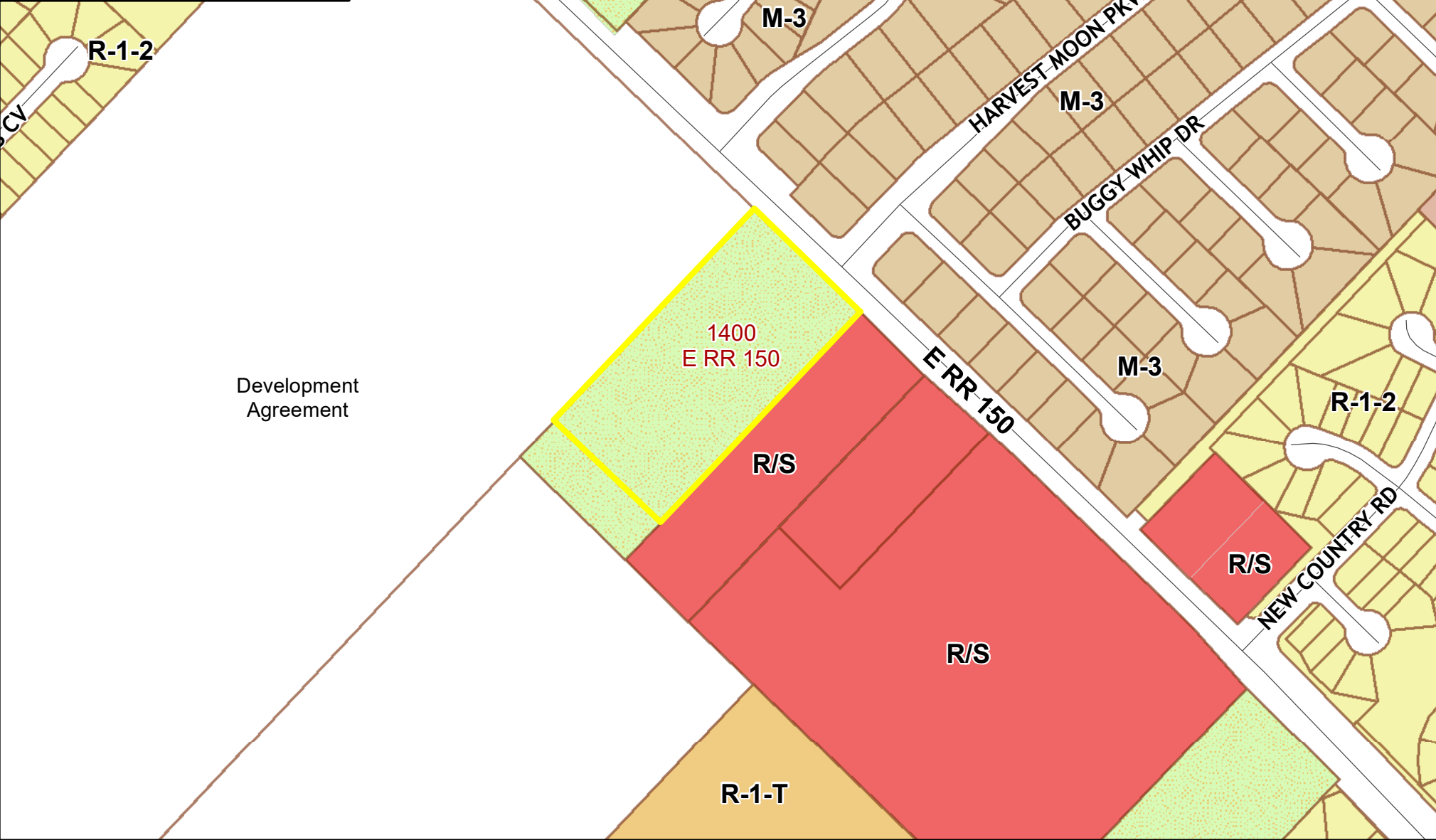
Project Location Map
Z-20-0068
5.87 Acres
1400 E RR 150



 Property Location
Item # 11

 Parcel Lines

Current Zoning Map
Z-20-0068
5.87 Acres
1400 E RR 150



 Property Location
Item # 11

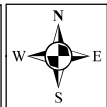
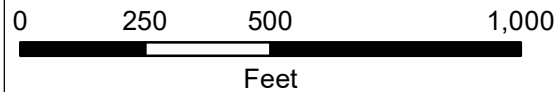
 Parcel Lines

Landuse Districts Map
Z-20-0068
5.87 Acres
1400 E RR 150

Local Node

1400
E RR 150

New Settlement Community



 Property Location
Item # 11

 Parcel Lines



CITY OF KYLE, TEXAS

DDR DB Kyle LP - Zoning (Z-20-0069)

Meeting Date: 1/12/2021

Date time:6:30 PM

Subject/Recommendation: Consider a request by DDR DB Kyle LP (Z-20-0069) to rezone approximately 19.5 acres of land from Retail Service District 'RS' to Multi-Family Residential-3 'R-3-3' for property located at 5492 Kyle Center Drive, in Hays County, Texas.

- Public Hearing
- Recommendation to City Council

Other Information: See attachments.

Legal Notes: N/A

Budget Information: N/A

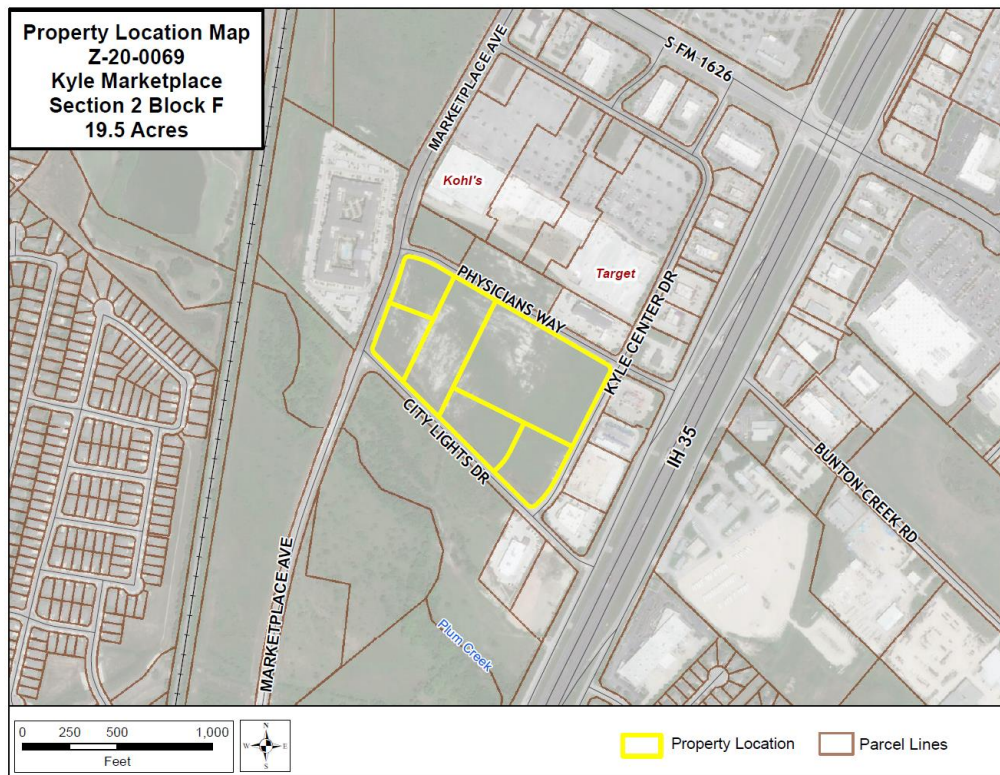
ATTACHMENTS:

Description

- Staff Memo
- Request Letter
- Application
- Location Map
- Current Zoning Map
- Land Use Districts Map

Property Location	Kyle Marketplace Section 2, Lots 1, 1B, 1C, 2, 3, & 4, Block F
Owner	DDR DB Kyle LP. Michael S. Owendoff, Deputy General Counsel 3300 Enterprise Pkwy Beechwood, OH 44122
Agent	Travis Sawvell 1703 W. 5th, Ste. 850 Austin, TX 78750
Request	Rezone 19.4681-Acres "RS" (Retail Services) to "R-3-3" (Apartments Residential 3)

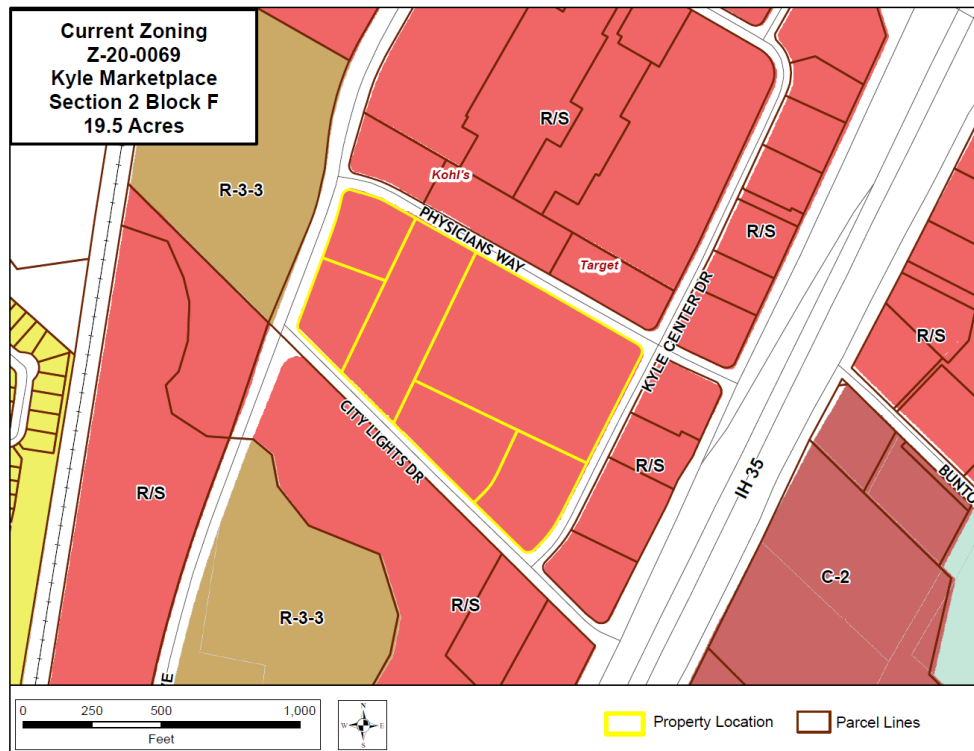
Vicinity Map



Site Description

The site is located on an undeveloped pad site, surrounded on four sides by public streets (Marketplace Ave., Kyle Center Dr., Physicians Way, City Lights Dr.). The parcel is generally behind the Target/Kohl's shopping center, with the Comfort Suites hotel between the shopping center and the pad site. To the east of the block, are Chicken Express, Rapid Express Car Wash, a two-story office and Kyle ER. To the south lie Caliber Collision and a future fuel station and strip center (under construction). To southwest lies undeveloped land, zoned "RS". To the west is undeveloped land zoned "RS" (across Marketplace Ave.). To the west and northwest lies the Oaks of Marketplace apartment complex (zoned R-3-3).

Current Zoning Map



Existing Zoning

RS (Retail Services District)

Sec. 53-480. - Purpose and permitted uses.

This district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety, department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in [section 53-1230](#).

(Ord. No. 438, § 42(a), 11-24-2003)

Requested Zoning

R-3-3 (Apartments Residential 3)

Sec. 53-292. - Purpose and permitted uses.

The multifamily residential district R-3-3 permits typical apartment development with buildings not exceeding three stories, nor more than 28 units per buildable acre, and with apartments or units having a minimum living area of 500 square feet; provided that not more than 25 percent of the units in any such apartment development or project shall have less than 750 square feet of living area.

(Ord. No. 438, § 33(a), 11-24-2003)

Conditions of the Zoning Ordinance

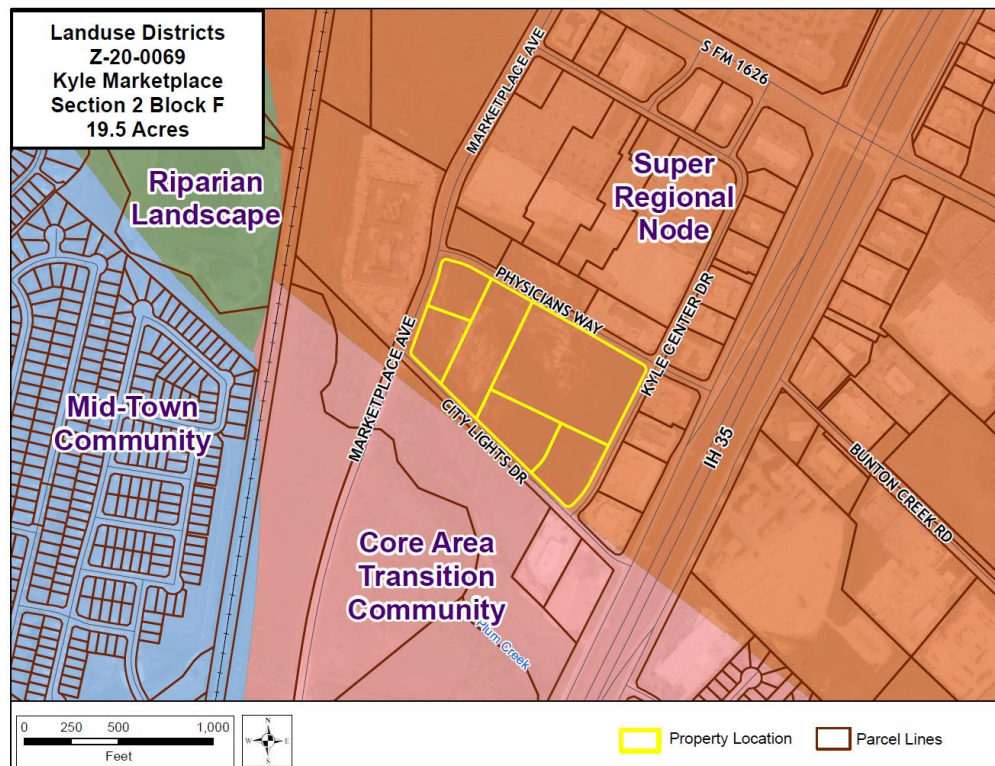
Sec. 53-1205 Amendments

(d)

Referral of amendment to planning and zoning commission. Upon its own motion, a request by the planning and zoning commission, or the receipt of an administratively complete petition and application to zone or rezone a lot, tract or parcel of land, which petition and application has been examined and approved as to form by the city manager, shall be referred to the planning and zoning commission for consideration, public hearing, and recommendation to the city council. The council may not enact a rezoning amendment until the planning and zoning commission has held a public hearing and made its recommendation to the city council, or has made a final vote on the matter without obtaining a majority, on the zoning or rezoning of the property.

(e)

Action by the planning and zoning commission. The planning and zoning commission shall cause such study and review to be made as advisable and required, shall give public notice and hold a public hearing as provided by state law, and shall recommend to the council such action as the planning and zoning commission deems proper...



Comprehensive Plan Text

The subject site is located within the “Super Regional Node”. The “R-3-3” zoning district is a recommended district in the “Super Regional Node”.

Recommended: E, HS, R-3-2, **R-3-3**, R/S, MXD, O/I

Conditional: ----

Super Regional Node

‘Character’: The Super Regional Node should contain large-scale institutional, commercial, retail, and where appropriate, high density multifamily land uses to create the highest classification activity center in Kyle. The Seton Medical Center should serve as the key distinguishing employment component, serving as the primary institutional use in the district upon which support enterprises can base their business locations. The Super Regional Node is in the early stages of development, and care should be taken to ensure that as development processes, it is in keeping with the character and intent outlined below for this Node. Seton Hospital serves as a regional attractor and, in large part, alongside destination retail and business services, defines the Super Regional Node. Associated health providers and goods and service providers should be attracted to this area and encouraged to create a diverse commercial and employment center. The aggregation of commercial square footage in this Node creates a significant commercial destination that will be visible to regional travelers along the I-35 corridor. This proximity to highway infrastructure results in the rare instance of a district primarily designed to be automobile oriented, with patrons arriving and inter-locating primarily by car. The commercial focus of this Node should be on acting as an economic activity center, generating much needed real estate, sales and hotel occupancy tax revenue for the city while fulfilling the retail and service needs of patrons from a targeted distance of no less than 10-15 mile away. Additionally, ancillary entertainment uses, such as movie theaters or bowling alleys, may be appropriate in this Node. This Node should serve as a destination for Kyle, attracting people due to the hospital and/or commercial offerings, and encouraging them to extend their stay due to unique and diverse uses and connections to other areas of Kyle.

‘Intent’: The purpose of the Super Regional Node is to capture employment opportunities and create a commercial destination within Kyle. Situated at the intersection of I-35 and Texas State Highway 1626, these high classification roadways are best suited to bring in out-of-region patrons with the least impact to Kyle’s local street network. This Node should take advantage of the medical center and of I-35

traffic to increase Kyle's competitiveness in the surrounding region. Existing employment opportunities should be referenced when targeting complimentary commercial uses and opportunities for increased value capture. Due to the concentration and diversity of uses in this Node, appropriate land use transitions to adjacent Communities is critical. The anchor of the Super Regional Node should be employment and they daytime population created by those positions, and the Super Regional Node should have the highest level of development intensity of all Nodes.

Analysis

The subject property is located on approximately 19.5-acres, south (behind) of the Target/Kohl's shopping center. As previously noted, it is bounded on four sides by existing streets and has water and wastewater services. The site is currently zoned "RS" (Retail Services), and the "R-3-3" (Apartments Residential 3) is recommended per the "Super Regional Node" land use district.

The 19.5-acre parcel has been vacant for some time. The pad site has never been developed and being setback from both southbound IH-35 and FM 1626, the 19.5-acre site is partially hidden from both of those thoroughfares. This site, however, has received significant interest for multi-family, residential development. In several instances, planning staff has met with potential developers to develop the site with a high-density, mixed-use activity center use in mind.

The R-3-3 district allows for up to 28 residential units per buildable acre, in structures of a maximum of 3-stories and 45-feet in height. Theoretically, this property could develop 546 dwelling units, while in reality building setbacks, surface parking lots and drive aisles, and utility corridors and easements will ultimately mean fewer dwellings will actually be built. That stated, other than vertical mixed-use (MXD zoning), this is the City of Kyle's highest density multifamily zoning category. One item of note, is the developer and the City Council are drafting a development agreement to further refine the R-3-3 zoning district. It will mostly relate to building façade requirements and building setbacks. The intent is to make it more of an urban style project.

Recommendation

Because the site has sufficient utilities, road infrastructure, city staff supports the rezoning to R-3-3. City staff asks the Planning & Zoning Commission to vote recommending approval of the zoning amendment.

Attachments

- Application
- Location Map
- Current Zoning Map
- Land Use Districts Map



To whom it may concern,

Central Southwest Development (CSW) is seeking the rezoning of Kyle Marketplace Section 2, LOT 1, 1B, 1C, 2, 3, & 4, BLOCK F, consisting of 19.4861 AC, as shown in Exhibit A. CSW has come to this conclusion after actively marketing the property for over 16 months for users that are allowable with the current zoning of RS. Unfortunately, the land no longer lends itself to that zoning and therefor the request is for the land to be rezoned to allow multi-family (R-3-3).

Sincerely,

A handwritten signature in black ink, appearing to read "Rob O'Farrell", written in a cursive style.

Robert O'Farrell

President



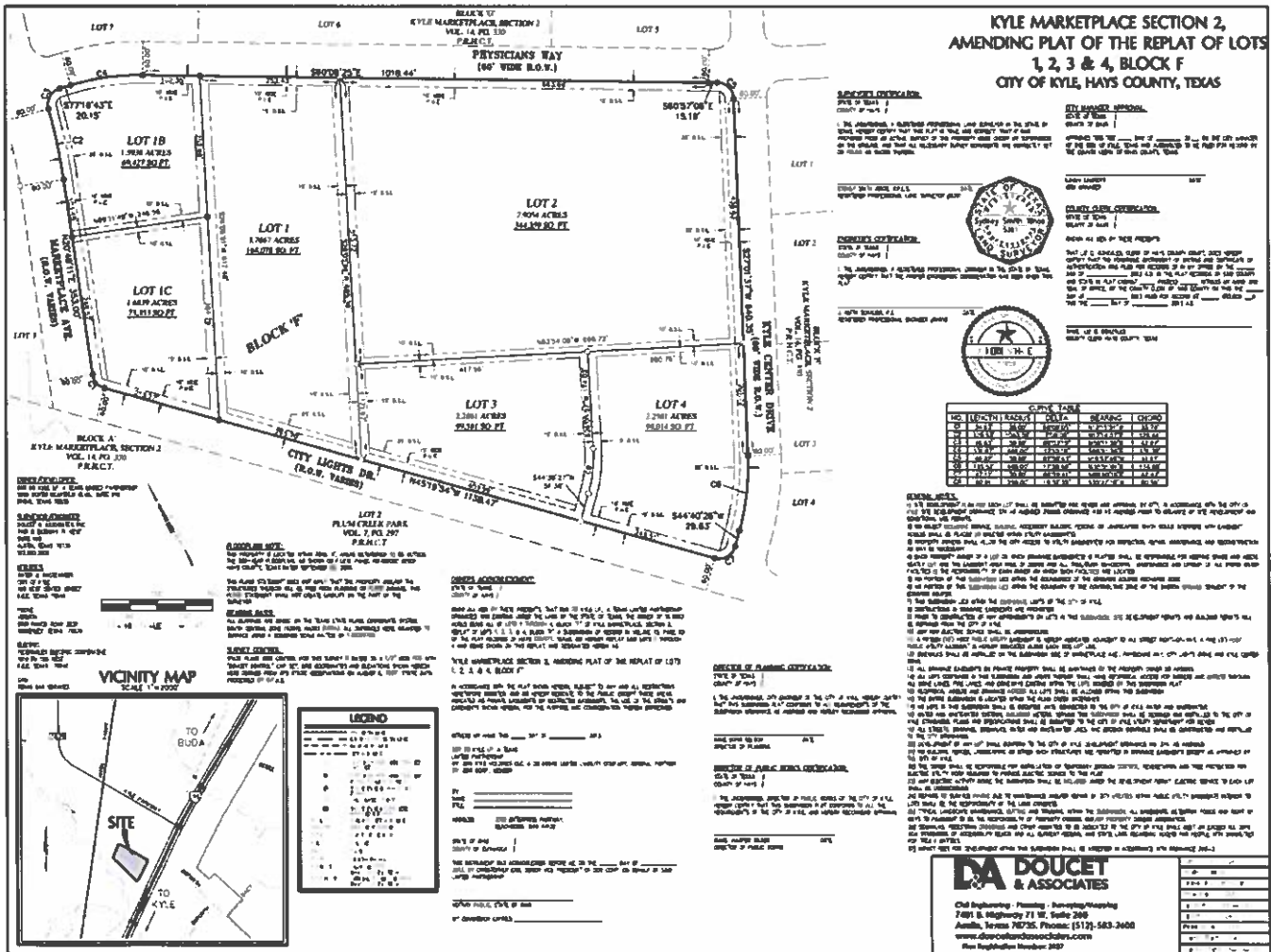
D: 512.368.7025

rofarrell@cswdevelopment.com

www.cswdevelopment.com

Exhibit "A"

Kyle Marketplace Section 2,
LOT 1, 1B, 1C, 2, 3, & 4,
Block F



APPLICATION & CHECKLIST – ZONING CHANGE

Zoning: DDR DB KYLE LP
(Name of Owner)

11/30/2020
(Submittal Date)

INSTRUCTIONS:

- Fill out the following application and checklist completely prior to submission.
- Place a check mark on each line when you have complied with that item.
- Use the most current application from the City's website at www.cityofkyle.com or at City Hall. City ordinances can be obtained from the City of Kyle.

REQUIRED ITEMS FOR SUBMITTAL PACKAGE:

The following items are required to be submitted to the Planning Department in order for the Zoning Application to be accepted.

1. Completed application form with owner's original signature.
2. Letter explaining the reason for the request.
3. **Application Fee:** \$428.06, plus \$3.62 per acre or portion thereof.
Newspaper Publication Fee: \$190.21 **Sign Notice Fee:** \$127.00

Total Fee: \$815.81

4. A map or plat showing the area being proposed for rezoning.
5. A clear and legible copy of field notes (metes and bounds) describing the tract (when not a subdivided lot).
6. Certified Tax certificates: County School City
7. Copy of Deed showing current ownership.

***** A submittal meeting is required. Please contact Debbie Guerra at (512) 262-3959 to schedule an appointment.**

1. Zoning Request:

Current Zoning Classification: RS – Retail Services

Proposed Zoning Classification: R-3-3

Proposed Use of the Property: Multi-Family

Acreage/Sq. Ft. of Zoning Change: 19.4861 AC

2. Address and Legal Description:

**Provide certified field notes describing the property being proposed for rezoning.
Provide complete information on the location of the property being proposed for rezoning.**

Street Address: _____

Subdivision Name/Lot & Block Nos.: Kyle Marketplace Section 2, LOT1, 1B, 1C, 2, 3, 4, Block F

Property Recording Information: Hays County
Volume/Cabinet No. _____

Page/Slide No. _____

3. Ownership Information:

Name of Property Owner(s): DDR DB KYLE LP

By DDR Kyle Holdings LLC, its General Partner

Certified Public Notary:

This document was acknowledged before me on the 30th day of November, 2020, by
DDR Kyle Holdings LLC, the General Partner of DDR DB Kyle LP (Owner).

Elizabeth A. Berry
Notary Public State of Ohio

(Seal)

ELIZABETH A. BERRY
Notary Public, State of Ohio, Geauga Cty.
My Commission Expires 4/18/23

(If property ownership is in the name of a partnership, corporation, joint venture, trust or other entity, please list the official name of the entity and the name of the managing partner.)

Address of Owner: 3300 Enterprise Pkwy
Beachwood, OH 44122

Phone Number: _____

Fax Number: _____

Email Number: _____

I hereby request that my property, as described above, be considered for rezoning:

Signed: Michael S. Owendoff

Date: Nov. 30, 2020 Michael S. Owendoff, Deputy General Counsel

4. Agent Information:

If an agent is representing the owner of the property, please complete the following information:

Agent's Name: Travis Sawvell

Agent's Address: 1703 W. 5th, Suite 850, Austin, TX 78750

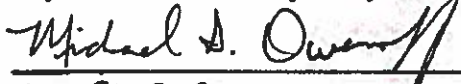
Agent's Phone Number: (512) 368-7086

Agent's Fax Number: (737)346-3555

Agent's Mobile Number: (512) 810-8154

Agent's Email Number: travis.sawvell@am.ill.com

I hereby authorize the person named above to act as my agent in processing this application before the Planning and Zoning Commission and City Council of the City of Kyle:

Owner's Signature: 

Date: Nov. 30, 2020 Michael S. Owendoff, Deputy General Counsel

*Do Not Write Below This Line
Staff Will Complete*

Tax Certificates: County School City

Certified List of Property Owners Within 200"

All Fees Paid: Filing/Application Mail Out Costs

Attached Map of Subject Property

Accepted for Processing By: _____ Date: _____

Date of Public Notification in Newspaper: _____

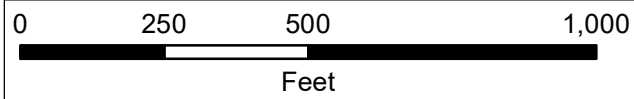
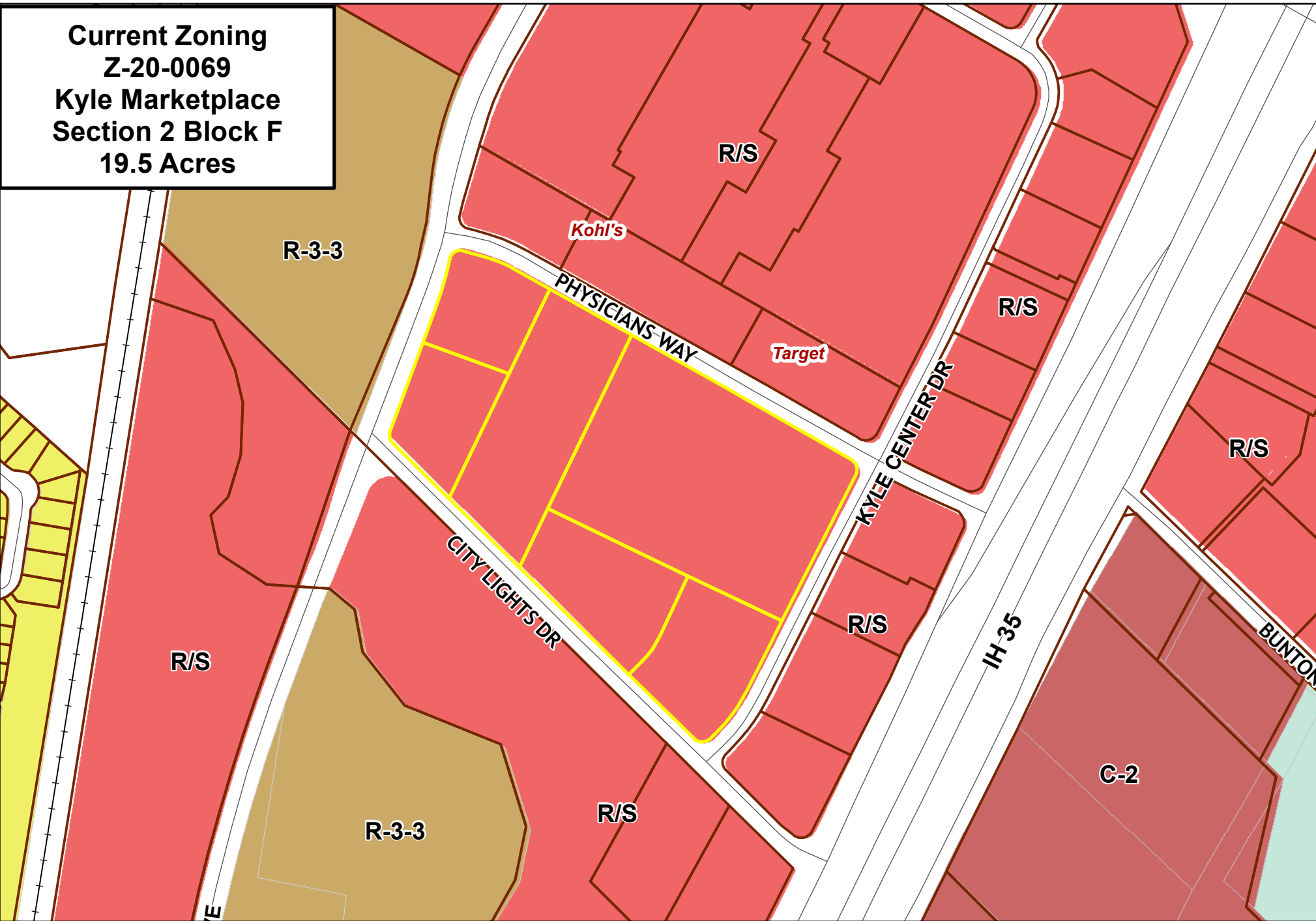
Date of Public Hearing Before Planning and Zoning Commission: _____

Date of Public Hearing Before City Council: _____

**Proposed Rezoning
Kyle Marketplace Section 2,
LOT 1, 1B, 1C, 2, 3, 4,
Block F**



Current Zoning
Z-20-0069
Kyle Marketplace
Section 2 Block F
19.5 Acres



 Property Location
Item # 12

 Parcel Lines

Landuse Districts
Z-20-0069
Kyle Marketplace
Section 2 Block F
19.5 Acres

Riparian
Landscape

Super
Regional
Node

Mid-Town
Community

Core Area
Transition
Community

MARKETPLACE AVE

S FM 1626

PHYSICIANS WAY

KYLE CENTER DR

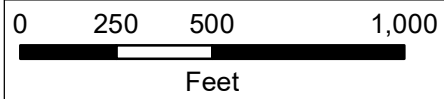
MARKETPLACE AVE

CITY LIGHTS DR

IH 35

BUNTON CREEK RD

Plum Creek



 Property Location
Item # 12

 Parcel Lines



CITY OF KYLE, TEXAS

Discussion only regarding Planning and Zoning Commission request for future agenda items.

Meeting Date: 1/12/2021
Date time:6:30 PM

Subject/Recommendation: Discussion only regarding Planning and Zoning Commission request for future agenda items.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Staff Report by Howard J. Koontz

Meeting Date: 1/12/2021

Date time:6:30 PM

Subject/Recommendation: Staff Report by Howard J. Koontz, Director of Planning and Community Development.

Other Information: N/A

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

No Attachments Available