

CITY OF KYLE

PLANNING & ZONING COMMISSION REGULAR MEETING

<https://www.cityofkyle.com/kyletv/kyle-10-live> OR
Spectrum10

SPECIAL NOTE: Pursuant to the March 16, 2020 proclamation issued by Governor Abbott, this meeting will be held by videoconference in order to advance the public health goal of limiting face-to-face meetings (also called 'social distancing') to slow the spread of COVID-19. Planning and Zoning Commission will attend the meeting via videoconferencing. This meeting can be viewed live online at <https://www.cityofkyle.com/kyletv/kyle-10-live> OR Spectrum10.



Notice is hereby given that the Planning and Zoning Commission of the City of Kyle, Texas will meet at 6:30 PM on December 8, 2020, at <https://www.cityofkyle.com/kyletv/kyle-10-live> OR Spectrum10, for the purpose of discussing the following agenda.

NOTE: There may be a quorum of the City Council of Kyle, Texas present at the meeting who may participate in the discussion. No official action will be taken by the City Council members in attendance.

Posted this 4th day of December, 2020, prior to 6:30 P.M.

-
1. **Call Meeting To Order**
 2. **Roll Call**
 3. **Citizen Comments**

A. Members of the public that wish to provide citizen comment must submit the online registration form found at: <https://www.cityofkyle.com/council/citizen-comment-sign> to attend virtually. Registration must be received by 12 p.m. on the day of the meeting.

4. **Presentation**

A.Recognition of Tim McHutchion for his years of service on the Planning and Zoning Commission.

5. Consent

A.Green Pastures, Section Two, Replat of Lots 2 & 3, Block R (SUB-19-0077) 2.44 acres; 3 lots for property located approximately 160-feet northeast of the northeast intersection of Lilac Way and Treetop Lane.

Staff Proposal to P&Z: Approve the Final Plat.

B.Chateau Bella Subdivision - Final Plat (SUB-20-0138) 35.55 acres; 3 Lots and ROW for property located at 602 Creekside Trail.

Staff Proposal to P&Z: Approve the Final Plat.

C.Stagecoach Subdivision, Phase 3 - Final Plat (SUB-20-0149) 22.251 acres; 88 single family lots for property located East of Stagecoach Road and West of Scott Street.

Staff Proposal to P&Z: Approve the Final Plat.

D.Plum Creek Phase 1, Section 12C - Final Plat (SUB-20-0150) 6.708 acres; 1 Lot and ROW for property located on the southwest corner of Kohler's Crossing and FM 1626.

Staff Proposal to P&Z: Approve the Final Plat.

E.Plum Creek Regional Detention - Site Plan (SD-20-0075) limits of construction for 81.86 acres, construction entrance is located at 3251 S. FM 1626.

Staff Proposal to P&Z: Approve the Site Plan.

F.Plum Creek Phase 2, Section 6 & 10 Grading Improvements - Site Plan (SD-20-0080) limits of construction for 92.43 acres, construction entrance is located at 3251 S. FM 1626.

Staff Proposal to P&Z: Approve the Site Plan.

6. General Discussion

A.Discussion only regarding Planning and Zoning Commission request for future agenda items.

7. Staff Report

A.Staff Report by Howard J. Koontz, Director of Planning and Community Development.

8. Adjournment



CITY OF KYLE, TEXAS

Citizen Comment Information

Meeting Date: 12/8/2020

Date time:6:30 PM

Subject/Recommendation: Members of the public that wish to provide citizen comment must submit the online registration form found at: <https://www.cityofkyle.com/council/citizen-comment-sign> to attend virtually. Registration must be received by 12 p.m. on the day of the meeting.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Recognition of Service - Tim McHutchion

Meeting Date: 12/8/2020
Date time:6:30 PM

Subject/Recommendation: Recognition of Tim McHutchion for his years of service on the Planning and Zoning Commission.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Green Pastures, Section Two,
Replat of Lots 2 & 3, Block R
(SUB-19-0077)

Meeting Date: 12/8/2020
Date time:6:30 PM

Subject/Recommendation: Green Pastures, Section Two, Replat of Lots 2 & 3, Block R (SUB-19-0077) 2.44 acres; 3 lots for property located approximately 160-feet northeast of the northeast intersection of Lilac Way and Treetop Lane.

Staff Proposal to P&Z: Approve the Final Plat.

Other Information: See attached.

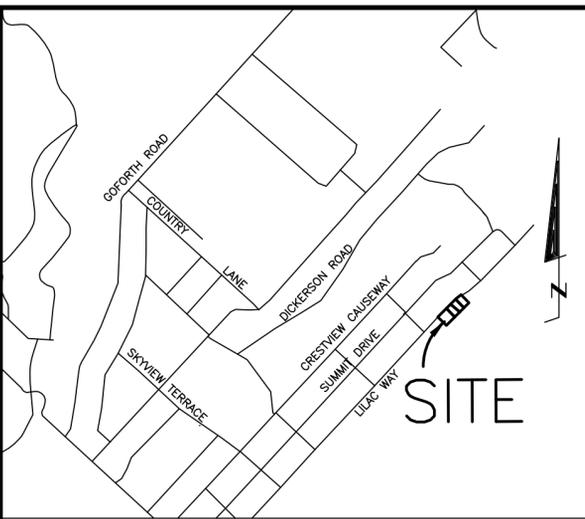
Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- Final Plat



SURVEYORS NOTES

1. ACCORDING TO SCALING FROM THE CURRENT F.E.M.A. FLOOD INSURANCE RATE MAP NO. 48209C0293F, DATED SEPTEMBER 2, 2005, THIS TRACT LIES WITHIN ZONE X, (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
2. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE OR EASEMENT. THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON.
3. ACCORDING TO SCALING FROM TCEQ MAPS NO PORTION OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE AND NO PORTION OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER CONTRIBUTING ZONE.
4. THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE HAYS INDEPENDENT SCHOOL DISTRICT.
5. THIS TRACT LIES WITHIN THE BOUNDARIES OF THE CITY OF KYLE'S EXTRATERRITORIAL JURISDICTION.
6. THIS SUBDIVISION LIES WITHIN HAYS COUNTY EMERGENCY SERVICES DISTRICTS 5 AND 9.
7. MAIL BOXES PLACED WITHIN THE ROW, SHALL BE OF AN APPROVED TxDOT OR FHWA DESIGN, PER COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUBCHAPTER 2.01.
8. DUE TO LOT SIZES, ALL LOTS ARE RESTRICTED TO ADVANCED SEPTIC SYSTEMS ONLY.
9. THIS PROPERTY LIES IN THE PLUM CREEK CONSERVATION DISTRICT AND THE BARTON SPRINGS/EDWARDS AQUIFER CONSERVATION DISTRICT.
10. AT THE NOVEMBER 17, 2020 CITY COUNCIL MEETING, THE CITY COUNCIL APPROVED THE FOLLOWING WAIVERS: 1) ALLOW LOTS 2A & 2B TO BE LESS THAN GREATER THAN 1-ACRE; 2.) ALLOW LOT 2A TO HAVE LESS THAN 130- FEET OF WIDTH AT THE FRONT PROPERTY LINE.

STATE OF TEXAS*
COUNTY OF HAYS*

KNOW ALL MEN BY THESE PRESENTS, THAT WE, GUILLERMO GONZALEZ AND IMELDA FUENTES, OWNERS OF A PORTION OF LOT 2, BLOCK R, GREEN PASTURES, SECTION TWO, HAYS COUNTY, TEXAS AS CONVEYED TO US BY DEED DATED FEBRUARY 15, 2019, AND RECORDED AS INSTRUMENT NO. 19004948, HAYS COUNTY OFFICIAL PUBLIC RECORDS, DO HEREBY REPLAT THIS PROPERTY TO BE KNOWN AS REPLAT OF LOTS 2 AND 3, BLOCK R, GREEN PASTURES, SECTION TWO, IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS WATER COURSES, DRAINS, MUNICIPAL UTILITY EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE FURTHER ACKNOWLEDGED THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS IN THE CITY; WE, OUR, SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

GUILLERMO GONZALEZ
611B LILAC WAY
KYLE, TEXAS 78640

IMELDA FUENTES
611B LILAC WAY
KYLE, TEXAS 78640

STATE OF TEXAS*
COUNTY OF HAYS*

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GUILLERMO GONZALEZ AND IMELDA FUENTES KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, A.D., 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS*
COUNTY OF HAYS*

KNOW ALL MEN BY THESE PRESENTS, THAT WE, ALEJANDRO DELGADO AND ROSALIE DELGADO VENCENCIO, OWNERS OF A PORTION OF 1/2 OF LOT 2 AND LOT 3, BLOCK R, GREEN PASTURES, SECTION TWO, HAYS COUNTY, TEXAS AS CONVEYED TO US BY DEED DATED NOVEMBER 15, 2000, AND RECORDED IN VOLUME 1741, PAGE 862, HAYS COUNTY OFFICIAL PUBLIC RECORDS, DO HEREBY REPLAT THIS PROPERTY TO BE KNOWN AS REPLAT OF LOTS 2 AND 3, BLOCK R, GREEN PASTURES, SECTION TWO, IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS WATER COURSES, DRAINS, MUNICIPAL UTILITY EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE FURTHER ACKNOWLEDGED THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS IN THE CITY; WE, OUR, SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

ALEJANDRO DELGADO
611 LILAC WAY
KYLE, TEXAS 78640

ROSALIE DELGADO VENCENCIO
611 LILAC WAY
KYLE, TEXAS 78640

STATE OF TEXAS*
COUNTY OF HAYS*

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALEJANDRO DELGADO AND ROSALIE DELGADO VENCENCIO KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, A.D., 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS*
COUNTY OF HAYS*

KNOW ALL MEN BY THESE PRESENTS, THAT I, EDGAR ROGEL, OWNER OF A PORTION OF THE SOUTHWEST 1/2 OF LOT 2, BLOCK R, GREEN PASTURES, SECTION TWO, HAYS COUNTY, TEXAS AS CONVEYED TO ME BY DEED DATED JUNE 4, 2012, AND RECORDED IN VOLUME 4353, PAGE 640, HAYS COUNTY OFFICIAL PUBLIC RECORDS, DO HEREBY REPLAT THIS PROPERTY TO BE KNOWN AS REPLAT OF LOTS 2 AND 3, BLOCK R, GREEN PASTURES, SECTION TWO, IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS WATER COURSES, DRAINS, MUNICIPAL UTILITY EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE FURTHER ACKNOWLEDGED THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS IN THE CITY; WE, OUR, SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

EDGAR ROGEL
607 LILAC WAY
KYLE, TEXAS 78640

STATE OF TEXAS*
COUNTY OF HAYS*

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED EDGAR ROGEL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, A.D., 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, THE UNDERSIGNED DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF KYLE FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF KYLE.

CAITLYN STRICKLAND, DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

STATE OF TEXAS *
COUNTY OF HAYS *

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20____, AT _____ O'CLOCK ____M., IN THE PLAT RECORDS OF HAYS COUNTY,

TEXAS IN INSTRUMENT NUMBER _____

ELAINE H. CARDENAS, COUNTY CLERK
HAYS COUNTY, TEXAS

VICINITY MAP - 1"=2000'

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

TOM POPE, R.S., C.F.M.
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

CAITLYN STRICKLAND, DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT OF THE CITY OF KYLE, TEXAS, AND IS HEREBY APPROVED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.

DATED THIS ____ DAY OF _____, 20____.

HOWARD J. KOONZ
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT

REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

REVIEWED BY:

CITY ENGINEER

DRIVEWAY PERMIT STATEMENT:

DRIVEWAYS SHALL COMPLY WITH CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS, AND BE PERMITTED THROUGH THE TRANSPORTATION DEPARTMENT OF HAYS COUNTY UNDER CHAPTER 751.

PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 705.8.03, ALL CULVERTS, WHEN REQUIRED SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARD.

LOT SIZE CATEGORIES

- TOTAL AREA = 2.44 ACRES
- TOTAL NUMBER OF LOTS = 3
- AVERAGE LOT SIZE = 0.81 OF AN ACRE
- NUMBER OF LOTS OVER 10 ACRES = 0
- NUMBER OF LOTS 5 - 10 ACRES = 0
- NUMBER OF LOTS 2 - 5 ACRES = 0
- NUMBER OF LOTS 1 - 2 ACRES = 1
- NUMBER OF LOTS LESS THAN 1 ACRE = 2

UTILITIES:
ELECTRIC-PEDERNALES ELECTRIC COOP
WATER-MONARCH UTILITIES I L.P.
SEWER-INDIVIDUAL ON-SITE SEPTIC

LEGEND

- VOL PG HAYS COUNTY DEED, REAL PROPERTY OR OFFICIAL PUBLIC RECORDS
- VOL PG HAYS COUNTY PLAT RECORDS
- 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "BYRN SURVEY"
- 1/2" IRON ROD FOUND OR DIAMETER NOTED
- 1/2" IRON ROD FOUND WITH PLASTIC CAP
- BSL BUILDING SETBACK LINE

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY STATE THAT TO THE BEST OF MY SKILL AND KNOWLEDGE THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

REGISTERED PROFESSIONAL LAND SURVEYOR
DAVID C. WILLIAMSON, R.P.L.S. NO. 4190

CLIENT: GONZALEZ, G.
DATE: 09/24/2018
OFFICE: BRYANT
CREW: K. SMITH, C. SMITH
FB/Pg: 754/60
PLAT NO. 27567-19-2-c

ORIGINAL SCALE
1" = 60'

BYRN & ASSOCIATES, INC.
SURVEYING
P.O. BOX 1433 SAN MARCOS, TEXAS 78667
PHONE 512-396-2270 FAX 512-392-2945
FIRM NO. 10070500

**GREEN PASTURES, SECTION TWO,
REPLAT OF LOTS 2 & 3, BLOCK R
HAYS COUNTY, TEXAS**



CITY OF KYLE, TEXAS

Chateau Bella Subdivision - Final Plat (SUB-20-0138)

Meeting Date: 12/8/2020
Date time:6:30 PM

Subject/Recommendation: Chateau Bella Subdivision - Final Plat (SUB-20-0138) 35.55 acres; 3 Lots and ROW for property located at 602 Creekside Trail.

Staff Proposal to P&Z: Approve the Final Plat.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

Final Plat

PLAT ESTABLISHING
KYLE CHATEAU BELLA SUBDIVISION
CONSISTING OF 35.55 ACRES
ESTABLISHING LOTS 1, 2 AND 3 AND
CREEKSIDE TRAIL RIGHT-OF-WAY
CITY OF KYLE
HAYS COUNTY, TX

STATE OF TEXAS
COUNTY OF HAYS

KNOW ALL MEN BY THESE PRESENTS: THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, AND WATER COURSES, DRAINS, MUNICIPAL UTILITY EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED...

OWNER: KYLE CHATEAU BELLA, INC./ SARAH FILES

STATE OF TEXAS
COUNTY OF HAYS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Name], KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED...

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: [Date]

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST
DATE

STATE OF TEXAS
COUNTY OF HAYS

I, ELAIN H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON [Date] DAY OF [Month] 20[Year] AT [Time] O'CLOCK [AM/PM] IN THE DULY RECORDED BOOK [Number] OF THE [Year] A.D., 20[Year] IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, INN DOCUMENT NO. [Number]

WITNESS MY HAND AND SEAL OF OFFICE THIS THE [Date] DAY OF [Month] A.D. 2020.

ELAIN H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

JURISDICTION: THIS SUBDIVISION LIES WITHIN THE FULL PURPOSE JURISDICTION OF THE CITY OF KYLE, TEXAS, THIS THE [Date] DAY OF [Month] 20[Year] A.D.

PLANNING AND ZONING COMMISSION CERTIFICATION: THIS FINAL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING DEPARTMENT OF THE CITY OF KYLE, AND IS HEREBY CONSIDERED AND APPROVED BY THE PLANNING AND ZONING COMMISSION.

DATED THE DAY OF [Month] 20[Year]

MADAM CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION
DATE

SURVEYOR'S CERTIFICATION: I, LEMUEL T. SINCLAIR, AM LICENSED UNDER THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY DIRECT SUPERVISION ON JULY 10, 2020.

LEMUEL T. SINCLAIR, R.P.L.S. #5142
REGISTERED PROFESSIONAL LAND SURVEYOR

ENGINEER'S CERTIFICATION: I, WILLIAM "BILL" SCHOCK, AM AUTHORIZED UNDER THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND IS IN GENERAL ACCORDANCE WITH THE REGULATIONS OF THE CITY OF KYLE.

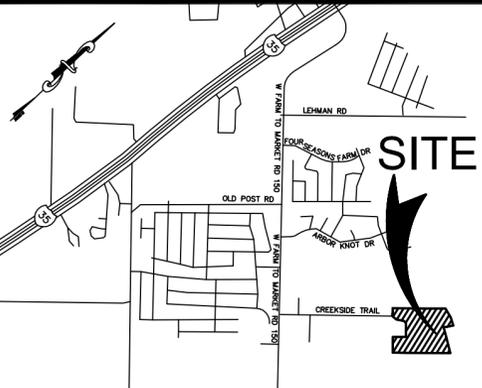
A PORTION OF THE TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 48209C0405F, DATED SEPTEMBER 2, 2005.

WILLIAM "BILL" SCHOCK, P.E.
LICENSED PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 88636

REVIEWED BY:

CITY ENGINEER

DIRECTOR OF PUBLIC WORKS



LOCATION MAP NOT TO SCALE

- LEGEND: 1 = FOUND 1/2" IRON BAR WITHOUT A CAP
2 = SET 1/2" IRON BAR WITH AN ORANGE CAP MARKED "SLS RPLS 5142"
3 = SET NAIL
4 = FOUND NAIL SET IN FENCE POST
(F) = FIELD BEARING
(P) = PLAT BEARING
R.O.W. = RIGHT-OF-WAY
VOL. = VOLUME
PG.(S) = PAGE(S)
O.P.R.H.C.T.X. = OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
MUE = MUNICIPLE UTILITY EASEMENT

METES AND BOUNDS DESCRIPTION OF A SURVEY OF 35.55 acres out of the Milton B. Atkinson Survey, Abstract 21, Hays County, Texas, being that 35.537-acre tract of land described in 3 tracts in deed of record in Document Number 17001499 of the Official Public Records of Hays County, Texas, and being more particularly described by metes and bounds, as surveyed, as follows:

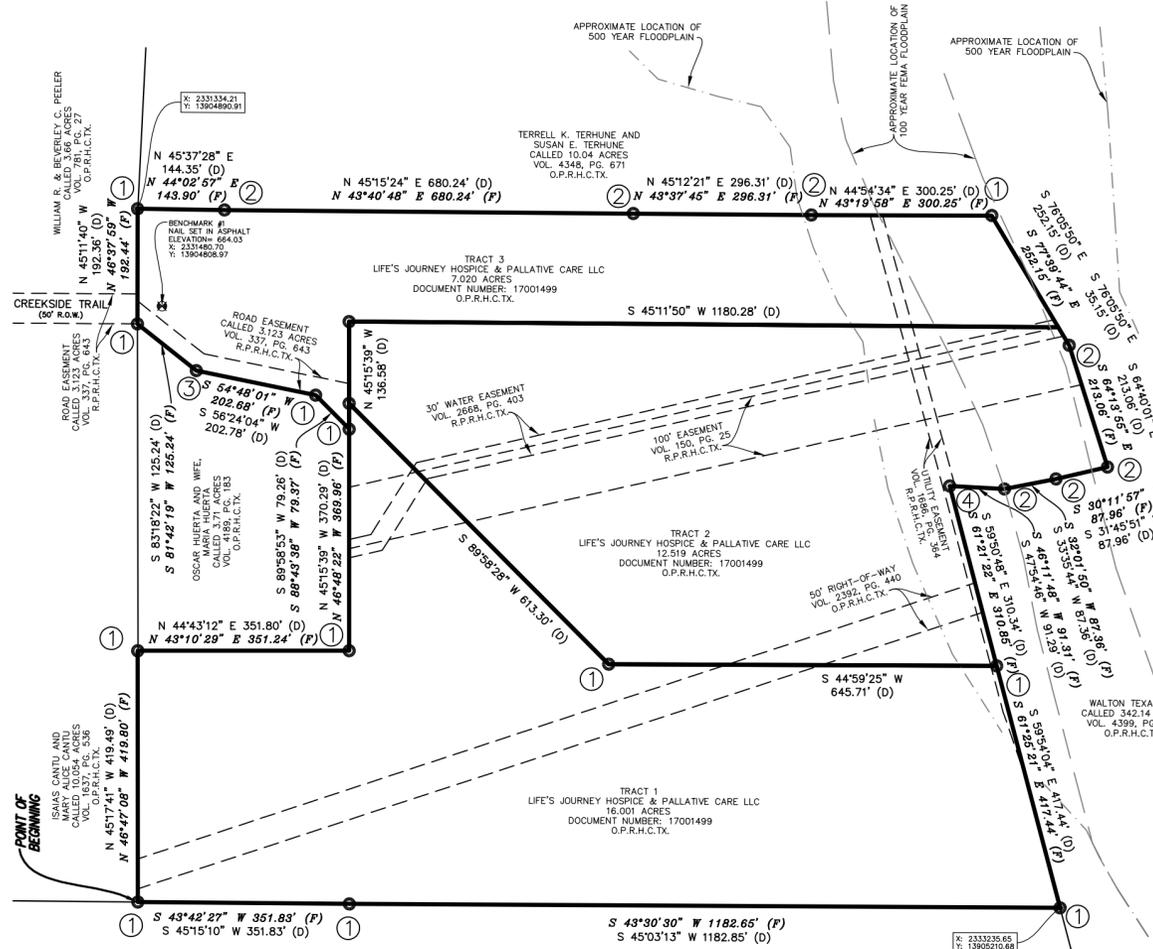
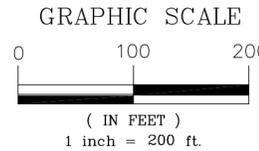
Beginning at an 1/2" iron bar found set in the ground in the northwest boundary line of a 199.34-acre tract of land described in deed of record in Volume 1631 at page 17 of the Official Public Records of Hays County, Texas, the south corner of a 35.537-acre tract of land described in 3 tracts in deed of record in Document Number 17001499 of the Official Public Records of Hays County, Texas, and the east corner of a 10.054-acre tract of land described in deed of record in Volume 1637 at page 536 of the Official Public Records of Hays County, Texas, for the south corner of this tract;
Thence N 46°47'08" W (called N 45°17'41" W) with the southwest boundary line of said 35.537-acre tract and the northeast boundary line of said 10.054-acre tract a distance of 419.80 feet (called 419.49 feet) to an 1/2" iron bar found set in the ground, a west corner of said 35.537-acre tract and the south corner of a 3.71-acre tract of land described in deed of record in Volume 4189 at page 183 of the Official Public Records of Hays County, Texas, for a west corner of this tract;
Thence N 43°10'29" E (called N 44°43'12" E) with a northeast boundary line of said 35.537-acre tract and the southeast boundary line of said 35.537-acre tract a distance of 351.24 feet (called 351.80 feet) to an 1/2" iron bar found set in the ground, a reentrant corner of said 35.537-acre tract and the east corner of said 3.71-acre tract, for a reentrant corner of this tract;
Thence N 46°48'22" W (called N 45°15'39" W) with a southwest boundary line of said 35.537-acre tract and the northeast boundary line of said 3.71-acre tract a distance of 369.96 feet (called 370.29 feet) to an 1/2" iron bar found set in the ground, a reentrant corner of said 35.537-acre tract and the north corner of said 3.71-acre tract, for a reentrant corner of this tract;
Thence S 88°43'38" W (called N 89°58'53" W) with a south boundary line of said 35.537-acre tract and the north boundary line of said 3.71-acre tract a distance of 79.37 feet (called 79.26 feet) to an 1/2" iron bar found set in the ground, a corner of said 35.537-acre tract and a corner of said 3.71-acre tract, for a corner of this tract;
Thence S 54°48'01" W (called S 56°24'04" W) with a southeast boundary line of said 35.537-acre tract and the northwest boundary line of said 3.71-acre tract a distance of 202.78 feet (called 202.78 feet) to a nail set in asphalt, a corner of said 35.537-acre tract and a corner of said 3.71-acre tract, for a corner of this tract;
Thence S 81°42'19" W (called S 83°18'22" W) with a south boundary line of said 35.537-acre tract and a north boundary line of said 3.71-acre tract a distance of 125.24 feet (called 125.24 feet) to an 1/2" iron bar found set in the ground in the northeast boundary line of said 10.054-acre tract, a south corner of said 35.537-acre tract and the west corner of said 3.71-acre tract, for a corner of this tract;
Thence N 46°37'59" W (called N 45°11'40" W) with a southwest boundary line of said 35.537-acre tract and the northeast boundary lines of said 3.71-acre tract and a 3.68-acre tract of land described in deed of record in Volume 781 at page 27 of the Official Public Records of Hays County, Texas, a distance of 192.44 feet (called 192.36 feet) to an 1/2" iron bar found set in the ground, the west corner of said 35.537-acre tract and the south corner of a 10.04-acre tract of land described in deed of record in Volume 4348 at page 671 of the Official Public Records of Hays County, Texas, for the west corner of this tract;
Thence N 44°02'57" E (called N 45°37'28" E) with a northeast boundary line of said 35.537-acre tract and a southeast boundary line of said 10.04-acre tract a distance of 143.90 feet (called 144.35 feet) to an 1/2" iron bar with an orange cap marked "SLS RPLS 5142" set in the ground, a corner of said 35.537-acre tract and a corner of said 10.04-acre tract, for a corner of this tract;
Thence N 43°37'45" E (called N 45°12'21" E) with a northeast boundary line of said 35.537-acre tract and a southeast boundary line of said 10.04-acre tract a distance of 296.31 feet (called 296.31 feet) to an 1/2" iron bar with an orange cap marked "SLS RPLS 5142" set in the ground, a corner of said 35.537-acre tract and a corner of said 10.04-acre tract, for a corner of this tract;
Thence N 43°19'58" E (called N 44°54'34" E) with a northeast boundary line of said 35.537-acre tract and a southeast boundary line of said 10.04-acre tract a distance of 300.25 feet (called 300.25 feet) to an 1/2" iron bar found set in the ground in a south boundary line of a 342.14-acre tract of land described in deed of record in Volume 4399 at page 768 of the Official Public Records of Hays County, Texas, the north corner of said 35.537-acre tract and the east corner of said 10.04-acre tract, for the north corner of this tract;
Thence S 77°39'44" E (called S 76°05'50" W) with a north boundary line of said 35.537-acre tract and a south boundary line of said 342.14-acre tract a distance of 262.15 feet (called 262.15 feet) to an 1/2" iron bar with an orange cap marked "SLS RPLS 5142" set in the ground, a corner of said 35.537-acre tract and a corner of said 342.14-acre tract, for a corner of this tract;
Thence S 64°13'59" E (called S 62°40'01" E) with a northeast boundary line of said 35.537-acre tract and a southwest boundary line of said 342.14-acre tract a distance of 213.91 feet (called 213.91 feet) to an 1/2" iron bar with an orange cap marked "SLS RPLS 5142" set in the ground, an east corner of said 35.537-acre tract and a reentrant corner of said 342.14-acre tract, for an east corner of this tract;
Thence S 30°11'57" W (called S 31°45'51" W) with a southeast boundary line of said 35.537-acre tract and a northwest boundary line of said 342.14-acre tract a distance of 87.96 feet (called 87.96 feet) to an 1/2" iron bar with an orange cap marked "SLS RPLS 5142" set in the ground, a corner of said 35.537-acre tract and a corner of said 342.14-acre tract, for a corner of this tract;
Thence S 32°01'50" W (called S 33°25'44" W) with a southeast boundary line of said 35.537-acre tract and a northwest boundary line of said 342.14-acre tract a distance of 87.36 feet (called 87.36 feet) to an 1/2" iron bar with an orange cap marked "SLS RPLS 5142" set in the ground, a corner of said 35.537-acre tract and a corner of said 342.14-acre tract, for a corner of this tract;
Thence S 46°11'48" W (called S 47°54'46" W) with a southeast boundary line of said 35.537-acre tract and a northwest boundary line of said 342.14-acre tract a distance of 91.31 feet (called 91.29 feet) to a nail found set in a fence post, a reentrant corner of said 35.537-acre tract and a west corner of said 342.14-acre tract, for a reentrant corner of this tract;
Thence S 61°21'22" E (called S 59°50'48" E) with a northeast boundary line of said 35.537-acre tract and a southwest boundary line of said 342.14-acre tract a distance of 310.85 feet (called 310.34 feet) to an 1/2" iron bar found set in the ground, a corner of said 35.537-acre tract and a corner of said 342.14-acre tract, for a corner of this tract;
Thence S 61°25'21" E (called S 58°54'05" E) with a northeast boundary line of said 35.537-acre tract and a southwest boundary line of said 342.14-acre tract a distance of 417.44 feet (called 417.44 feet) to an 1/2" iron bar found set in the ground, the east corner of said 35.537-acre tract and the north corner of said 199.34-acre tract, for the east corner of this tract;
Thence S 43°30'30" W (called S 45°03'13" W) with the southwest boundary line of said 35.537-acre tract and a northwest boundary line of said 199.34-acre tract a distance of 1182.65 feet (called 1182.85 feet) to an 1/2" iron bar found set in the ground, a corner of said 35.537-acre tract and a corner of said 199.34-acre tract, for a corner of this tract;
Thence S 43°42'27" W (called S 45°15'10" W) with a southeast boundary line of said 35.537-acre tract and a northwest boundary line of said 199.34-acre tract a distance of 351.83 feet (called 351.83 feet) to the point of beginning.

Containing 35.55 acres of land, more or less.
The bearings for this survey are based on the Texas State Plane Coordinate System Grid, South Central Zone (4204), North American Datum 1983.

PROJECT SURVEYOR: SINCLAIR LAND SURVEYING, INC.
5000 NW INDUSTRIAL LEON VALLEY, TEXAS 78238
PHONE: 210-341-4518
TBPELS FIRM NO.10089000
JOB NUMBER: S-202051247
JULY 2020
PROJECT ENGINEER: TERRA ASSOCIATES, INC. CONSULTING ENGINEERS
404 E. RAMSEY RD., STE. 104 SAN ANTONIO, TEXAS 78216
PHONE: 210-298-1800
EMAIL: BOS@terraassoc.com
TBPPE Registration No.: F-003832

PLAT NOTES:

- 1. A FIFTEEN (15) FOOT MUE IS HEREBY DEDICATED ADJACENT TO ALL STREET ROW, A FIVE (5) FOOT MUE IS HEREBY DEDICATED ALONG EACH SIDE LOT LINE AND A SEVEN AND TEN (10) FOOT MUE IS HEREBY DEDICATED TO ALL REAR LOT LINES ON ALL LOTS.
2. SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.
3. SIDEWALKS SHALL BE INSTALLED ON THIS SUBDIVISION SIDE OF CREEKSIDE TRAIL, THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IN CONSTRUCTION, WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED.
4. NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING AND OTHER STRUCTURES SHALL BE PERMITTED IN DRAINAGE EASEMENTS; FENCES ARE ALLOWED ALONG LOT LINES ONLY, PROVIDED THEY DO NOT OBSTRUCT FLOW FOR SURFACE USE DRAINAGE EASEMENT.



AREA BEING PLATTED



CITY OF KYLE, TEXAS

Stagecoach Subdivision, Phase 3 - Final Plat (SUB-20-0149)

Meeting Date: 12/8/2020

Date time:6:30 PM

Subject/Recommendation: Stagecoach Subdivision, Phase 3 - Final Plat (SUB-20-0149) 22.251 acres; 88 single family lots for property located East of Stagecoach Road and West of Scott Street.

Staff Proposal to P&Z: Approve the Final Plat.

Other Information: See attached.

Legal Notes: N/A

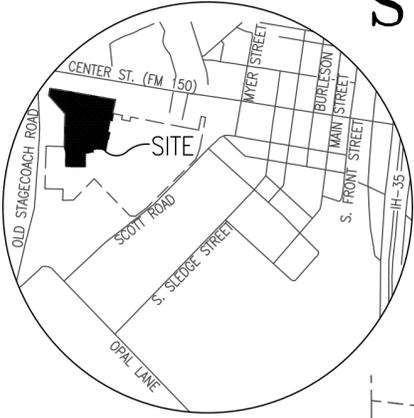
Budget Information: N/A

ATTACHMENTS:

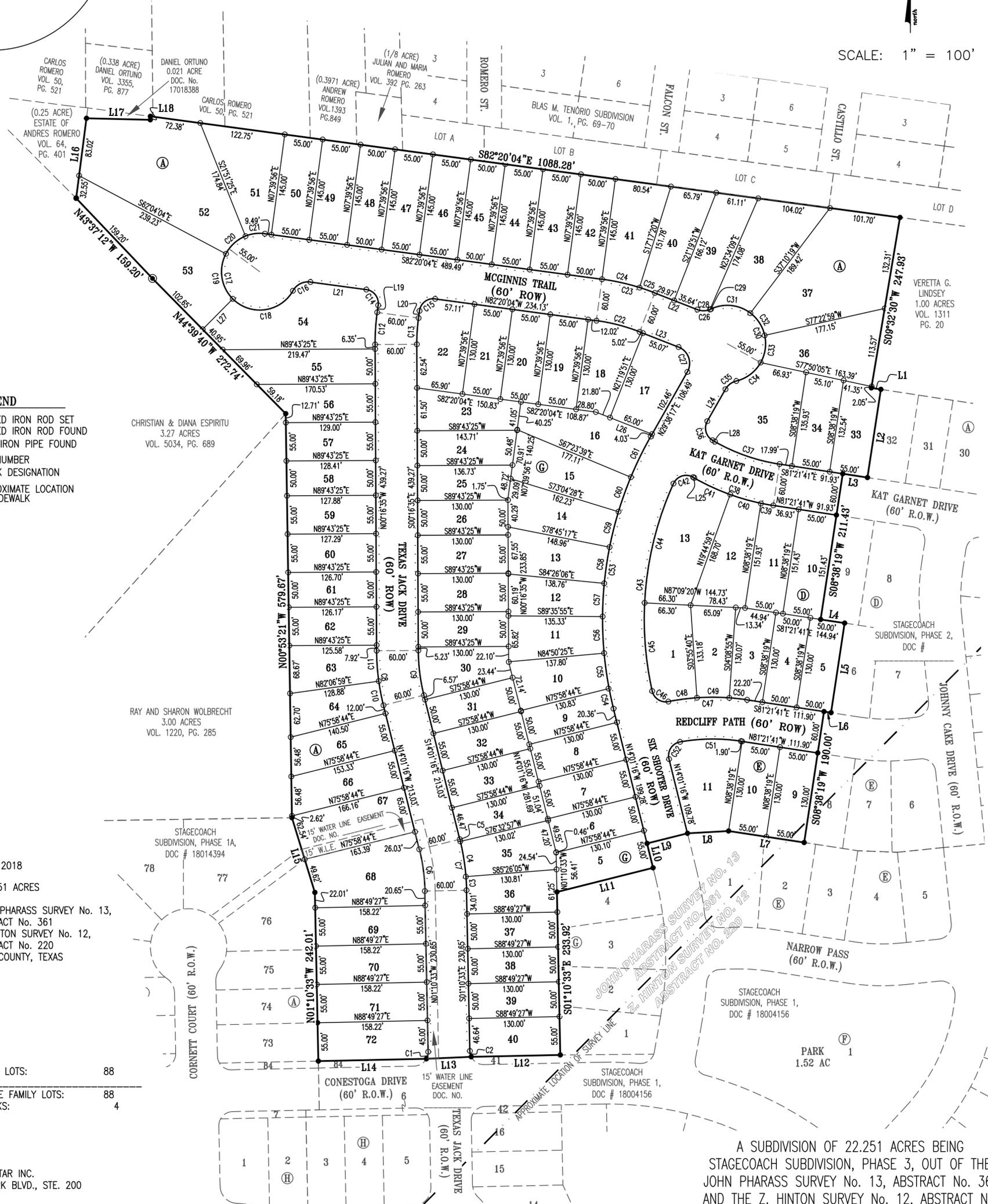
Description

Final Plat

STAGECOACH SUBDIVISION PHASE 3 FINAL PLAT



SCALE: 1" = 100'



LEGEND

- CAPPED IRON ROD SET
- CAPPED IRON ROD FOUND
- ⊙ 1/2" IRON PIPE FOUND
- 11 LOT NUMBER
- Ⓐ BLOCK DESIGNATION
- APPROXIMATE LOCATION OF SIDEWALK

DATE: AUGUST 13, 2018

ACREAGE: 22.251 ACRES

SURVEY: JOHN PHARASS SURVEY No. 13,
ABSTRACT No. 361
Z. HINTON SURVEY No. 12,
ABSTRACT No. 220
HAYS COUNTY, TEXAS

ZONING: R-1-3

TOTAL NUMBER OF LOTS: 88

NUMBER OF SINGLE FAMILY LOTS: 88

NUMBER OF BLOCKS: 4

OWNER:
KB HOME LONE STAR INC.
10800 PECAN PARK BLVD., STE. 200
AUSTIN, TX 78750
(512) 651-8100 phone
(512) 795-6181 fax

ENGINEER & SURVEYOR:
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TX 78749
(512)-280-5160 phone
(512)-280-5165 fax

A SUBDIVISION OF 22.251 ACRES BEING
STAGECOACH SUBDIVISION, PHASE 3, OUT OF THE
JOHN PHARASS SURVEY No. 13, ABSTRACT No. 361
AND THE Z. HINTON SURVEY No. 12, ABSTRACT No.
220 HAYS COUNTY, TEXAS

Carlson, Brigance & Doering, Inc.
FIRM ID #F3791 REG. # 10024900
Civil Engineering Surveying
5501 West William Cannon Austin, Texas 78749
Phone No. (512) 280-5160 Fax No. (512) 280-5165

STAGECOACH SUBDIVISION PHASE 3 FINAL PLAT

Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C1	10.47	20.00	N13°49'27"E	10.35	5.36	30°00'00"
C2	8.63	20.00	S13°31'56"E	8.56	4.38	24°42'46"
C3	19.52	330.00	S02°52'14"E	19.52	9.76	3°23'22"
C4	51.18	330.00	S09°00'29"E	51.13	25.64	8°53'09"
C5	3.28	330.00	S13°44'10"E	3.28	1.64	0°34'12"
C6	60.53	270.00	N07°35'54"W	60.40	30.39	12°50'42"
C7	73.98	330.00	N07°35'54"W	73.83	37.15	12°50'42"
C8	79.16	330.00	S07°08'55"E	78.97	39.77	13°44'41"
C9	64.77	270.00	S07°08'55"E	64.62	32.54	13°44'41"
C10	35.35	330.00	N10°57'08"W	35.33	17.69	6°08'15"
C11	43.81	330.00	N04°04'48"W	43.78	21.94	7°36'26"
C12	46.27	330.00	S03°44'25"W	46.23	23.17	8°01'59"
C13	37.85	270.00	S03°44'25"W	37.82	18.96	8°01'59"
C14	31.45	20.00	N37°17'20"W	28.31	20.03	90°05'28"
C15	31.38	20.00	S52°42'40"W	28.26	19.97	89°54'32"
C16	29.66	25.00	S63°40'40"W	27.95	16.85	67°58'32"
C17	238.04	55.00	S26°19'20"E	91.21	81.58	247°58'32"
C18	100.91	55.00	S82°14'55"W	87.34	71.83	105°07'03"
C19	70.19	55.00	N08°37'49"W	65.53	40.79	73°07'29"
C20	38.60	55.00	N48°02'15"E	37.81	20.13	40°12'40"
C21	28.34	55.00	N82°54'16"E	28.03	14.49	29°31'21"
C22	64.40	270.00	S75°30'07"E	64.24	32.35	13°39'55"
C23	78.71	330.00	N75°30'07"W	78.52	39.54	13°39'55"
C24	55.43	330.00	S77°31'22"E	55.36	27.78	9°37'24"
C25	23.28	330.00	S70°41'24"E	23.27	11.64	4°02'31"
C26	20.32	25.00	S88°02'49"W	19.76	10.76	46°34'03"
C27	42.89	25.00	N19°30'56"W	37.82	28.92	98°18'26"
C28	18.61	25.00	N90°00'00"E	18.19	9.76	42°39'42"
C29	1.70	25.00	N66°42'59"E	1.70	0.85	3°54'21"
C30	183.77	55.00	N19°30'56"W	109.45	548.99	191°26'31"
C31	59.91	55.00	S84°01'56"E	56.99	33.31	62°24'31"
C32	38.60	55.00	S32°43'21"E	37.81	20.13	40°12'40"
C33	40.17	55.00	S08°18'19"W	39.28	21.03	41°50'41"
C34	45.10	55.00	S52°43'00"W	43.84	23.90	46°58'40"
C35	20.32	25.00	N52°55'18"E	19.76	10.76	46°34'03"
C36	31.42	20.00	S15°21'43"E	28.28	20.00	90°00'00"
C37	98.96	270.00	S70°51'42"E	98.40	50.04	20°59'57"
C38	120.95	330.00	S70°51'42"E	120.27	61.16	20°59'57"
C39	18.08	330.00	N79°47'30"W	18.08	9.04	3°08'22"
C40	45.91	330.00	N74°14'10"W	45.88	22.99	7°58'18"
C41	56.95	330.00	N65°18'22"W	56.88	28.55	9°53'17"
C42	33.23	20.00	S72°02'39"W	29.54	21.90	95°11'16"
C43	304.44	470.00	N05°53'38"E	299.14	157.77	37°06'45"
C44	177.23	470.00	S13°38'50"W	176.19	89.68	21°36'21"
C45	127.20	470.00	S04°54'32"E	126.81	63.99	15°30'24"
C46	30.89	20.00	S56°54'28"E	27.91	19.48	88°29'28"
C47	113.87	330.00	S88°45'13"W	113.30	57.51	19°46'12"
C48	41.49	330.01	N82°28'13"E	41.46	20.77	7°12'12"
C49	46.52	330.00	S89°53'23"E	46.48	23.30	8°04'35"
C50	25.86	330.00	S83°36'23"E	25.85	12.94	4°29'24"
C51	87.85	270.00	S89°19'01"W	87.47	44.32	18°38'36"
C52	32.82	20.00	S32°59'14"W	29.26	21.45	94°00'59"
C53	403.86	530.00	S07°48'30"W	394.16	212.30	43°39'32"
C54	29.66	530.00	N12°25'04"W	29.66	14.83	3°12'23"
C55	51.21	530.00	N08°02'48"W	51.19	25.62	5°32'09"
C56	52.54	530.00	N02°26'20"W	52.52	26.29	5°40'49"
C57	47.76	530.00	N02°58'59"E	47.75	23.90	5°09'49"
C58	52.54	530.00	N08°24'18"E	52.52	26.29	5°40'49"
C59	52.54	530.00	N14°05'07"E	52.52	26.29	5°40'49"
C60	52.54	530.00	N19°45'56"E	52.52	26.29	5°40'49"
C61	65.05	530.00	N26°07'19"E	65.01	32.57	7°01'56"

AREA TABLE		
AREA WITHIN SUBDIVISION	22.251 ACRES	(969,269 SQUARE FEET)
AREA OF SINGLE FAMILY LOTS	17.872 ACRES	(778,536 SQUARE FEET)
AREA WITHIN STREETS	4.378 ACRES	(190,726 SQUARE FEET)

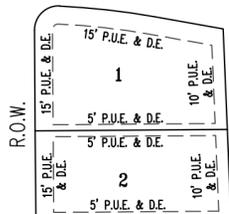
BLOCK 'A'			BLOCK 'D'		
LOT NO.	ACREAGE	SQ. FT.	LOT NO.	ACREAGE	SQ. FT.
33	0.165	7,174	1	0.212	9,236
34	0.169	7,383	2	0.167	7,294
35	0.338	14,722	3	0.159	6,918
36	0.285	12,422	4	0.149	6,500
37	0.550	23,979	5	0.149	6,500
38	0.300	13,072	10	0.191	8,329
39	0.221	9,622	11	0.191	8,332
40	0.214	9,328	12	0.224	9,764
41	0.229	9,983	13	0.329	14,322
42	0.166	7,250	BLOCK 'E'		
43	0.183	7,975	LOT NO.	ACREAGE	SQ. FT.
44	0.183	7,975	9	0.164	7,150
45	0.166	7,250	10	0.164	7,150
46	0.183	7,975	11	0.256	11,152
47	0.183	7,975	BLOCK 'G'		
48	0.166	7,250	LOT NO.	ACREAGE	SQ. FT.
49	0.183	7,975	5	0.172	7,500
50	0.183	7,975	6	0.149	6,500
51	0.274	11,293	7	0.164	7,150
52	0.640	27,860	8	0.164	7,150
53	0.412	17,963	9	0.149	6,509
54	0.416	18,101	10	0.189	8,221
55	0.224	9,750	11	0.185	8,045
56	0.183	7,977	12	0.169	7,365
57	0.162	7,078	13	0.196	8,547
58	0.147	6,407	14	0.216	9,416
59	0.161	7,017	15	0.236	10,299
60	0.160	6,984	16	0.254	11,054
61	0.145	6,321	17	0.218	9,497
62	0.159	6,923	18	0.197	8,560
63	0.174	7,599	19	0.164	7,150
64	0.168	7,309	20	0.164	7,150
65	0.185	8,080	21	0.164	7,150
66	0.202	8,786	22	0.218	9,480
67	0.246	10,733	23	0.173	7,515
68	0.329	14,327	24	0.161	7,011
69	0.200	8,702	25	0.153	6,663
70	0.200	8,702	26	0.149	6,500
71	0.200	8,702	27	0.164	7,150
72	0.200	8,693	28	0.164	7,150
			29	0.149	6,500
			30	0.182	7,915
			31	0.149	6,500
			32	0.164	7,150
			33	0.164	7,150
			34	0.150	6,552
			35	0.185	8,056
			36	0.171	7,467
			37	0.149	6,500
			38	0.149	6,500
			39	0.149	6,500
			40	0.164	7,145

Line Table		
Line #	Length	Direction
L1	13.76	S81°22'15"E
L2	127.95	S08°38'19"W
L3	36.06	N81°21'41"W
L4	34.94	S81°21'41"E
L5	130.00	S08°38'19"W
L6	10.29	N81°21'41"W
L7	110.00	N81°21'41"W
L8	59.24	S86°49'16"W
L9	60.00	S75°58'44"W
L10	36.07	S14°01'16"E
L11	142.64	S75°58'44"W
L12	128.17	S88°49'27"W
L13	64.53	S87°22'09"W
L14	155.54	S88°49'27"W

Line Table		
Line #	Length	Direction
L15	112.17	N17°06'23"W
L16	115.57	N07°23'48"E
L17	91.94	S88°38'05"E
L18	5.02	N00°35'56"E
L19	10.20	S07°45'24"W
L20	10.36	N07°45'24"E
L21	81.19	N82°20'04"W
L22	65.61	S68°40'09"W
L23	60.09	S68°40'09"E
L24	52.70	S29°38'17"W
L25	2.16	N60°21'43"W
L26	86.80	N68°40'09"W
L27	61.58	S44°48'27"W
L28	4.00	S60°21'43"E

LOT SIZE	NO.
< 1 ACRE	88
1-2 ACRE	0
2-5 ACRE	0
5-10 ACRE	0
> 10 ACRE	0
MINIMUM LOT SIZE: 0.147 AC (6,407 sq. ft.)	
AVERAGE LOT SIZE: 0.203 AC (8,847 sq. ft.)	

TYPICAL LOT PUBLIC UTILITY EASEMENT AND DRAINAGE EASEMENT DETAIL
NOT TO SCALE
R.O.W.



A SUBDIVISION OF 22.251 ACRES BEING STAGECOACH SUBDIVISION, PHASE 3, OUT OF THE JOHN PHARASS SURVEY No. 13, ABSTRACT No. 361 AND THE Z. HINTON SURVEY No. 12, ABSTRACT No. 220 HAYS COUNTY, TEXAS

Carlson, Brigrance & Doering, Inc.

FIRM ID #F3791 REG. # 10024900

Civil Engineering Surveying

5501 West William Cannon Austin, Texas 78749

Phone No. (512) 280-5160 Fax No. (512) 280-5165

STAGECOACH SUBDIVISION PHASE 3 FINAL PLAT

STATE OF TEXAS }
COUNTY OF HAYS }

KNOW ALL MEN BY THESE PRESENTS:
THAT KB HOME LONE STAR INC., BEING THE OWNER OF _____ ACRES OF LAND OUT OF THE JOHN PHARASS SURVEY NUMBER 13, ABSTRACT NUMBER 361 AND THE Z. HINTON SURVEY NUMBER 12, ABSTRACT NUMBER 220 SITUATED IN HAYS COUNTY, TEXAS, AS CONVEYED BY DEED RECORDED IN DOCUMENT NUMBER _____ OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE 22.251 ACRES OF LAND IN ACCORDANCE WITH THIS PLAT, TO BE KNOWN AS:

STAGECOACH SUBDIVISION PHASE 3

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF THE EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.
WITNESS MY HAND, THIS THE _____ DAY OF _____, 20____ A.D.

KB HOME LONE STAR INC.
JOHN ZINSMAYER, VICE PRESIDENT
10800 PECAN PARK BLVD., STE. 200
AUSTIN, TX 78750

STATE OF TEXAS }
COUNTY OF HAYS }

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN ZINSMAYER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY NAME _____
MY COMMISSION EXPIRES: _____

THIS FINAL PLAT, STAGECOACH SUBDIVISION PHASE 3, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE, TEXAS AND IS HEREBY APPROVED BY SUCH PLANNING AND ZONING COMMISSION. DATED THIS _____ DAY OF _____, 20____, A.D.

CHAIRPERSON _____

STATE OF TEXAS }
COUNTY OF HAYS }

REVIEWED BY _____

LEON BARBA, CITY ENGINEER

STATE OF TEXAS }
COUNTY OF HAYS }

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

DO HEREBY CERTIFY THAT NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED 100-YEAR FLOOD ZONE AREA, AS DELINEATED ON THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANELS 48209C 0385F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ADDITIONALLY, STORMWATER RUNOFF FROM THE 100 YEAR STORM EVENT SHALL BE CONTAINED WITHIN THE DRAINAGE FACILITIES TO BE LOCATED WITHIN THE RIGHTS-OF-WAY, AND /OR OPEN SPACE AND DRAINAGE EASEMENT LOTS.

LEE A. WHITED, P.E. No. 102471
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON
AUSTIN, TEXAS 78749
(512) 280-5160

DATE _____



CARLSON, BRIGANCE & DOERING, INC.
ID# F3791

STATE OF TEXAS }
COUNTY OF HAYS }

I, AARON V. THOMASON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY, THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN THEREON.

SURVEYED BY: _____
AARON V. THOMASON, R.P.L.S. #6214
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DR.
AUSTIN, TEXAS 78749
aaron@cbdeng.com

DATE _____



THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF ENGINEER OR SURVEYOR.

GENERAL NOTES:

1. SIDEWALKS SHALL BE NOT LESS THAN FOUR FEET IN WIDTH AND SHALL BE TWO FEET FROM CURB. SUCH SIDEWALKS SHALL BE INSTALLED AND CONSTRUCTED ON BOTH SIDES OF EACH RESIDENTIAL STREET AND BE SITUATED WHOLLY WITHIN THE DEDICATED RIGHT-OF-WAY.
2. A 15-FOOT WIDE PUBLIC UTILITY EASEMENT ABUTTING THE RIGHT-OF-WAY OF EACH STREET IS HEREBY DEDICATED AS AN EASEMENT FOR UTILITIES, DRAINAGE AND EXCAVATION AND/OR EMBANKMENTS.
3. A 10' PUBLIC UTILITY EASEMENT AND DRAINAGE EASEMENT IS HEREBY DEDICATED ALONG THE REAR PROPERTY LINES.
4. A 5' PUBLIC UTILITY EASEMENT AND DRAINAGE EASEMENT IS HEREBY DEDICATED ALONG THE SIDE PROPERTY LINES.
5. NO OBJECT INCLUDING SIGNAGE, BUILDING, ACCESSORY BUILDING, FENCING OR LANDSCAPING, WHICH WOULD INTERFERE WITH CONVEYANCE OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN ANY DRAINAGE EASEMENT WITHOUT THE PRIOR APPROVAL OF THE CITY OF KYLE.
6. OWNER(S) OF PROPERTY WITH DRAINAGE AND UTILITY EASEMENT(S) SHALL ALLOW ACCESS FOR INSPECTIONS, REPAIR, MAINTENANCE AND RECONSTRUCTION AS MAY BE NECESSARY.
7. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOTS IN THIS SUBDIVISION, BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF KYLE.
8. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY OWNERS ASSOCIATIONS.
9. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
10. ADJACENT LANE MILE FEE NOT REQUIRED FOR STAGECOACH SUBDIVISION. SCOTT STREET IMPROVEMENTS WILL BE CONSTRUCTED IN LIEU OF ADJACENT LANE MILE FEE
11. POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPED SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR, AND MADE AVAILABLE FOR REVIEW BY THE CITY.
12. THE MAIL KIOSK SERVICING STAGECOACH SUBDIVISION, PHASE 3 IS LOCATED ON LOT 38, BLOCK C, STAGECOACH SUBDIVISION, PHASE 1, RECORDED IN DOCUMENT NUMBER 18004156, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

I, LIZ GONZALEZ, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____ A.D., AT _____ O'CLOCK ____M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS IN DOCUMENT NUMBER _____.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____ A.D.

LIZ GONZALEZ BY: _____
COUNTY CLERK
HAYS COUNTY, TEXAS

STATE OF TEXAS }
COUNTY OF HAYS }

REVIEWED BY _____

HARPER WILDER, DIRECTOR OF PUBLIC WORKS

A SUBDIVISION OF 22.251 ACRES BEING
STAGECOACH SUBDIVISION, PHASE 3, OUT OF THE
JOHN PHARASS SURVEY No. 13, ABSTRACT No. 361
AND THE Z. HINTON SURVEY No. 12, ABSTRACT No.
220 HAYS COUNTY, TEXAS





CITY OF KYLE, TEXAS

Plum Creek Phase 1, Section 12C -
Final Plat (SUB-20-0150)

Meeting Date: 12/8/2020
Date time:6:30 PM

Subject/Recommendation: Plum Creek Phase 1, Section 12C - Final Plat (SUB-20-0150) 6.708 acres; 1 Lot and ROW for property located on the southwest corner of Kohler's Crossing and FM 1626.

Staff Proposal to P&Z: Approve the Final Plat.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

Final Plat

FINAL PLAT PLUM CREEK PHASE 1, SECTION 12C HAYS COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HAYS

KNOW ALL MEN BY THESE PRESENTS, THAT WE, PLUM CREEK DEVELOPMENT PARTNERS, LTD., A LIMITED PARTNERSHIP ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF TEXAS, WITH ITS HOME ADDRESS AT 4040 BROADWAY, SUITE 501, SAN ANTONIO, TEXAS 78209, BEING THE OWNER OF 6.708 ACRES IN THE JESSE DAY SURVEY NO. 162, ABSTRACT 152 AND THE JOHN COOPER SURVEY NO. 13, ABSTRACT 100, BEING A PORTION OF A CERTAIN CALLED 15.757 ACRE TRACT DESCRIBED IN VOLUME 5408, PAGE 22, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE SAID 6.708 ACRES AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE **PLUM CREEK PHASE 1, SECTION 12C** SUBDIVISION TO THE CITY OF KYLE, TEXAS, AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER PUBLIC RIGHT OF WAY AND DRAINS, EASEMENTS (EXCLUDING LANDSCAPE AREA WITHIN EASEMENTS), PARKS AND PUBLIC PLACES THEREON SHOWN, EXCEPT AREAS IDENTIFIED AS PRIVATE OR CREATED BY SEPARATE INSTRUMENT, FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WHEREOF THE SAID PLUM CREEK DEVELOPMENT PARTNERS, LTD., OWNER, HAS CAUSED THESE PRESENTS TO BE EXECUTED BY ITS GENERAL PARTNER, PCDP GENERAL PARTNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, THEREUNTO DULY AUTHORIZED, GENERAL PARTNER HAS CAUSED THESE PRESENTS TO BE EXECUTED BY ITS MEMBERS/MANAGERS, _____, AND _____, THEREUNTO DULY AUTHORIZED.

PLUM CREEK DEVELOPMENT PARTNERS, LTD., A TEXAS LIMITED PARTNERSHIP

BY: PCDP GENERAL PARTNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER

BY: _____, NAME: _____, MANAGER

BY: _____, NAME: _____, MANAGER

BY: _____, NAME: _____, MANAGER

STATE OF TEXAS
COUNTY OF HAYS

I, THE UNDERSIGNED AUTHORITY, ON THIS THE ____ DAY OF _____, 20____ A.D. DID PERSONALLY APPEAR _____, MANAGER OF PCDP GENERAL PARTNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOW TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND LIMITED PARTNERSHIP.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF HAYS

I, THE UNDERSIGNED AUTHORITY, ON THIS THE ____ DAY OF _____, 20____ A.D. DID PERSONALLY APPEAR _____, MANAGER OF PCDP GENERAL PARTNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOW TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND LIMITED PARTNERSHIP.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF HAYS

I, THE UNDERSIGNED AUTHORITY, ON THIS THE ____ DAY OF _____, 20____ A.D. DID PERSONALLY APPEAR _____, MANAGER OF PCDP GENERAL PARTNER, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOW TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND LIMITED PARTNERSHIP.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF HAYS

KNOW ALL MEN BY THESE PRESENTS

THAT, ELAINE H. CARDENAS, CLERK OF HAYS COUNTY COURT DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON

THE ____ DAY OF _____, 20____, A.D., IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS UNDER

CLERK'S FILE NUMBER _____ WITNESS MY HAND AND SEAL OF OFFICE OF HAYS

COUNTY ON THIS THE ____ DAY OF _____, 20____, A.D.

FILED FOR RECORD AT _____ O'CLOCK ____M. THIS THE ____ DAY OF _____, 20____, A.D.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

APPROVAL CITY OF KYLE

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING COMMISSION OF THE CITY OF KYLE HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY AS TO WHICH THE COMMISSION'S APPROVAL IS REQUIRED.

BY: _____
CHAIRPERSON

THIS PLAT (PLUM CREEK PHASE 1, SECTION 12C) HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE CITY OF KYLE, TEXAS AND IS HEREBY APPROVED BY THE COUNCIL.

DATED THIS ____ DAY OF _____, 20____.

BY: _____
ATTEST:

SECRETARY

REVIEWED BY:

LEON BARBA, CITY ENGINEER _____ DATE _____

REVIEWED BY:

HARPER WILDER, DIRECTOR OF PUBLIC WORKS _____ DATE _____

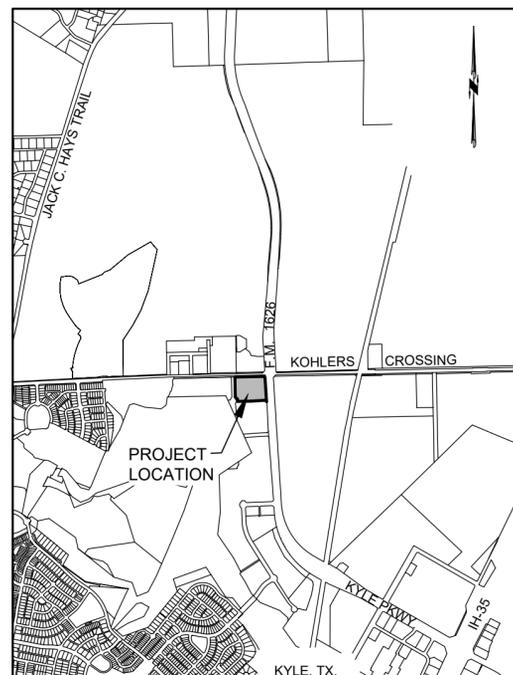
STATE OF TEXAS §
COUNTY OF HAYS §

I THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE PLAT AND ALL PLANS AND SPECIFICATIONS WHICH ARE INCLUDED WITH THE PLAT ARE, TO THE BEST OF MY PROFESSIONAL CAPACITY, COMPLETE AND ACCURATE AND IN COMPLIANCE WITH ALL RELEVANT CITY ORDINANCES, CODES, PLANS, AND RELEVANT STATE STANDARDS.

BY: _____
ANTHONY J. ENNIS, P.E.
REGISTERED PROFESSIONAL ENGINEER
NO. 125658- STATE OF TEXAS
LANDDEV CONSULTING, LLC.
FIRM# F-16384
4201 WEST FARMER LANE, SUITE C-100
AUSTIN, TEXAS 78727
(512) 872-6696

PLAT PREPARATION DATE: _____
APPLICATION SUBMITTAL DATE: _____

VICINITY MAP - NTS



PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

SURVEYOR'S CERTIFICATION:

I, ERNESTO NAVARRETE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY MADE UNDER MY SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

ERNESTO NAVARRETE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6642 - STATE OF TEXAS
LANDDEV CONSULTING, LLC.
FIRM# 10194101
5508 HIGHWAY 290 WEST, SUITE 150
AUSTIN, TEXAS 78735
(512) 872-6696

NOTES:

1. TOTAL ACREAGE: 6.708 ACRES.
2. THE TOTAL AREA OF PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED IN THIS SUBDIVISION IS: 0.675 OF ONE ACRE.
3. TOTAL NUMBER OF LOTS: 1.
4. THIS PLAT COMPLETELY CONFORMS WITH PLUM CREEK P.U.D. MASTER PLAN & CITY OF KYLE ORDINANCE 308 AND 311 AS AMENDED.
5. SETBACKS NOT SHOWN ON LOTS SHALL CONFIRM TO THE CITY OF KYLE ZONING ORDINANCES.
6. A 7.5 FOOT PUBLIC UTILITY EASEMENT ADJACENT TO ALL RIGHT-OF-WAYS IS HEREBY DEDICATED AS SHOWN AND DEPICTED HEREON.
7. NO OBJECT INCLUDING BUILDING, ACCESSORY BUILDING, FENCING OR LANDSCAPING WHICH WOULD INTERFERE WITH THE CONVEYANCE OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN DRAINAGE EASEMENTS, EXCEPT AS APPROVED BY THE CITY OF KYLE.
8. ALL UTILITIES WITHIN THIS SUBDIVISION SHALL BE UNDERGROUND.
9. ALL OPEN SPACES, DRAINAGE EASEMENT AND LANDSCAPE EASEMENT AREAS DEPICTED HEREON SHALL BE MAINTAINED, KEPT NEATLY CUT, FREE FROM DEBRIS AND, WITH RESPECT TO DRAINAGE EASEMENTS, FREE FROM TREE/BRUSH RE-GROWTH. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING WITHIN THE SUBDIVISION, ALL EASEMENTS AND RIGHT-OF-WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF THE PROPERTY OWNERS.
10. THE OWNER OF LOT 1, BLOCK A, ARE REQUIRED TO SUBMIT THE SITE DEVELOPMENT PLAN FOR LOT 1, BLOCK A, TO THE CITY OF KYLE, PLUM CREEK DEVELOPMENT PARTNERS, LTD., A TEXAS LIMITED PARTNERSHIP, AND, IF NOT THE SAME PARTIES AS ARE IN PLUM CREEK DEVELOPMENT PARTNERS, THEN THE ARCHITECTURAL REVIEW COMMITTEE FOR THE PLUM CREEK HOME OWNER'S ASSOCIATION, FOR THEIR RESPECTIVE REVIEW AND APPROVALS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY ON OR AROUND LOT 1, BLOCK A, INCLUDING, WITHOUT LIMITATION, THE INSTALLATION OF THE SIDEWALK AND ANY OTHER IMPROVEMENTS REQUIRE HEREIN.
11. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOT 1, BLOCK A, IN THIS SUBDIVISION, A SITE DEVELOPMENT AND/OR BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF KYLE.
12. SIDEWALKS SHALL BE INSTALLED ALONG CROMWELL DRIVE AND DURAN ADJACENT TO LOT 1, BLOCK A, AT THE TIME OF SITE DEVELOPMENT AND PRIOR TO SUCH OWNER'S OCCUPANCY OF LOT 1, BLOCK A. SIDEWALKS, PEDESTRIAN CROSSING AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
13. THE OWNER OF THE LAND DEDICATED BY THIS PLAT RESERVES THE RIGHT TO USE AND ENJOY THE SURFACE OF ALL EASEMENT AREAS FOR ALL PURPOSES THAT DO NOT INTERFERE WITH THE USE OF SAID EASEMENT AREAS FOR THE PURPOSE OF SAID EASEMENT, INCLUDING BUT NOT LIMITED TO THE RIGHT TO PLACE SURFACING MATERIALS OVER AND ACROSS THE EASEMENT AREA AND TO USE THE SAME FOR PARKING AREAS, DRIVEWAYS, WALKWAYS, SIDEWALK, LANDSCAPING AND LIGHTING.

NOTES:

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83, GRID.
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.999902.

PUBLIC UTILITY INFORMATION:

THIS SUBDIVISION IS SERVICED BY THE FOLLOWING UTILITIES:

WATER: CITY OF KYLE 100 W. CENTER ST. KYLE, TEXAS 78640	WASTEWATER: CITY OF KYLE 100 W. CENTER ST. KYLE, TEXAS 78640
---	--

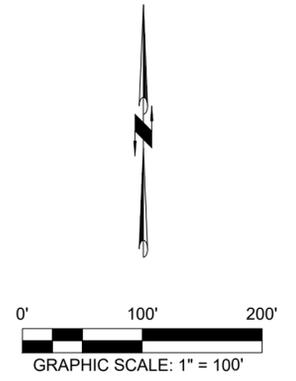
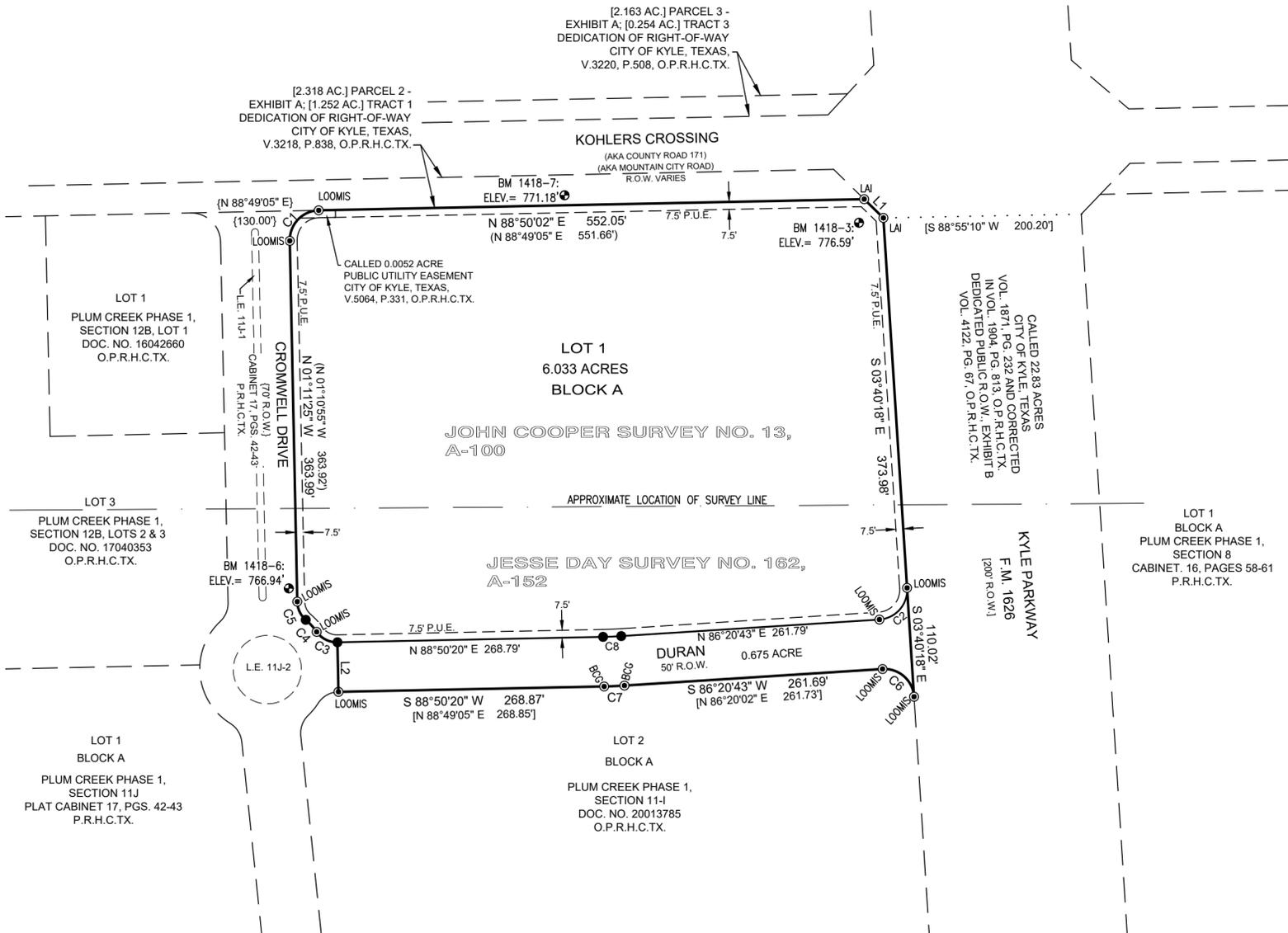
ELECTRIC:
PEDERNALES ELECTRIC COOPERATIVE
1819 RANCH TO MARKET RD 150
KYLE, TX 78640

CITY PROJECT
NUMBER: _____

LAND DEV
CONSULTING, LLC
5508 HIGHWAY 290 WEST, SUITE 150
AUSTIN, TX 78735
OFFICE: 512.872.6696
FIRMS FIRM NO. 10194101

FINAL PLAT PLUM CREEK PHASE 1, SECTION 12C HAYS COUNTY, TEXAS

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.



- LEGEND**
- 1/2" IRON ROD FOUND
 - ⊙ LAI 1/2" IRON ROD W/PLASTIC CAP STAMPED "LAI" FOUND
 - ⊙ LOOMIS 1/2" IRON ROD W/PLASTIC CAP STAMPED "LOOMIS" FOUND
 - ⊙ BCG 1/2" IRON ROD W/PLASTIC CAP STAMPED "BCG" FOUND
 - ⊙ BENCHMARK
 - () RECORD INFORMATION PER VOL. 5408, PG. 22, O.P.R.H.C.TX.
 - { } RECORD INFORMATION PER CAB. 17, PGS. 42 & 43, P.R.H.C.TX.
 - [] OTHER RECORD INFORMATION
 - P.R.H.C.TX. PLAT RECORDS OF HAYS COUNTY, TEXAS
 - O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
 - P.U.E. PUBLIC UTILITY EASEMENT
 - R.O.W. RIGHT-OF-WAY

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 45°46'17" E (S 46°17'09" E)	27.11' (27.38')
L2	N 01°09'40" W (N 01°10'55" W)	50.00' (50.00')

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00' (30.00')	47.22' (47.12')	90°11'31"	N 43°31'14" E (N 43°49'05" E)	42.50' (42.42')
C2	30.00'	47.16'	90°03'49"	S 41°10'30" W	42.45'
C3	25.00' (25.00')	24.48' (24.54')	56°05'58"	N 63°26'57" W (N 63°03'23" W)	23.51' (23.57')
C4	65.00' (65.00')	16.49' (16.38')	14°32'05"	N 42°29'45" W (N 42°09'04" W)	16.44' (16.34')
C5	25.00' (25.00')	20.88' (21.03')	47°51'36"	N 24°55'30" W (N 25°16'36" W)	20.28' (20.42')
C6	30.00' (30.00')	47.03' (47.12')	89°49'30"	N 48°43'33" W (S 48°39'58" E)	42.36' (42.42')
C7	475.00' (475.00')	20.57' (20.59')	2°28'53"	S 87°33'36" W (N 87°34'34" E)	20.57' (20.59')
C8	425.00'	18.41'	2°28'56"	N 87°33'58" E	18.41'

BENCHMARK LIST: - NAVD88(GEOID 12B) - OPUS

BM 1418-3:
SQUARE CUT FOUND ON STONE BLOCK SIGN AT THE SOUTHWEST INTERSECTION OF KOHLERS CROSSING AND F.M. 1626.
ELEVATION = 776.59 FEET. {776.53'}

BM 1418-6:
A MAG NAIL WITH WASHER SET ON THE NORTHEAST CORNER OF A CONCRETE CURB INLET ALONG THE EAST LINE OF CROMWELL DRIVE, APPROX. 380 FEET SOUTH OF KOHLERS CROSSING.
ELEVATION = 766.94 FEET.

BM 1418-7:
A MAG NAIL WITH WASHER SET ON THE WEST END OF A CONCRETE HEADWALL ALONG SOUTH LINE OF KOHLERS CROSSING, APPROX. 280 FEET EAST OF CROMWELL DRIVE.
ELEVATION = 771.18 FEET.

FLOOD NOTE:
THE SUBJECT TRACT IS SHOWN TO BE IN FLOOD ZONE X, OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (AREA OF MINIMAL FLOOD HAZARD), AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP PANEL NO. 48209C0290F, DATED REVISED SEPTEMBER 2, 2005.

THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S).

PLAT PREPARATION DATE: _____
APPLICATION SUBMITTAL DATE: _____

SHEET 2 OF 2

CITY PROJECT
NUMBER: _____

LAND DEV
CONSULTING, L.L.C.
5508 HIGHWAY 290 WEST, SUITE 150
AUSTIN, TX 78735
OFFICE: 512.872.6596
TFLS FIRM NO. 10194101



CITY OF KYLE, TEXAS

Plum Creek Regional Detention - Site Plan (SD-20-0075)

Meeting Date: 12/8/2020
Date time: 6:30 PM

Subject/Recommendation: Plum Creek Regional Detention - Site Plan (SD-20-0075) limits of construction for 81.86 acres, construction entrance is located at 3251 S. FM 1626.

Staff Proposal to P&Z: Approve the Site Plan.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

Site Plan

OWNER/DEVELOPER:

OWNER:
MOUNTAIN PLUM LTD
4040 BROADWAY ST
STE 501
SAN ANTONIO, TX 78209-6368

DEVELOPER:
PLUM CREEK DEVELOPMENT
PARTNERS, LTD
4040 BROADWAY, SUITE 501
SAN ANTONIO, TX 78209
(512)391-1789

SURVEYOR:

BOWMAN CONSULTING GROUP, LTD.
1120 S. CAPITAL OF TEXAS HWY
BUILDING 3, SUITE 220
AUSTIN, TEXAS 78746
PHONE:(512)327-1180
FAX:(512)327-4062

ENGINEER:

LANDDEV CONSULTING, LLC.
4201 W PARMER LANE, SUITE C-100
AUSTIN, TEXAS 78727
CONTACT: MICHAEL A. CARTER, P.E.
512-872-6696

ZONING:

LOTS ARE ZONED AS PC MKD, PC OS, PC EMP

LAND USE SUMMARY:

LIMITS OF CONSTRUCTION 81.86 ACRES

FLOODPLAIN INFORMATION:

A PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF A 100 YEAR FLOOD PLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP PANEL NO. 48209C0290F, EFFECTIVE DATE SEPTEMBER 2, 2005 FOR HAYS COUNTY, TEXAS.

THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER TRANSITION ZONE, ACCORDING TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). THIS SITE IS NOT LOCATED IN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTING ZONE.

WATERSHED:

THIS SITE IS LOCATED IN THE BUNTON BRANCH-PLUM CREEK WATERSHED.

GENERAL NOTES:

- ALL WORK IN THIS SUBDIVISION SHALL CONFORM TO CITY OF KYLE PLUM CREEK PUD ORDINANCE NO. 308 AND NO. 311.
- ALL DISTURBED AREAS WITHIN PUBLIC RIGHT-OF-WAY OR DRAINAGE CHANNELS SHALL BE RESTORED AS FOLLOWS:
 - A MINIMUM OF 4" OF TOPSOIL (SALVAGED FROM EXISTING) SHALL BE PLACED ON GRADED AREAS.
 - THE CONTRACTOR SHALL THEN HYDROMULCH, SEED OR SOD THE AREA WITH A GRASS OR GRASS MIXTURE APPROPRIATE TO THE SEASON.
 - GRASSSED AREA SHALL BE FERTILIZED WITH 10:10:10 FERTILIZER AT 200 POUNDS PER ACRE.
 - GRASS SHALL BE WATERED AS NEEDED UNTIL JOB IS ACCEPTED.
 - RESTORATION SHALL BE DEEMED COMPLETED WHEN GRASS IS AT LEAST 1-1/2" HIGH AND COVERAGE IS AT LEAST 95% PROVIDED NO BARE SPOTS OVER 16 SQUARE FEET EXIST.
- NO BLASTING IS ALLOWED FOR THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF KYLE PUBLIC WORKS DEPARTMENT, TEL (512) 262-3024, 48 HOURS BEFORE START OF WORK.
- PRIOR TO THE START OF CONSTRUCTION A PRECONSTRUCTION CONFERENCE SHALL BE CONVENED BY THE CONTRACTOR. ATTENDANCE SHALL INCLUDE THE CITY ENGINEER, ENGINEER, OWNER, UTILITY OWNERS AND DISTRICT ENGINEER (KEN HEROY WITH JONES-HEROY & ASSOCIATES, 512-989-2200). COORDINATION OF THE CONSTRUCTION CONFERENCE SHALL BE THROUGH THE CITY OF KYLE PUBLIC WORKS SECRETARY, JANIE TOBIAS AT (512) 262-3024 X4003.
- CONTRACTOR SHALL CALL THE CITY OF KYLE PUBLIC WORKS DEPARTMENT AT (512) 262-3024 FOR ANY CITY OWNED UTILITIES THAT MAY NEED LOCATING.
- ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT OWNERS EXPENSE. ANY RETESTING NECESSARY SHALL BE AT THE CONTRACTORS EXPENSE. THE CITY OF KYLE PUBLIC WORKS INSPECTOR SHALL BE NOTIFIED OF ALL TESTING AT LEAST 24 HOURS IN ADVANCE AT (512) 262-3024.
- BARRICADES BUILT TO CITY OF KYLE STANDARDS SHALL BE CONSTRUCTED AT TEMPORARY DEAD ENDS.
- IN ACCORDANCE WITH THE LAW OF THE STATE OF TEXAS AND THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD OR COMPACTED OR SOFT OR UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED. THE CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN TO THE ENGINEER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SIGNAGE OF ALL WORK WITHIN STATE OR COUNTY RIGHT-OF-WAYS.
- ALL TRAFFIC CONTROL DESIGNS SHALL CONFORM TO THE CURRENT EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SIGNS AT NIGHT SHALL BE REFLECTORIZED AND SHALL HAVE A TYPE "A" FLASHING LIGHT.
- PLANS SHALL NOT BE SUBSTANTIALLY OR MATERIALLY ALTERED WITHOUT PRIOR WRITTEN APPROVAL OF THE TCEQ'S EXECUTIVE DIRECTOR.

LIMITATION OF LIABILITY - LANDDEV CONSULTING, LLC ASSUMES NO LIABILITY FOR ANY DESIGN OR DRAWINGS IN THESE PLANS, THAT ARE NOT SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED WITH THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AS A MEMBER OF THIS FIRM (F-16384). OTHER CONSULTANTS' WORK SHOWN IN THESE PLANS IS THE RESPONSIBILITY OF THE CONSULTANT WHO PREPARED SUCH WORK, AND IS INCLUDED IN THIS PLAN SET FOR REVIEW REQUIREMENTS ONLY.

SITE PLAN COMPONENTS - ALL BUILDING AND STRUCTURAL IMPROVEMENTS SHOWN HEREON ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. LANDDEV CONSULTING, LLC IS NOT RESPONSIBLE OR LIABLE FOR THE DESIGN OF BUILDING OR STRUCTURAL IMPROVEMENTS BY OTHERS.

STRUCTURAL COMPONENTS - ALL STRUCTURAL DESIGN IS THE RESPONSIBILITY OF THE OWNER'S STRUCTURAL ENGINEER. STRUCTURAL DESIGN SHOWN HEREON IS THE DESIGN OF THE OWNER'S STRUCTURAL ENGINEER.

PAVEMENT DESIGN - PAVEMENT DESIGN SHOWN HEREON IS THE DESIGN OF THE OWNER'S GEOTECHNICAL CONSULTANT. LANDDEV CONSULTING, LLC MAKES NO WARRANTY OR GRANTEE AS TO ITS SUITABILITY, AND ASSUMES NO LIABILITY THEREFOR.

BENCHMARKS:

TBM:5549_309;
MAG NAIL SET IN CONCRETE CULVERT ALONG WEST RIGHT-OF-WAY OF FM 1626,
APPROX. 26 FEET
SOUTHEAST OF THE NORTHEAST CORNER OF LOT 2.
ELEVATION = 764.58'

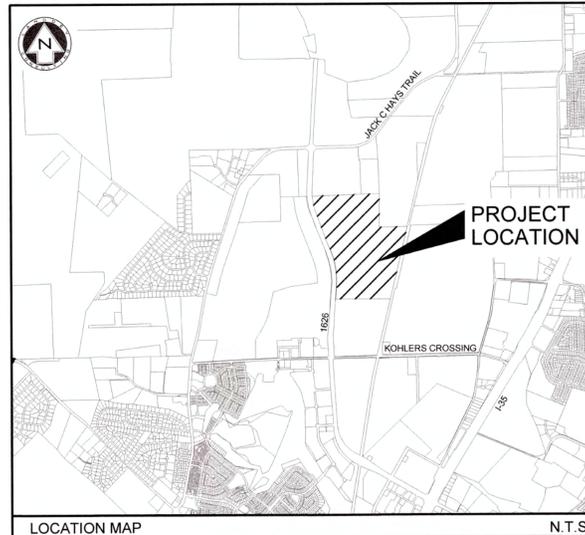
TBM:5549_419;
MAG NAIL SET IN CONCRETE CULVERT ALONG WEST RIGHT-OF-WAY OF FM 1626
APPROX. 39 FEET EAST OF THE NORTHEAST CORNER OF LOT 3.
ELEVATION = 785.88'

PLUM CREEK REGIONAL DETENTION

PUBLIC IMPROVEMENT CONSTRUCTION PLANS SUBDIVISION IMPROVEMENT NORTH HAYS COUNTY MUNICIPAL UTILITY DISTRICT NO. 2

KYLE, TEXAS

SUBMITTAL DATE: JUNE 26, 2020



LEGAL DESCRIPTION:

A0010 MORTON M
MCCARVER SURVEY, ACRES 146.736, EMP
R&D PARK AREA 10 AKA PT PH 2 TRC

OWNER:

MOUNTAIN PLUM LTD
4040 BROADWAY ST
STE 501
SAN ANTONIO, TX 78209-6368

DEVELOPER:

PLUM CREEK DEVELOPMENT
PARTNERS, LTD
4040 BROADWAY, SUITE 501
SAN ANTONIO, TX 78209
(512) 391-1789

SURVEYOR:

BOWMAN CONSULTING GROUP, LTD.
1120 S. CAPITAL OF TEXAS HWY
BUILDING 3, SUITE 220
AUSTIN, TEXAS 78746
PHONE:(512)327-1180
FAX:(512)327-4062

ENGINEER:

LANDDEV
CONSULTING, LLC
4201 WEST PARMER LN., SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

SHEET INDEX

Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES SHEET 01
3	GENERAL NOTES SHEET 02
4	EXISTING CONDITIONS
5	EROSION & SEDIMENTATION CONTROL PLAN
6	EXISTING DRAINAGE AREA MAP
7	PROPOSED DRAINAGE MAP
8	GRADING OVERALL
9	DETENTION PLAN AND PROFILE
10	DETENTION BERM - OVERALL LAYOUT
11	DETENTION BERM - PLAN AND PROFILE-1
12	DETENTION BERM - PLAN AND PROFILE-2
13	DETENTION BERM - PLAN AND PROFILE-3
14	DETENTION BERM - PLAN AND PROFILE-4
15	DETENTION BERM - PLAN AND PROFILE-5
16	DETENTION BERM - PLAN AND PROFILE-6
17	OUTFALL STRUCTURE
18	CLAY MINING AREA
19	BORING LOGS FOR MINING FIELD 1 OF 2
20	BORING LOGS FOR MINING FIELD 2 OF 2
21	SOUTH SWALE 1+00 - 11+00
22	SOUTH SWALE 11+00 - 20+00
23	SOUTH SWALE 20+00 - END
24	NORTH SWALE 1+00 - 11+00
25	NORTH SWALE 11+00 - 21+00
26	NORTH SWALE 21+00 - 31+00
27	NORTH SWALE 31+00 - 41+00
28	NORTH SWALE 41+00 - END
29	WATER LINE A REVISION
30	PLUM CREEK CROSS SECTION PLAN
31	PLUM CREEK CROSS SECTIONS 1 OF 4
32	PLUM CREEK CROSS SECTIONS 2 OF 4
33	PLUM CREEK CROSS SECTIONS 3 OF 4
34	PLUM CREEK CROSS SECTIONS 4 OF 4
35	EROSION AND SEDIMENTATION CONTROL DETAILS
36	CONCRETE DROP STRUCTURE AND WWH DETAIL
37	TYPICAL DAM SECTION DETAIL
38	POND OUTFALL STRUCTURE 01
39	POND OUTFALL STRUCTURE 02

SUBMITTED BY :

Joseph R. Gallegos

JOSEPH R. GALLEGOS, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 129909
LANDDEV CONSULTING, LLC, FIRM NO. F-16384
4201 W. PARMER LANE, SUITE C-100
AUSTIN, TEXAS 78727
CONTACT: (512)872-6696

11/4/2020
DATE

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

REVIEWED BY:

LEON BARBA, P.E. - CITY OF KYLE ENGINEER DATE

HARPER WILDER - CITY OF KYLE PUBLIC WORKS DIRECTOR DATE

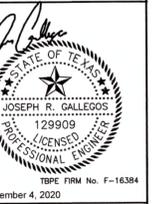
Shane Potter 11-05-2020
NORTH HAYS MUD NO. 2 DATE

REVIEW OF THE PLANS BY THE DISTRICT IS LIMITED TO WATER, WASTEWATER AND DRAINAGE AND DOES NOT INDICATE A REVIEW OF THE ADEQUACY OF THE DESIGN FOR THE FACILITIES. IN APPROVING THESE PLANS, THE DISTRICT MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CITY OF KYLE PLANNING DEPARTMENT DATE

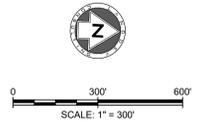


LANDDEV
CONSULTING, LLC
4201 WEST PARMER LN., SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



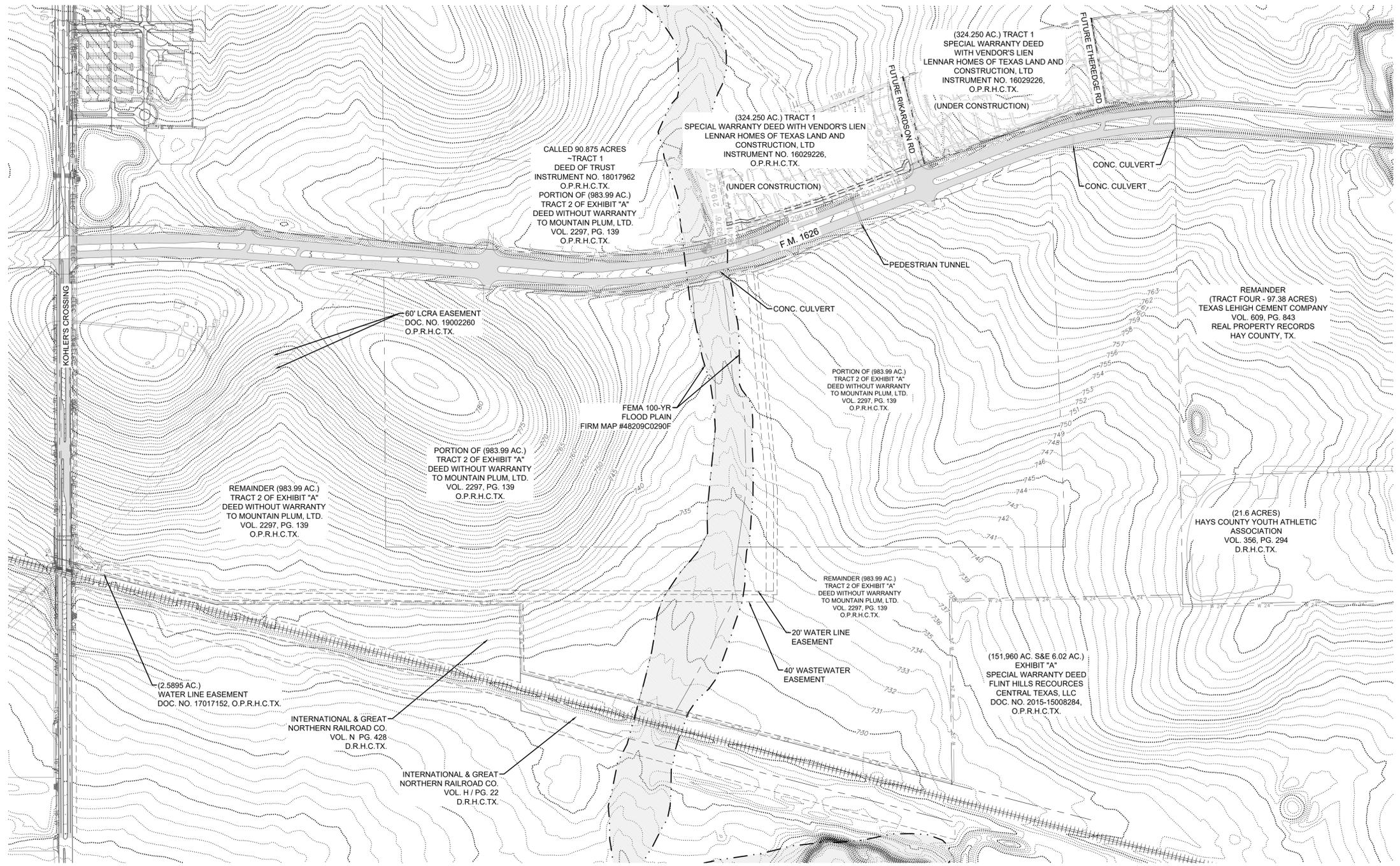
COVER
PLUM CREEK REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX
SHEET 1 OF 39



LEGEND

- EDGE OF PAVEMENT
- x - x - BARBED WIRE FENCE
- - - R.O.W.
- - - UTILITY EASEMENT
- - - FEMA FLOOD LINE
- ||||| RAIL ROAD
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS HAYS COUNTY, TEXAS
- D.R.H.C.TX. DEED RECORDS HAYS COUNTY, TEXAS



NO.	REVISION	BY	DATE



LAND DEV
 CONSULTING LLC
 420 WEST PARKER LN., SUITE 100
 AUSTIN, TX 78727
 OFFICE: 512.872.6696
 FIRM NO. 16384

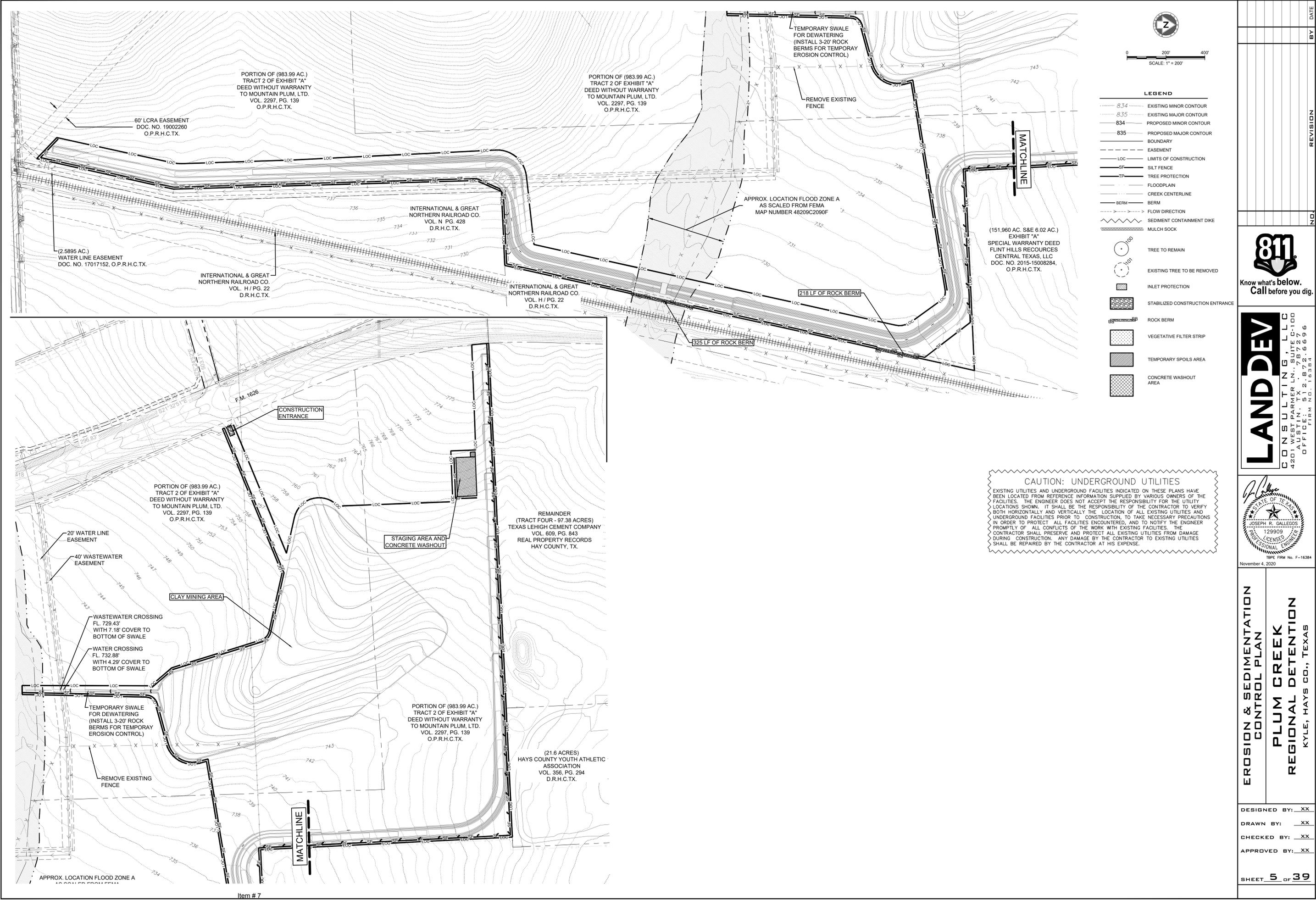


November 4, 2020
 TBPE Firm No. F-16384

EXISTING CONDITIONS
PLUM CREEK
REGIONAL DETENTION
 KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
 DRAWN BY: XX
 CHECKED BY: XX
 APPROVED BY: XX

C:\19000\194502\02_Plan Set\10_Uplift\194502_02a_Regional\03_ACD\Drawings\194502_02a_KCND.dwg Layouth November 01, 2020, 4:58 PM jgallegos



SCALE: 1" = 200'

- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 8.34 PROPOSED MAJOR CONTOUR
 - 8.35 PROPOSED MINOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - LOC --- LIMITS OF CONSTRUCTION
 - SF --- SILT FENCE
 - TP --- TREE PROTECTION
 - F --- FLOODPLAIN
 - C --- CREEK CENTERLINE
 - B --- BERM
 - >--- FLOW DIRECTION
 - S --- SEDIMENT CONTAINMENT DIKE
 - M --- MULCH SOCK
 - TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - ▨ INLET PROTECTION
 - ▨ STABILIZED CONSTRUCTION ENTRANCE
 - ▨ ROCK BERM
 - ▨ VEGETATIVE FILTER STRIP
 - ▨ TEMPORARY SPOILS AREA
 - ▨ CONCRETE WASHOUT AREA

CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

DATE	
BY	
REVISION	
NO.	

Know what's below.
Call before you dig.

LAND DEV

CONSULTING, LLC

420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

PROFESSIONAL ENGINEER
129909
STATE OF TEXAS
JOSEPH R. GALLEGOS
November 4, 2020

EROSION & SEDIMENTATION CONTROL PLAN

PLUM CREEK REGIONAL DETENTION

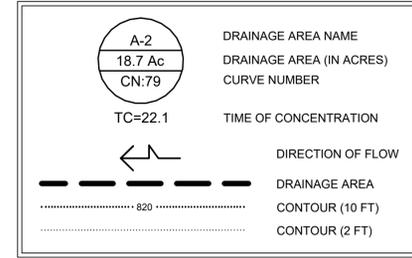
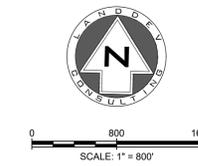
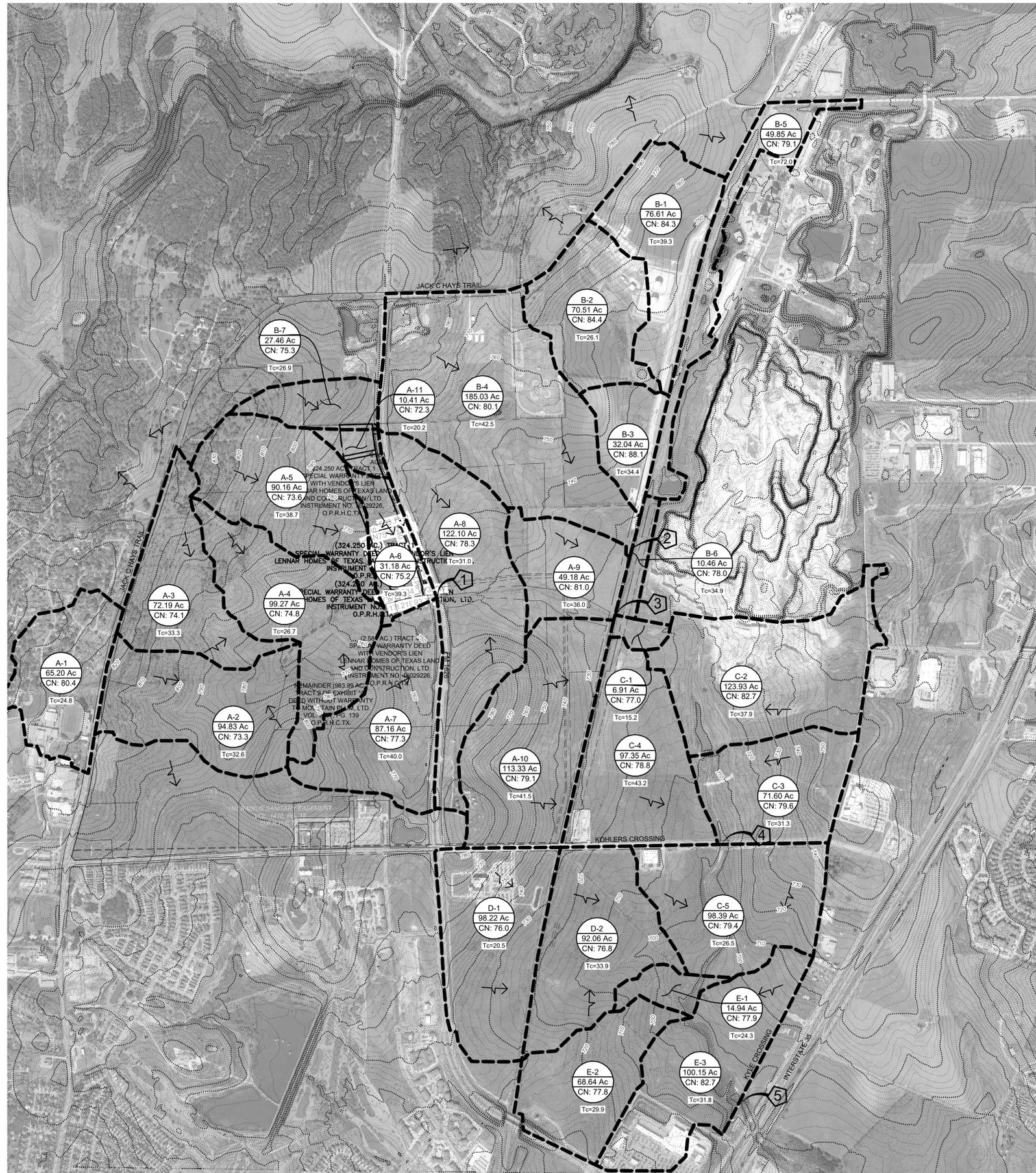
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

SHEET **5** OF **39**

C:\19000\194502_002_PC_Sec C 10_Uplmwin194502_002a_Regional03_ACOPTPlanmsh194502_002a_EROV.dwg, Layout1, November 04, 2020, 4:27 PM, jgallegos

Item # 7



1	DRAINAGE AREAS: A-1, A-2, A-3, A-4, A-5, A-6, A-7 COMBINED DA: 0.844 sq mi HEC-HMS NODE NAME: "J-A7A6" Q(100): 2,993 cfs **
2	DRAINAGE AREAS: B-7, B-4, B-2, B-3, B-1 COMBINED DA: 0.612 sq mi HEC-HMS NODE NAME: "J-B4B7" Q(100): 2,365 cfs ** NOTE: NORTHERN BRIDGE UNDER RAILROAD.
3	DRAINAGE AREAS: A-1, A-2, A-3, A-4, A-5, A-6, A-7 COMBINED DA: 1.305 sq mi HEC-HMS NODE NAME: "J-A10" Q(100): 3,046 cfs ** NOTE: SOUTHERN BRIDGE UNDER UNION PACIFIC RAILROAD
4	DRAINAGE AREAS: A-1, A-2, A-3, A-4, A-5, A-6, A-7 A-8, A-9, A-10, A-11, B-1, B-2, B-3 B-4, B-5, B-6, C-1, C-2, C-3, C-4 COMBINED DA: 2.479 sq mi HEC-HMS NODE NAME: "J-C3C4" Q(100): 5,884 cfs ** NOTE: UNDER KOHLERS CROSSING
5	DRAINAGE AREAS: A-1, A-2, A-3, A-4, A-5, A-6, A-7 A-8, A-9, A-10, A-11, B-1, B-2, B-3 B-4, B-5, B-6, C-1, C-2, C-3, C-4 C-5, D-1, D-2, E-1, E-2, E-3 COMBINED DA: 3.217 sq mi HEC-HMS NODE NAME: "J-E3" Q(100): 6,970 cfs ** NOTE: UNDER KYLE CROSSING

** REFLECTS THE '01 Existing BASIN MODEL IN THE HEC-HMS MODEL PREPARED BY LANDDEV CONSULTING, LLC DATED JUNE 2020.

	"J-A7A6"	"J-B4B7"	"J-A10"	"J-C3C4"	"J-E3"
0.844 SQ MI	0.612 SQ MI	1.305 SQ MI	2.479 SQ MI	3.217 SQ MI	
DP #1	DP #2	DP #3	DP #4	DP #5	
Q(exist)	Q(exist)	Q(exist)	Q(exist)	Q(exist)	
cfs	cfs	cfs	cfs	cfs	
2 yr	673	699	903	1,702	1,831
10 yr	1,466	1,299	1,731	3,292	3,736
25 yr	2,032	1,704	2,265	4,307	4,978
100 yr	2,993	2,365	3,046	5,884	6,970

CURVE NUMBERS FOR THE EXISTING CONDITIONS BASINS WERE DETERMINED BY A COMPOSITE OF NATIONAL LAND COVER DATA (NLCD) AND HYDROLOGIC SOIL TYPES. ALL BASINS IN THE EXISTING CONDITIONS HEC-HMS MODEL HAVE A MODELED IMPERVIOUS COVER OF 0%.

THE HYDROLOGIC MODEL UTILIZES METEOROLOGICAL DATA FOR KYLE, TEXAS, TAKEN FROM NOAA ATLAS 14, VOL. 11, VERSION 2. (LATITUDE: 29.9942°, LONGITUDE: -97.8711°; ELEVATION: 699.71')

	DEPTH-DURATION-FREQUENCY				
	2 YR	10 YR	25 YR	100 YR	500 YR
5 MINUTES	0.527	0.795	0.972	1.26	1.64
15 MINUTES	1.06	1.59	1.94	2.51	3.25
1 HOUR	1.97	2.97	3.63	4.72	6.29
2 HOUR	2.44	3.8	4.78	6.55	9.18
3 HOUR	2.73	4.33	5.55	7.84	11.3
6 HOUR	3.22	5.24	6.82	9.92	14.7
12 HOUR	3.69	6.09	7.97	11.6	17.4
24 HOUR	4.19	6.97	9.11	13.2	19.8

* ALL VALUES IN THIS TABLE ARE IN INCHES OF RAINFALL

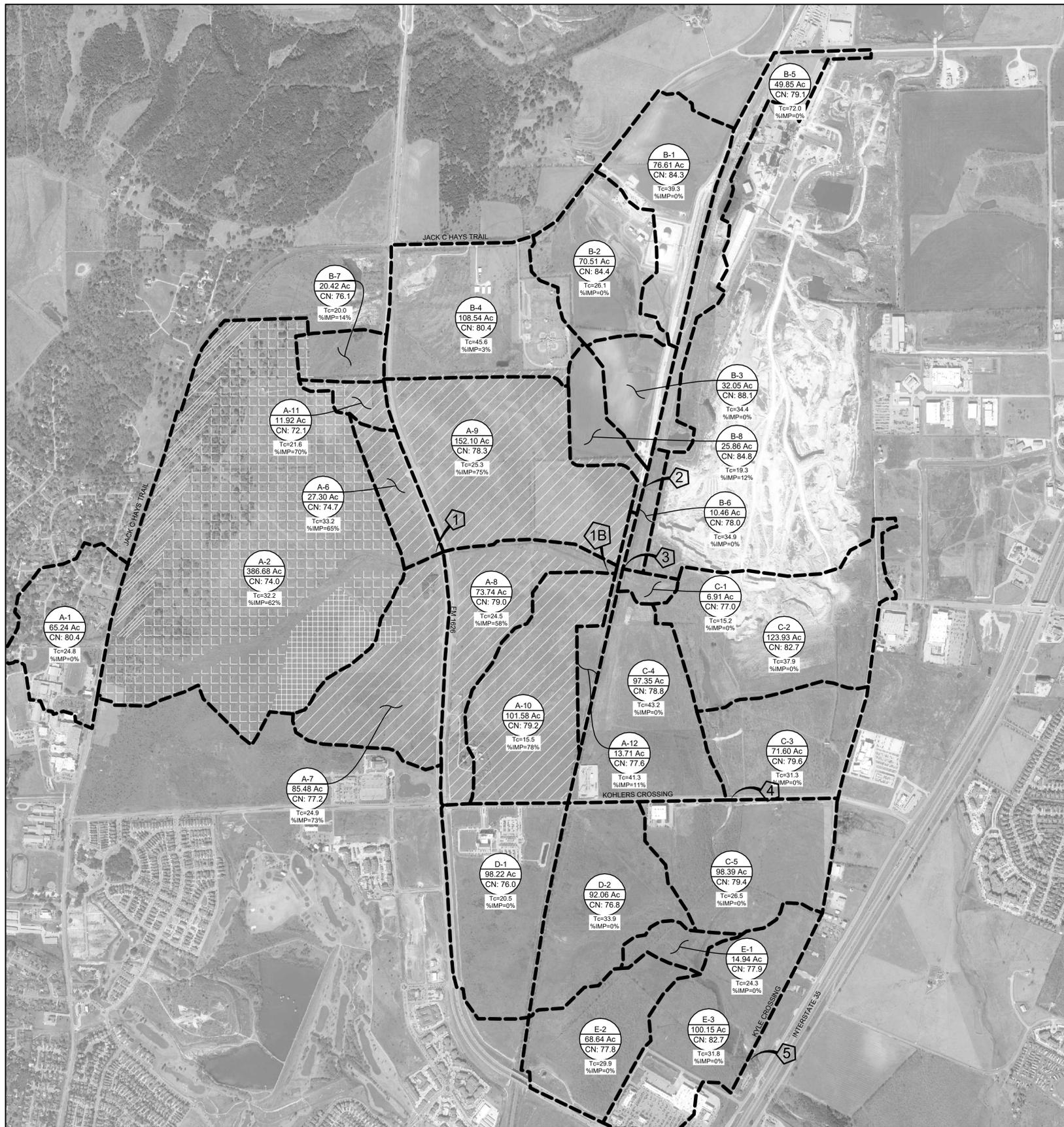
BUNTON BRANCH WATERSHED - N 30.036°, W 97.871°

EXISTING CONDITIONS

P:\01\190001\190001.dwg, November 04, 2020, 4:27 PM, jll@landdev.com
 Template: LDC_C:\02018\DWG
 C:\190001\190001.dwg, November 04, 2020, 4:27 PM, jll@landdev.com

Item # 7

BY	
REVISION	
NO.	
<p>Know what's below. Call before you dig.</p>	
<p>LANDDEV CONSULTING, LLC 420 WEST PARKER LN., SUITE C-100 AUSTIN, TX 78727 OFFICE: 512.872.6696 FIRM NO. 16384</p>	
<p>Professional Engineer November 4, 2020 TPE FIRM No. F-16384</p>	
<p>EXISTING DRAINAGE AREA MAP PLUM CREEK REGIONAL DETENTION KYLE, HAYS CO., TEXAS</p>	
DESIGNED BY: XX	
DRAWN BY: XX	
CHECKED BY: XX	
APPROVED BY: XX	
SHEET 6 OF 39	



BUNTON BRANCH WATERSHED - N 30.036°, W 97.871°

(A) PROPOSED IMPERVIOUS @ (65%) = 190.5 ACRES	(C) PROPOSED IMPERVIOUS @ (80%) = 28.3 ACRES
(B) PROPOSED IMPERVIOUS @ (80%) = 320.2 ACRES	(D) PROPOSED IMPERVIOUS @ (65%) = 29.3 ACRES
TOTAL PROPOSED IMPERVIOUS COVER WITHIN STUDIED BASIN = 568.3 ACRES	



SCALE: 1" = 800'

A-2 18.7 Ac CN:79 Tc=22.1 %IMP=68%	DRAINAGE AREA NAME DRAINAGE AREA (IN ACRES) CURVE NUMBER TIME OF CONCENTRATION % IMPERVIOUS (PROPOSED)
←	DIRECTION OF FLOW
---	DRAINAGE AREA
.....	CONTOUR (10 FT)
.....	CONTOUR (2 FT)

1	DRAINAGE AREAS: A-1, A-2, A-6, A-7 COMBINED DA: 0.858 sq mi HEC-HMS NODE NAME: "J-A7A6" Q(100): 3,349 cfs * NOTE: FULLY DEVELOPED UN-DETAINED FLOWS TO FM 1626
1B	DRAINAGE AREAS: A-1, A-2, A-6, A-7, A-8, A-9, A-10, A-11 COMBINED DA: 1.388 sq mi HEC-HMS NODE NAME: "J-A10" Q(100): 4,982 cfs * NOTE: INFLOW TO REGIONAL DETENTION
2	DRAINAGE AREAS: B-1, B-2, B-3, B-4, B-7, B-8 COMBINED DA: 0.612 sq mi HEC-HMS NODE NAME: "J-B3B8" Q(100): 1,978 cfs * NOTE: NORTHERN BRIDGE UNDER RAILROAD.
3	DRAINAGE AREAS: A-1, A-2, A-6, A-7, A-8, A-9, A-10, A-11, A-12 COMBINED DA: 1.410 sq mi HEC-HMS NODE NAME: "J-A12" Q(100): 2,595 cfs * NOTE: SOUTHERN BRIDGE UNDER RAILROAD
4	DRAINAGE AREAS: A-1, A-6, A-7, A-8, A-9, A-10, A-11, A-12, B-1, B-2, B-3, B-4, B-5, B-6, B-7, B-8, C-1, C-2, C-3, C-4 COMBINED DA: 2.494 sq mi HEC-HMS NODE NAME: "J-C3C4" Q(100): 5,135 cfs * NOTE: UNDER KOHLERS CROSSING
5	DRAINAGE AREAS: A-1, A-2, A-6, A-7, A-8, A-9, A-10, A-11, A-12, B-1, B-2, B-3, B-4, B-5, B-6, B-7, B-8, C-1, C-2, C-3, C-4, C-5, D-1, D-2, E-1, E-2, E-3 COMBINED DA: 3.232 sq mi HEC-HMS NODE NAME: "J-E3" Q(100): 6,251 cfs * NOTE:

* REFLECTS THE '02 Proposed BASIN MODEL IN THE HEC-HMS MODEL PREPARED BY LANDDEV CONSULTING, LLC DATED JUNE 2020.

CURVE NUMBERS FOR THE PROPOSED CONDITIONS BASINS WERE DETERMINED BY A COMPOSITE OF NATIONAL LAND COVERAGE DATA (NLCD) AND HYDROLOGIC SOIL TYPES.
THE HYDROLOGIC MODEL UTILIZES METEOROLOGICAL DATA FOR KYLE, TEXAS, TAKEN FROM NOAA ATLAS 14, VOL 11, VERSION 2 (SEE SHEET 6)

STORM	"J-A10"		"J-A12"		POND ELEV ft	POND VOLUME AC-FT
	EXISTING CONDITIONS	ULTIMATE DEVELOPMENT POND INFLOW	ULTIMATE DEVELOPMENT CONDITIONS			
	1,305 SQ MI	1,388 SQ MI	1,410 SQ MI			
2 yr	903	1,722	868	732.9	62.3	
10 yr	1,731	2,884	1,365	734.5	117.9	
25 yr	2,265	3,676	1,726	735.5	160.2	
100 yr	3,046	4,982	2,595	737.1	233.8	

PROPOSED

REVISION BY DATE

811 Know what's below. Call before you dig.

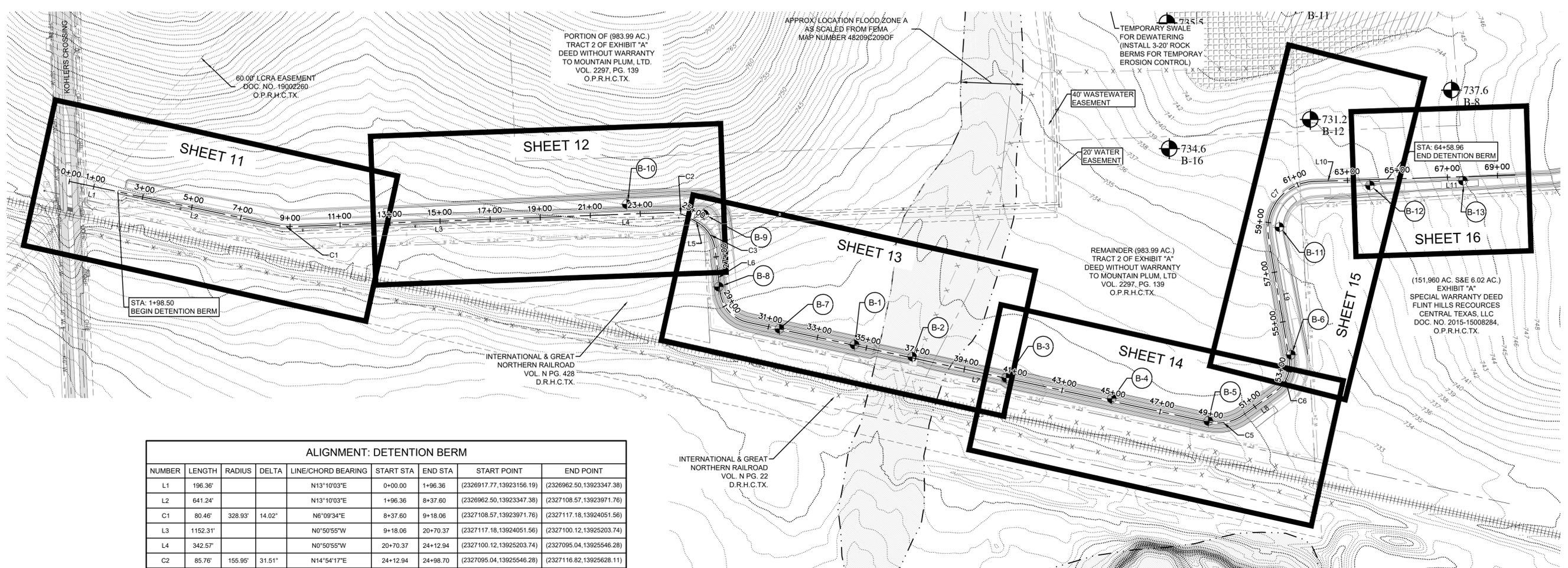
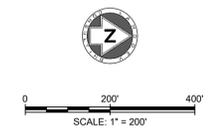
LAND DEV
CONSULTING, LLC
420 WEST PARKER LN., SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

Professional Engineer
JOSEPH R. GALLEGOS
129909
TPE FIRM No. F-16384
November 4, 2020

PROPOSED DRAINAGE MAP
PLUM GREEK REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

SHEET 7 OF 39



ALIGNMENT: DETENTION BERM

NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	196.36'			N13°10'03"E	0+00.00	1+96.36	(2326917.77, 13923156.19)	(2326962.50, 13923347.38)
L2	641.24'			N13°10'03"E	1+96.36	8+37.60	(2326962.50, 13923347.38)	(2327108.57, 13923971.76)
C1	80.46'	328.93'	14.02°	N6°09'34"E	8+37.60	9+18.06	(2327108.57, 13923971.76)	(2327117.18, 13924051.56)
L3	1152.31'			N0°50'55"W	9+18.06	20+70.37	(2327117.18, 13924051.56)	(2327100.12, 13925203.74)
L4	342.57'			N0°50'55"W	20+70.37	24+12.94	(2327100.12, 13925203.74)	(2327095.04, 13925546.28)
C2	85.76'	155.95'	31.51°	N14°54'17"E	24+12.94	24+98.70	(2327095.04, 13925546.28)	(2327116.82, 13925628.11)
L5	35.72'			N30°39'30"E	24+98.70	25+34.42	(2327116.82, 13925628.11)	(2327135.04, 13925658.83)
C3	136.27'	144.88'	53.89°	N57°36'10"E	25+34.42	26+70.68	(2327135.04, 13925658.83)	(2327245.90, 13925729.18)
L6	170.49'			N84°32'50"E	26+70.68	28+41.17	(2327245.90, 13925729.18)	(2327415.61, 13925745.38)
C4	172.28'	138.84'	71.10°	N48°59'55"E	28+41.17	30+13.45	(2327415.61, 13925745.38)	(2327537.45, 13925851.30)
L7	1883.22'			N13°27'01"E	30+13.45	48+96.67	(2327537.45, 13925851.30)	(2327975.50, 13927682.87)
C5	151.50'	180.00'	48.22°	N10°39'43"W	48+96.67	50+48.18	(2327975.50, 13927682.87)	(2327948.29, 13927827.40)
L8	159.23'			N34°46'27"W	50+48.18	52+07.41	(2327948.29, 13927827.40)	(2327857.47, 13927958.19)
C6	141.80'	127.71'	63.62°	N66°34'55"W	52+07.41	53+49.21	(2327857.47, 13927958.19)	(2327733.93, 13928011.70)
L9	492.52'			S81°36'37"W	53+49.21	58+41.73	(2327733.93, 13928011.70)	(2327246.68, 13927939.84)
C7	323.55'	189.44'	97.85°	N49°27'47"W	58+41.73	61+65.27	(2327246.68, 13927939.84)	(2327029.61, 13928125.48)
L10	293.69'			N0°32'11"W	61+65.27	64+58.96	(2327029.61, 13928125.48)	(2327026.86, 13928419.16)
L11	510.60'			N0°32'11"W	64+58.96	69+69.56	(2327026.86, 13928419.16)	(2327022.07, 13928929.74)

NO.	REVISION	BY	DATE



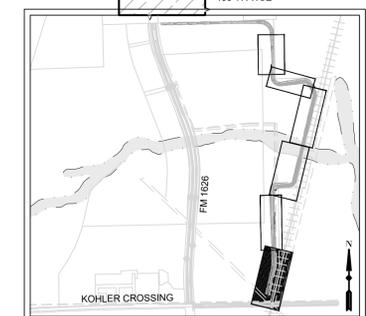
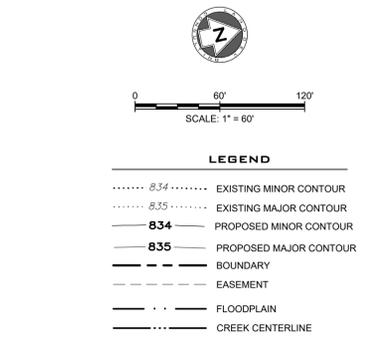
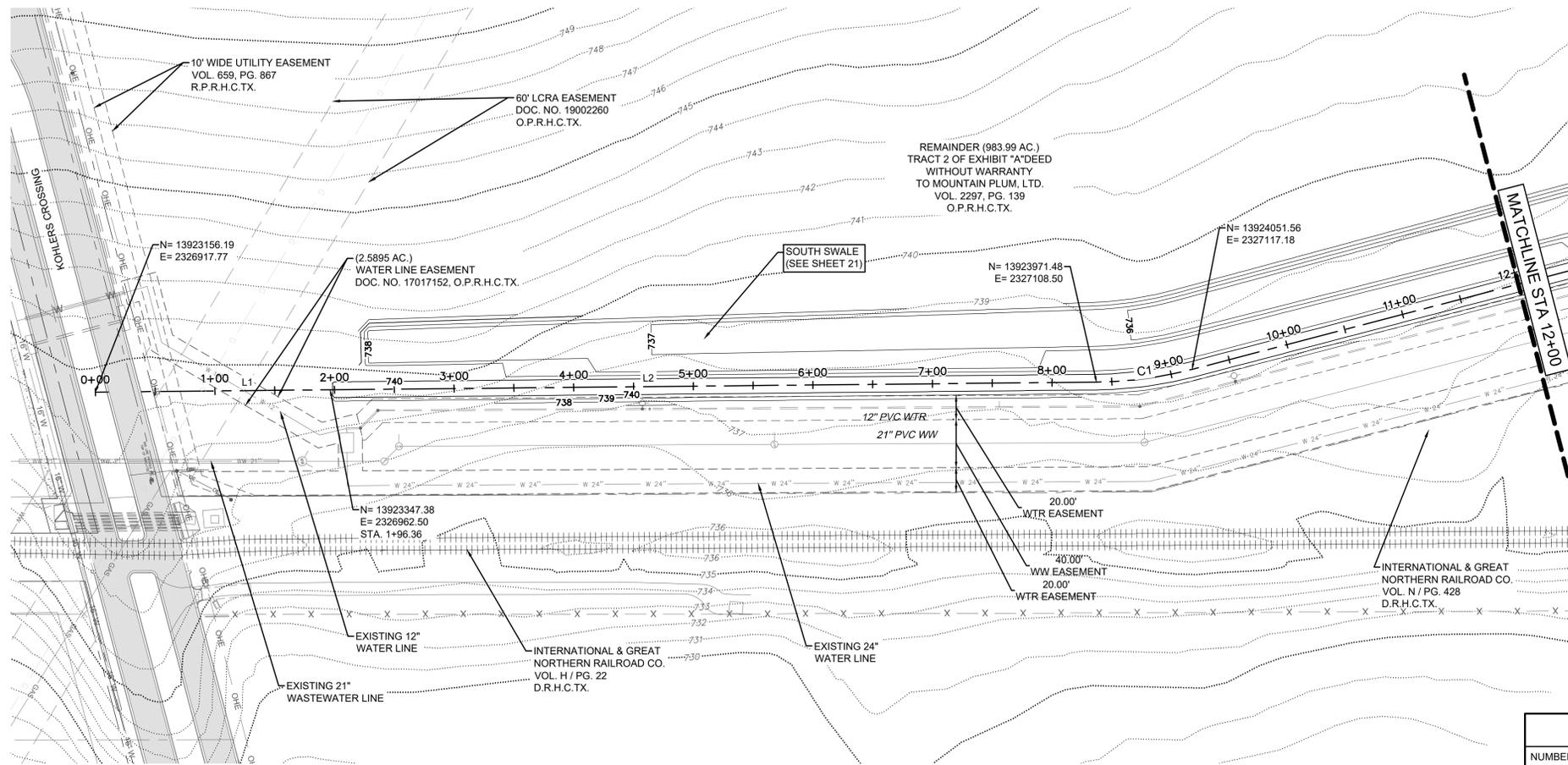
LAND DEV
 CONSULTING LLC
 420 WEST PARKER LN., SUITE 100
 AUSTIN, TX 78727
 OFFICE: 512.872.6696
 FIRM NO. 16384



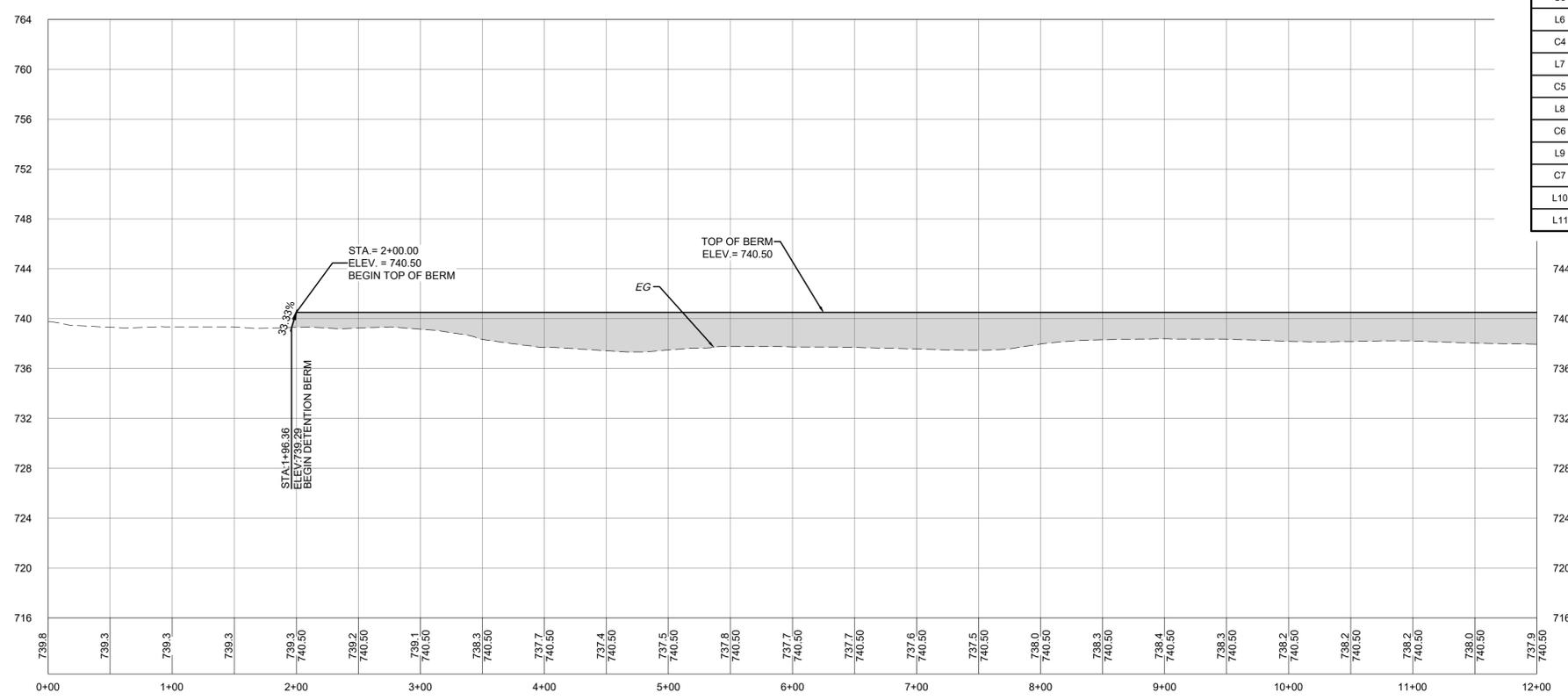
DETENTION BERM - OVERALL LAYOUT
PLUM CREEK REGIONAL DETENTION
 KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
 DRAWN BY: XX
 CHECKED BY: XX
 APPROVED BY: XX

C:\19000\14502\02_P\Sec 10\Upland\14502_02a_Regional\03_ACD\Plan\14502_02a_DET_BERM_OV_Overall.dwg DETENTION BERM OVERALL November 04, 2020 1:30 PM gallegos



DETENTION BERM



ALIGNMENT: DETENTION BERM

NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	196.36'			N13°10'03"E	0+00.00	1+96.36	(2326917.77, 13923156.19)	(2326962.50, 13923347.38)
L2	641.24'			N13°10'03"E	1+96.36	8+37.60	(2326962.50, 13923347.38)	(2327108.57, 13923971.76)
C1	80.46'	328.93'	14.02°	N6°09'34"E	8+37.60	9+18.06	(2327108.57, 13923971.76)	(2327117.18, 13924051.56)
L3	1152.31'			N0°50'55"W	9+18.06	20+70.37	(2327117.18, 13924051.56)	(2327100.12, 13925203.74)
L4	342.57'			N0°50'55"W	20+70.37	24+12.94	(2327100.12, 13925203.74)	(2327095.04, 13925546.28)
C2	85.76'	155.95'	31.51°	N14°54'17"E	24+12.94	24+98.70	(2327095.04, 13925546.28)	(2327116.82, 13925628.11)
L5	35.72'			N30°39'30"E	24+98.70	25+34.42	(2327116.82, 13925628.11)	(2327135.04, 13925658.83)
C3	136.27'	144.88'	53.89°	N57°36'10"E	25+34.42	26+70.68	(2327135.04, 13925658.83)	(2327245.90, 13925729.18)
L6	170.49'			N84°32'50"E	26+70.68	28+41.17	(2327245.90, 13925729.18)	(2327415.61, 13925745.38)
C4	172.28'	138.84'	71.10°	N48°59'55"E	28+41.17	30+13.45	(2327415.61, 13925745.38)	(2327537.45, 13925851.30)
L7	1883.22'			N13°27'01"E	30+13.45	48+96.67	(2327537.45, 13925851.30)	(2327975.50, 13927822.87)
C5	151.50'	180.00'	48.22°	N10°39'43"W	48+96.67	50+48.18	(2327975.50, 13927822.87)	(2327948.29, 13927827.40)
L8	159.23'			N34°46'27"W	50+48.18	52+07.41	(2327948.29, 13927827.40)	(2327857.47, 13927958.19)
C6	141.80'	127.71'	63.62°	N66°34'55"W	52+07.41	53+49.21	(2327857.47, 13927958.19)	(2327733.93, 13928011.70)
L9	492.52'			S81°36'37"W	53+49.21	58+41.73	(2327733.93, 13928011.70)	(2327246.68, 13927939.84)
C7	323.55'	189.44'	97.85°	N49°27'47"W	58+41.73	61+65.27	(2327246.68, 13927939.84)	(2327029.61, 13928125.48)
L10	293.69'			N0°32'11"W	61+65.27	64+58.96	(2327029.61, 13928125.48)	(2327026.86, 13928419.16)
L11	510.60'			N0°32'11"W	64+58.96	69+69.56	(2327026.86, 13928419.16)	(2327022.07, 13928929.74)

CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

BY: _____ DATE: _____

REVISION: _____

NO. _____

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

JOSEPH R. GALLEGOS
129909
LICENSED PROFESSIONAL ENGINEER
TPE FIRM No. F-16384
November 4, 2020

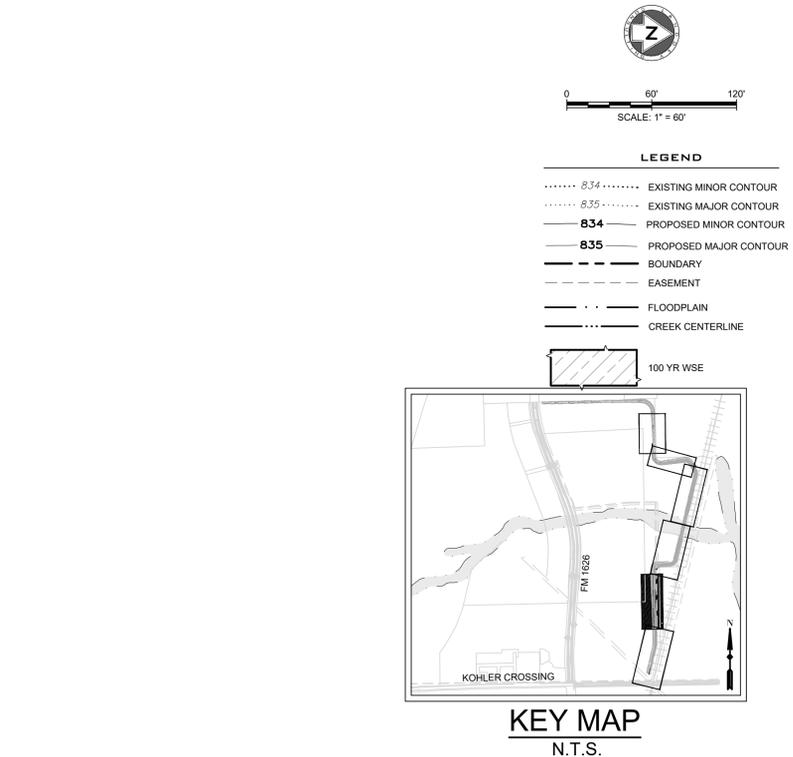
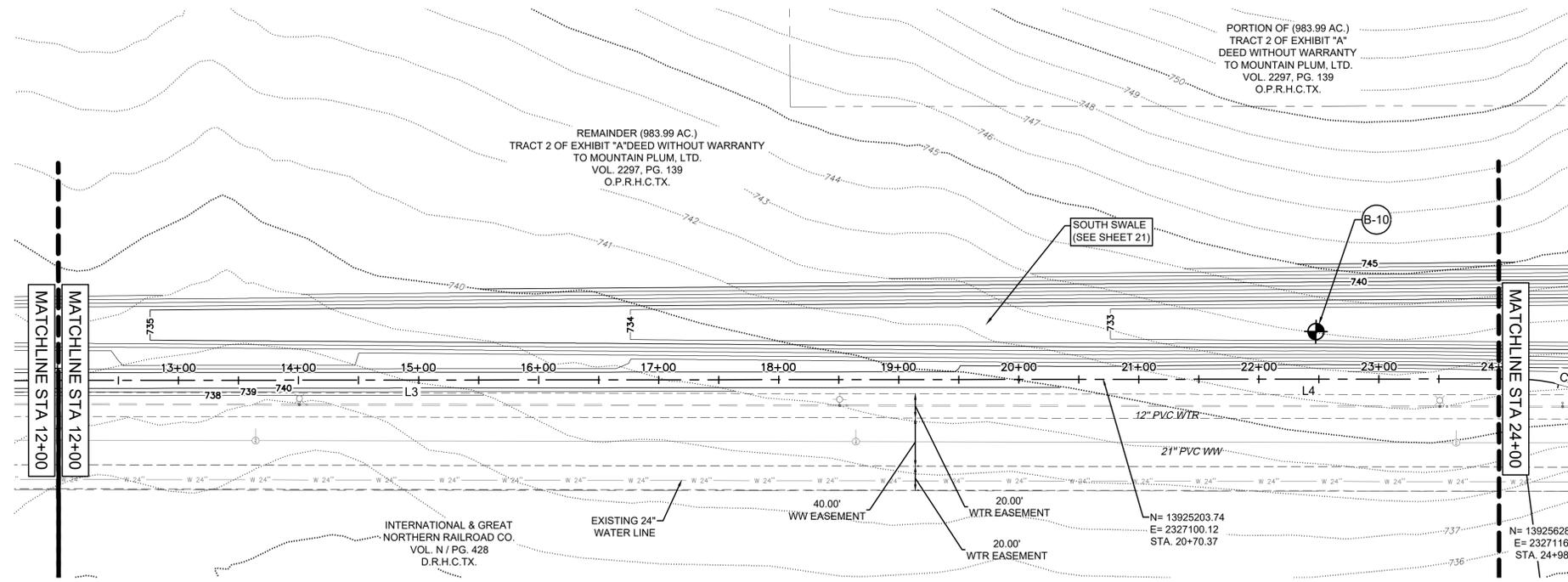
DETENTION BERM - PLAN AND PROFILE-1

PLUM CREEK REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

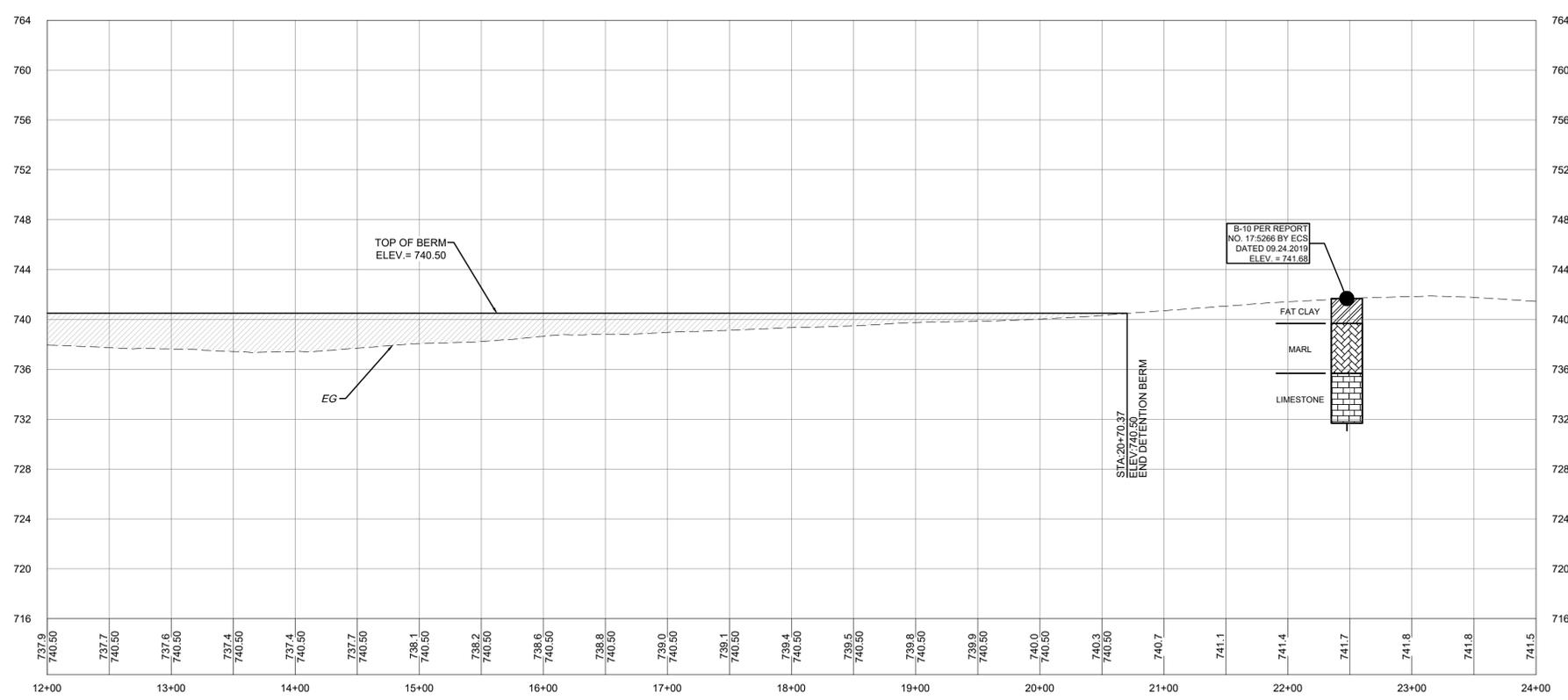
DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

SHEET **11** OF **39**

C:\19000\14502\02_Plan\10_Uplift\14502_02a_Regional\03_ACD\Plan\14502_02a_DET_BERM.dwg 5 - November 04, 2020 4:30 PM jgallegos



DETENTION BERM



ALIGNMENT: DETENTION BERM

NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	196.36'			N13°10'03"E	0+00.00	1+96.36	(2326917.77, 13923156.19)	(2326962.50, 13923347.38)
L2	641.24'			N13°10'03"E	1+96.36	8+37.60	(2326962.50, 13923347.38)	(2327108.57, 13923971.76)
C1	80.46'	328.93'	14.02°	N6°09'34"E	8+37.60	9+18.06	(2327108.57, 13923971.76)	(2327117.18, 13924051.56)
L3	1152.31'			N0°50'55"W	9+18.06	20+70.37	(2327117.18, 13924051.56)	(2327100.12, 13925203.74)
L4	342.57'			N0°50'55"W	20+70.37	24+12.94	(2327100.12, 13925203.74)	(2327095.04, 13925546.28)
C2	85.76'	155.95'	31.51°	N14°54'17"E	24+12.94	24+98.70	(2327095.04, 13925546.28)	(2327116.82, 13925628.11)
L5	35.72'			N30°39'30"E	24+98.70	25+34.42	(2327116.82, 13925628.11)	(2327135.04, 13925658.83)
C3	136.27'	144.88'	53.89°	N57°36'10"E	25+34.42	26+70.68	(2327135.04, 13925658.83)	(2327245.90, 13925729.18)
L6	170.49'			N84°32'50"E	26+70.68	28+41.17	(2327245.90, 13925729.18)	(2327415.61, 13925745.38)
C4	172.28'	138.84'	71.10°	N48°59'55"E	28+41.17	30+13.45	(2327415.61, 13925745.38)	(2327537.45, 13925851.30)
L7	1883.22'			N13°27'01"E	30+13.45	48+96.67	(2327537.45, 13925851.30)	(2327975.50, 13927822.87)
C5	151.50'	180.00'	48.22°	N10°39'43"W	48+96.67	50+48.18	(2327975.50, 13927822.87)	(2327948.29, 13927827.40)
L8	159.23'			N34°46'27"W	50+48.18	52+07.41	(2327948.29, 13927827.40)	(2327857.47, 13927958.19)
C6	141.80'	127.71'	63.62°	N66°34'55"W	52+07.41	53+49.21	(2327857.47, 13927958.19)	(2327733.93, 13928011.70)
L9	492.52'			S81°36'37"W	53+49.21	58+41.73	(2327733.93, 13928011.70)	(2327246.68, 13927939.84)
C7	323.55'	189.44'	97.85°	N49°27'47"W	58+41.73	61+65.27	(2327246.68, 13927939.84)	(2327029.61, 13928125.48)
L10	293.69'			N0°32'11"W	61+65.27	64+58.96	(2327029.61, 13928125.48)	(2327026.86, 13928419.16)
L11	510.60'			N0°32'11"W	64+58.96	69+69.56	(2327026.86, 13928419.16)	(2327022.07, 13928929.74)

CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

DATE: _____

BY: _____

REVISION: _____

NO. _____

Know what's below.
Call before you dig.

LAND DEV

CONSULTING LLC

420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

November 4, 2020

DETENTION BERM - PLAN AND PROFILE-2

PLUM CREEK REGIONAL DETENTION

KYLE, HAYS CO., TEXAS

DESIGNED BY: XX

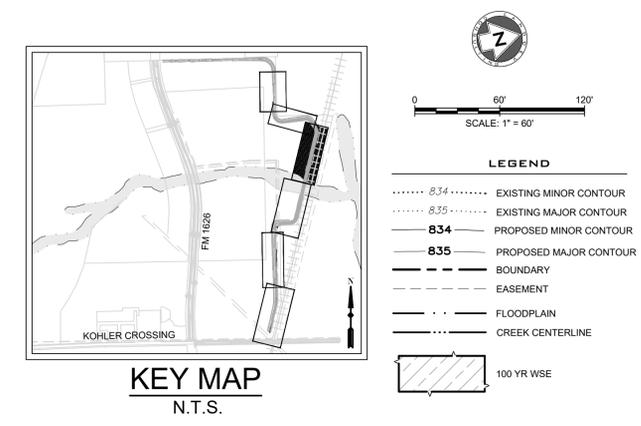
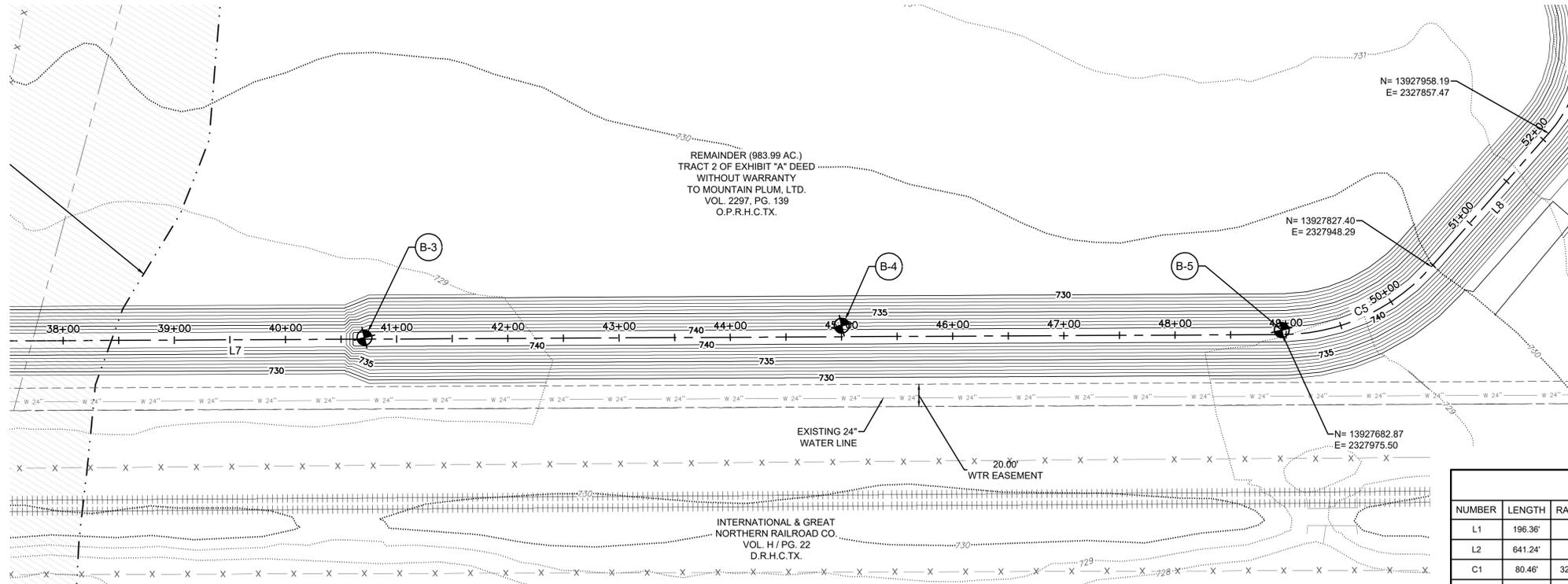
DRAWN BY: XX

CHECKED BY: XX

APPROVED BY: XX

SHEET **12** OF **39**

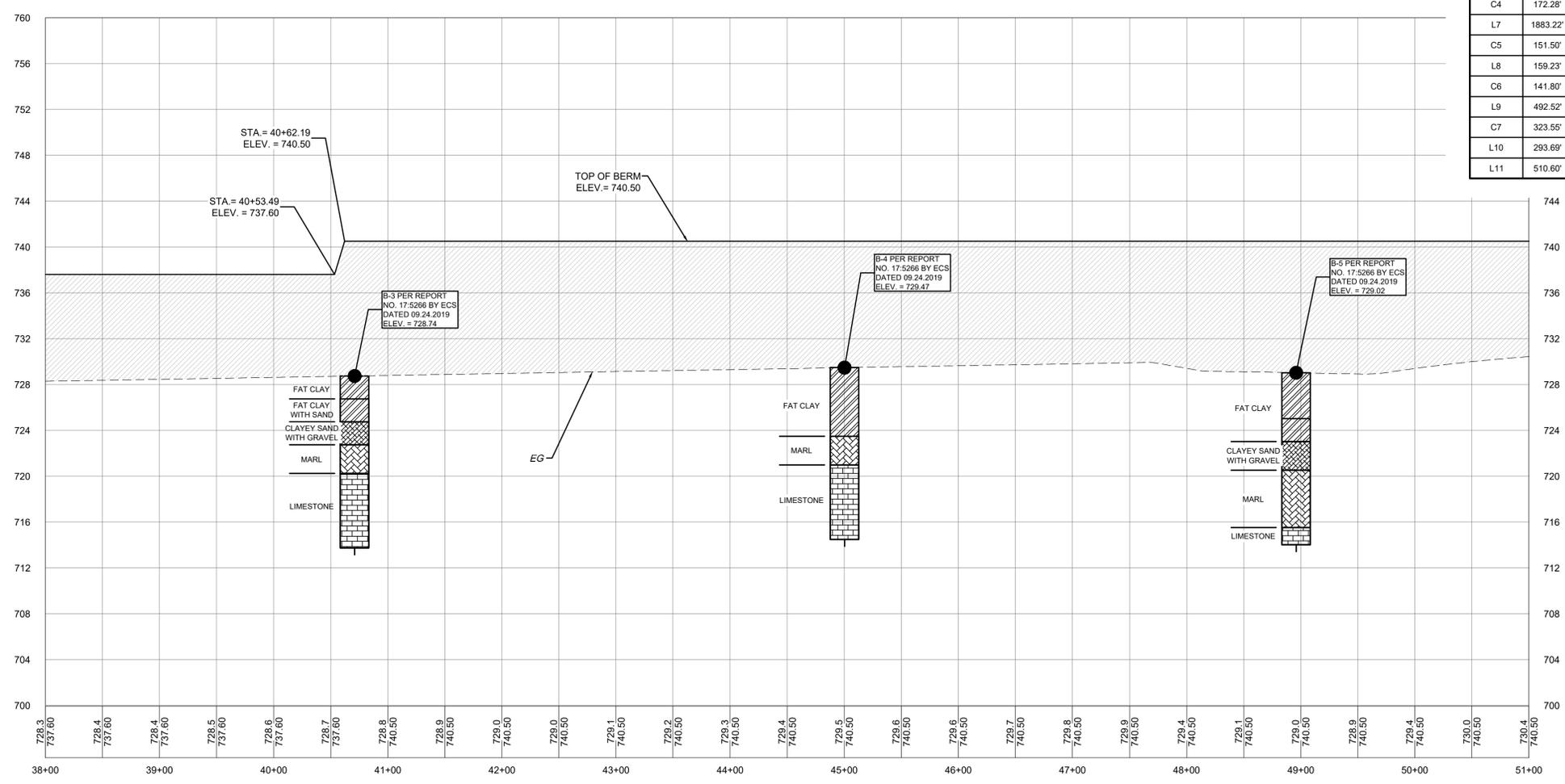
C:\19000\145402_002_PC\Doc\10_Upl\145402_002a_Regional03_ACD\Plan\145402_002a_DET_BERM.dwg, 10, November 04, 2020, 4:59 PM, jgallegos



ALIGNMENT: DETENTION BERM

NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	196.36'			N13°10'03"E	0+00.00	1+96.36	(2326917.77, 13923156.19)	(2326962.50, 13923347.38)
L2	64.124'			N13°10'03"E	1+96.36	8+37.60	(2326962.50, 13923347.38)	(2327108.57, 13923971.76)
C1	80.46'	328.93'	14.02°	N6°09'34"E	8+37.60	9+18.06	(2327108.57, 13923971.76)	(2327117.18, 13924051.56)
L3	1152.31'			N0°50'55"W	9+18.06	20+70.37	(2327117.18, 13924051.56)	(2327100.12, 13925203.74)
L4	342.57'			N0°50'55"W	20+70.37	24+12.94	(2327100.12, 13925203.74)	(2327095.04, 13925546.28)
C2	85.76'	155.95'	31.51°	N14°54'17"E	24+12.94	24+98.70	(2327095.04, 13925546.28)	(2327116.82, 13925628.11)
L5	35.72'			N30°39'30"E	24+98.70	25+34.42	(2327116.82, 13925628.11)	(2327135.04, 13925658.83)
C3	136.27'	144.88'	53.89°	N57°36'10"E	25+34.42	26+70.68	(2327135.04, 13925658.83)	(2327245.90, 13925729.18)
L6	170.49'			N84°32'50"E	26+70.68	28+41.17	(2327245.90, 13925729.18)	(2327415.61, 13925745.38)
C4	172.28'	138.84'	71.10°	N48°59'55"E	28+41.17	30+13.45	(2327415.61, 13925745.38)	(2327537.45, 13925851.30)
L7	1883.22'			N13°27'01"E	30+13.45	48+96.67	(2327537.45, 13925851.30)	(2327975.50, 13927682.87)
C5	151.50'	180.00'	48.22°	N10°39'43"W	48+96.67	50+48.18	(2327975.50, 13927682.87)	(2327948.29, 13927827.40)
L8	159.23'			N34°46'27"W	50+48.18	52+07.41	(2327948.29, 13927827.40)	(2327857.47, 13927958.19)
C6	141.80'	127.71'	63.62°	N66°34'55"W	52+07.41	53+49.21	(2327857.47, 13927958.19)	(2327733.93, 13928011.70)
L9	492.52'			S81°36'37"W	53+49.21	58+41.73	(2327733.93, 13928011.70)	(2327246.68, 13927939.84)
C7	323.55'	189.44'	97.85°	N49°27'47"W	58+41.73	61+65.27	(2327246.68, 13927939.84)	(2327029.61, 13928125.48)
L10	293.69'			N0°32'11"W	61+65.27	64+58.96	(2327029.61, 13928125.48)	(2327026.86, 13928419.16)
L11	510.60'			N0°32'11"W	64+58.96	69+69.56	(2327026.86, 13928419.16)	(2327022.07, 13928929.74)

DETENTION BERM



CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

BY: _____

DATE: _____

REVISION: _____

NO: _____

Know what's below.
Call before you dig.

LAND DEV

CONSULTING LLC

420 WEST PARKER LN., SUITE 100

AUSTIN, TX 78727

OFFICE: 512.872.6696

FIRM NO. 16384

TSPE FIRM No. F-16384

November 4, 2020

DETENTION BERM - PLAN AND PROFILE-4

PLUM CREEK REGIONAL DETENTION

KYLE, HAYS CO., TEXAS

DESIGNED BY: XX

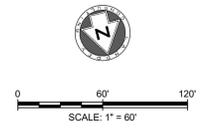
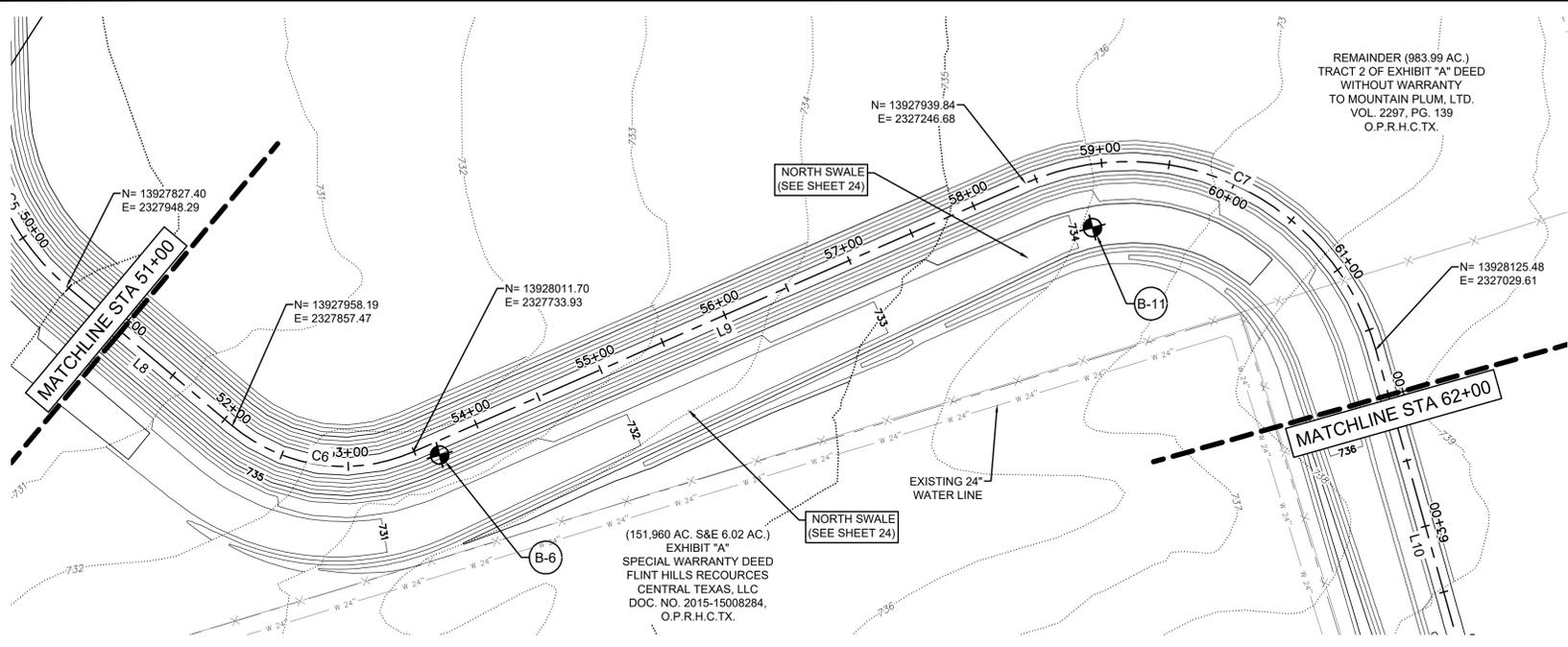
DRAWN BY: XX

CHECKED BY: XX

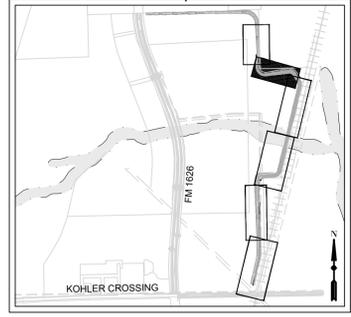
APPROVED BY: XX

SHEET **14** OF **39**

C:\19000\164502_002_Plan & Profile\164502_002a_DETEN BERM.dwg, 12 November 04, 2020, 4:31 PM, jgallegos



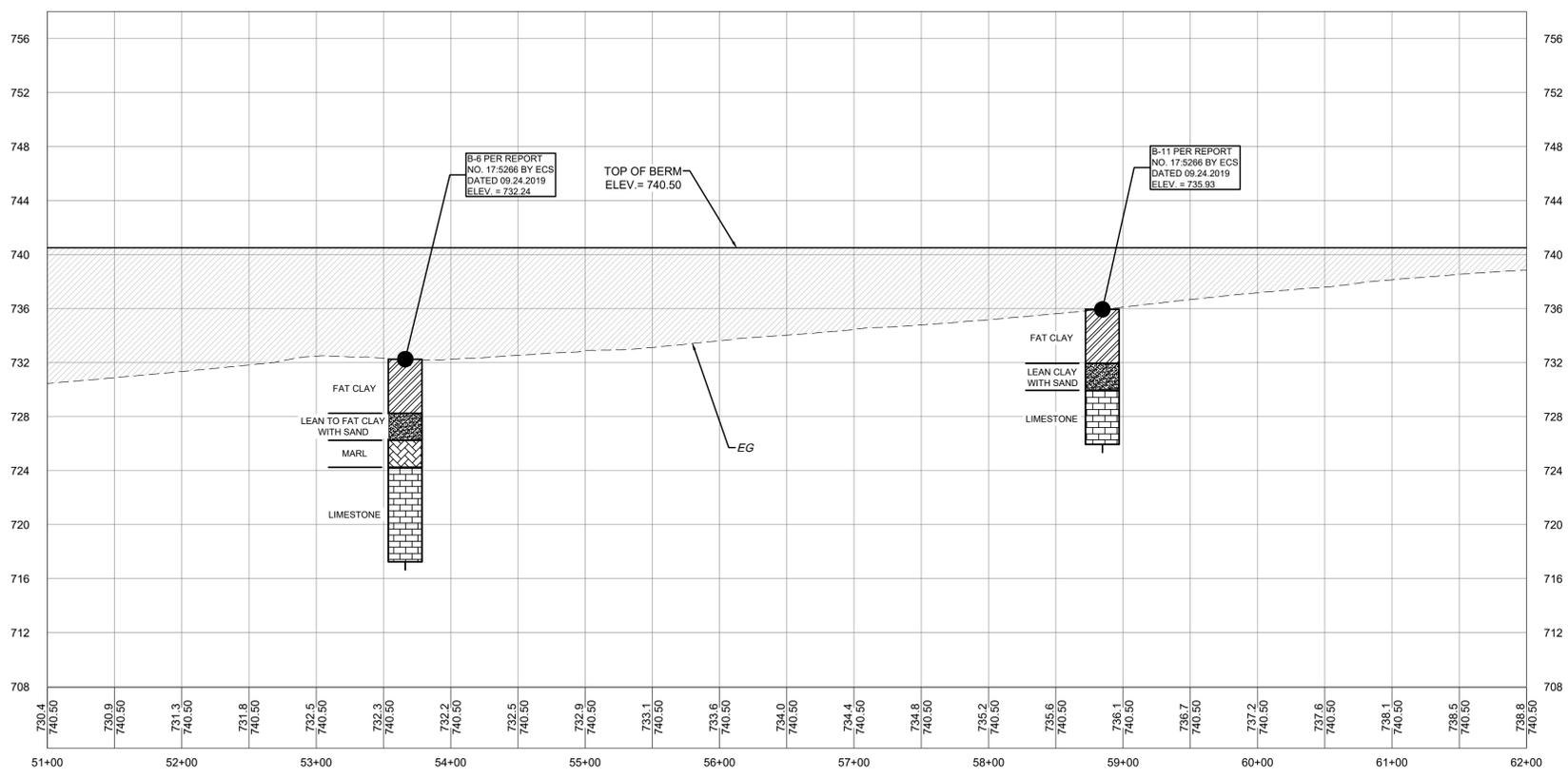
- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 8.34 PROPOSED MINOR CONTOUR
 - 8.35 PROPOSED MAJOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - FLOODPLAIN
 - CREEK CENTERLINE



(151.960 AC. S&E 6.02 AC.)
EXHIBIT "A"
SPECIAL WARRANTY DEED
FLINT HILLS RECOURCES
CENTRAL TEXAS, LLC
DOC. NO. 2015-15008284,
O.P.R.H.C.TX.

REMAINDER (983.99 AC.)
TRACT 2 OF EXHIBIT "A" DEED
WITHOUT WARRANTY
TO MOUNTAIN PLUM, LTD.
VOL. 2297, PG. 139
O.P.R.H.C.TX.

DETENTION BERM



ALIGNMENT: DETENTION BERM

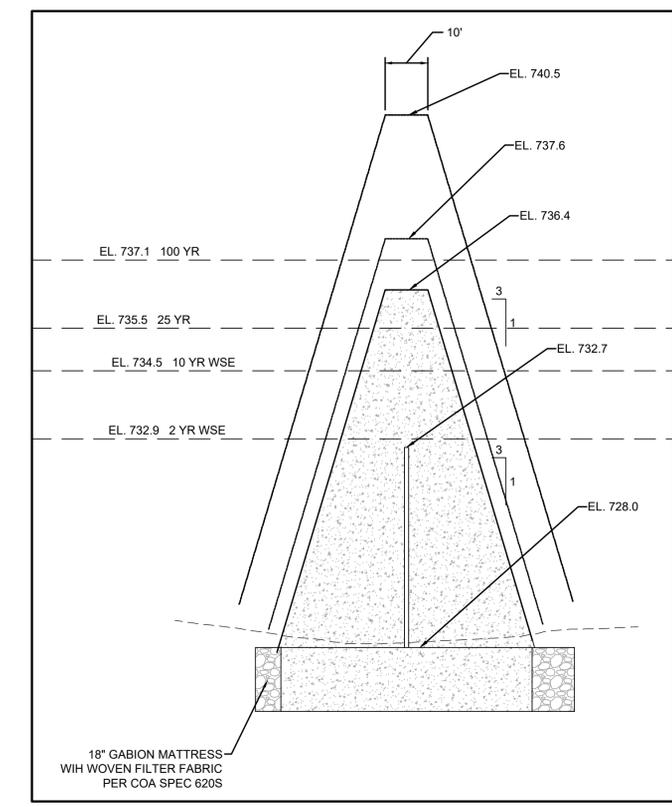
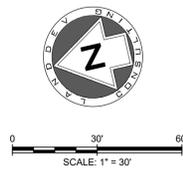
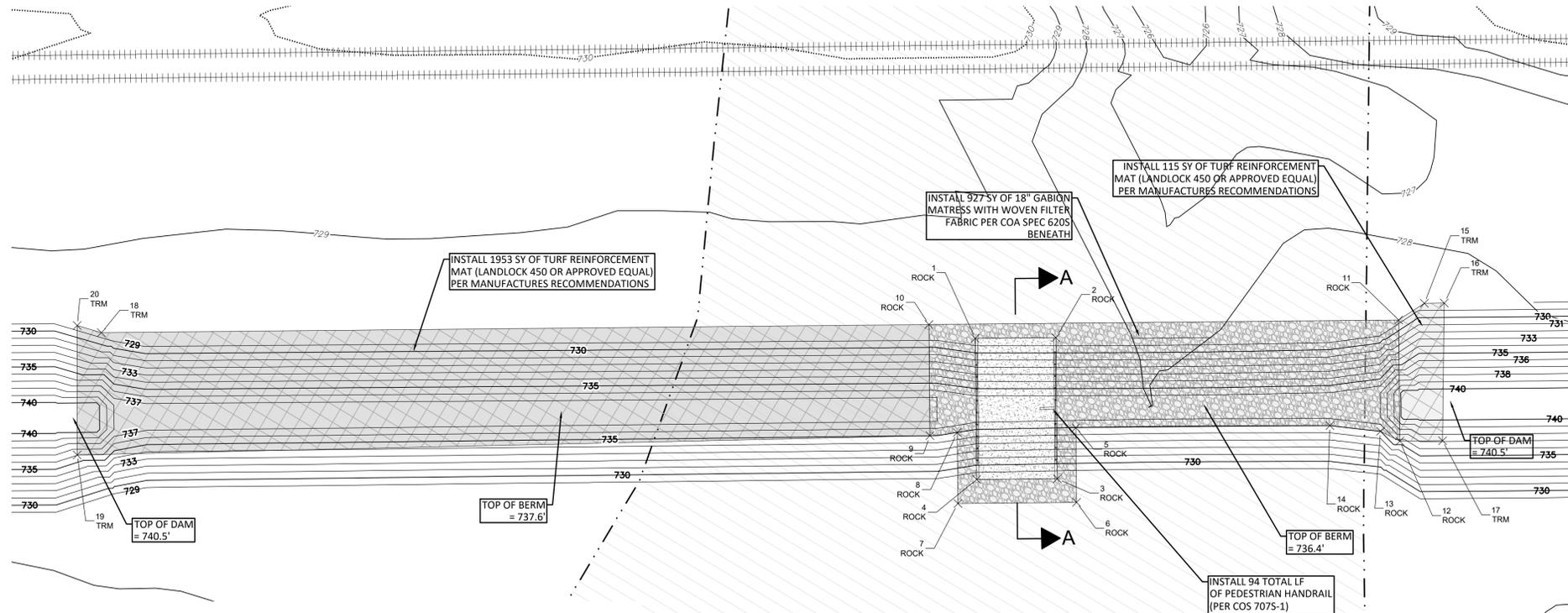
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	196.36'			N13°10'03"E	0+00.00	1+96.36	(2326917.77, 13923156.19)	(2326962.50, 13923347.38)
L2	641.24'			N13°10'03"E	1+96.36	8+37.60	(2326962.50, 13923347.38)	(2327108.57, 13923971.76)
C1	80.46'	328.93'	14.02°	N6°09'34"E	8+37.60	9+18.06	(2327108.57, 13923971.76)	(2327117.18, 13924051.56)
L3	1152.31'			N0°50'55"W	9+18.06	20+70.37	(2327117.18, 13924051.56)	(2327100.12, 13925203.74)
L4	342.57'			N0°50'55"W	20+70.37	24+12.94	(2327100.12, 13925203.74)	(2327095.04, 13925546.28)
C2	85.76'	155.95'	31.51°	N14°54'17"E	24+12.94	24+98.70	(2327095.04, 13925546.28)	(2327116.82, 13925628.11)
L5	35.72'			N30°39'30"E	24+98.70	25+34.42	(2327116.82, 13925628.11)	(2327135.04, 13925658.83)
C3	136.27'	144.88'	53.89°	N57°36'10"E	25+34.42	26+70.68	(2327135.04, 13925658.83)	(2327245.90, 13925729.18)
L6	170.49'			N84°32'50"E	26+70.68	28+41.17	(2327245.90, 13925729.18)	(2327415.61, 13925745.38)
C4	172.28'	138.84'	71.10°	N48°59'55"E	28+41.17	30+13.45	(2327415.61, 13925745.38)	(2327537.45, 13925851.30)
L7	1883.22'			N13°27'01"E	30+13.45	48+96.67	(2327537.45, 13925851.30)	(2327975.50, 13927682.87)
C5	151.50'	180.00'	48.22°	N10°39'43"W	48+96.67	50+48.18	(2327975.50, 13927682.87)	(2327948.29, 13927827.40)
L8	159.23'			N34°46'27"W	50+48.18	52+07.41	(2327948.29, 13927827.40)	(2327857.47, 13927958.19)
C6	141.80'	127.71'	63.62°	N66°34'55"W	52+07.41	53+49.21	(2327857.47, 13927958.19)	(2327733.93, 13928011.70)
L9	492.52'			S81°36'37"W	53+49.21	58+41.73	(2327733.93, 13928011.70)	(2327246.68, 13927939.84)
C7	323.55'	189.44'	97.85°	N49°27'47"W	58+41.73	61+65.27	(2327246.68, 13927939.84)	(2327029.61, 13928125.48)
L10	293.69'			N0°32'11"W	61+65.27	64+58.96	(2327029.61, 13928125.48)	(2327026.86, 13928419.16)
L11	510.60'			N0°32'11"W	64+58.96	69+69.56	(2327026.86, 13928419.16)	(2327022.07, 13928929.74)

CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

	BY _____ DATE _____
	REVISION _____
	NO. _____
	<p style="text-align: center; font-size: small;">Know what's below. Call before you dig.</p>
	<p style="font-size: x-large; font-weight: bold; margin: 0;">LAND DEV</p> <p style="font-size: small; margin: 0;">CONSULTING LLC 4201 WEST PARKER LN., SUITE 100 AUSTIN, TX 78727 OFFICE: 512.872.6696 FIRM NO. 16384</p>
	<p style="font-size: small; margin: 0;">STATE OF TEXAS JOSEPH R. GALLEGOS 129909 LICENSED PROFESSIONAL ENGINEER TPE FIRM No. F-16384 November 4, 2020</p>
	<p style="font-size: small; margin: 0;">DETENTION BERM - PLAN AND PROFILE-5 PLUM CREEK REGIONAL DETENTION KYLE, HAYS CO., TEXAS</p>
	<p style="font-size: small; margin: 0;">DESIGNED BY: XX DRAWN BY: XX CHECKED BY: XX APPROVED BY: XX</p>
	<p style="font-size: small; margin: 0;">SHEET 15 OF 39</p>

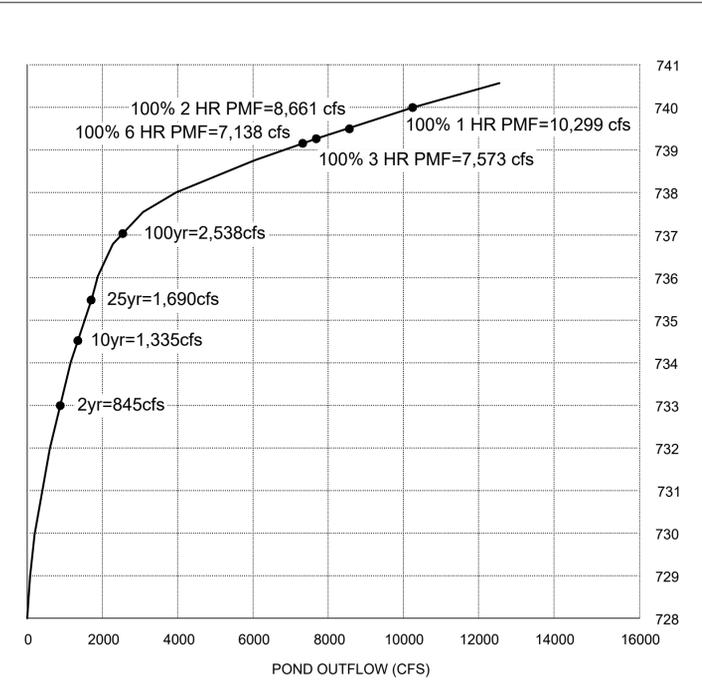
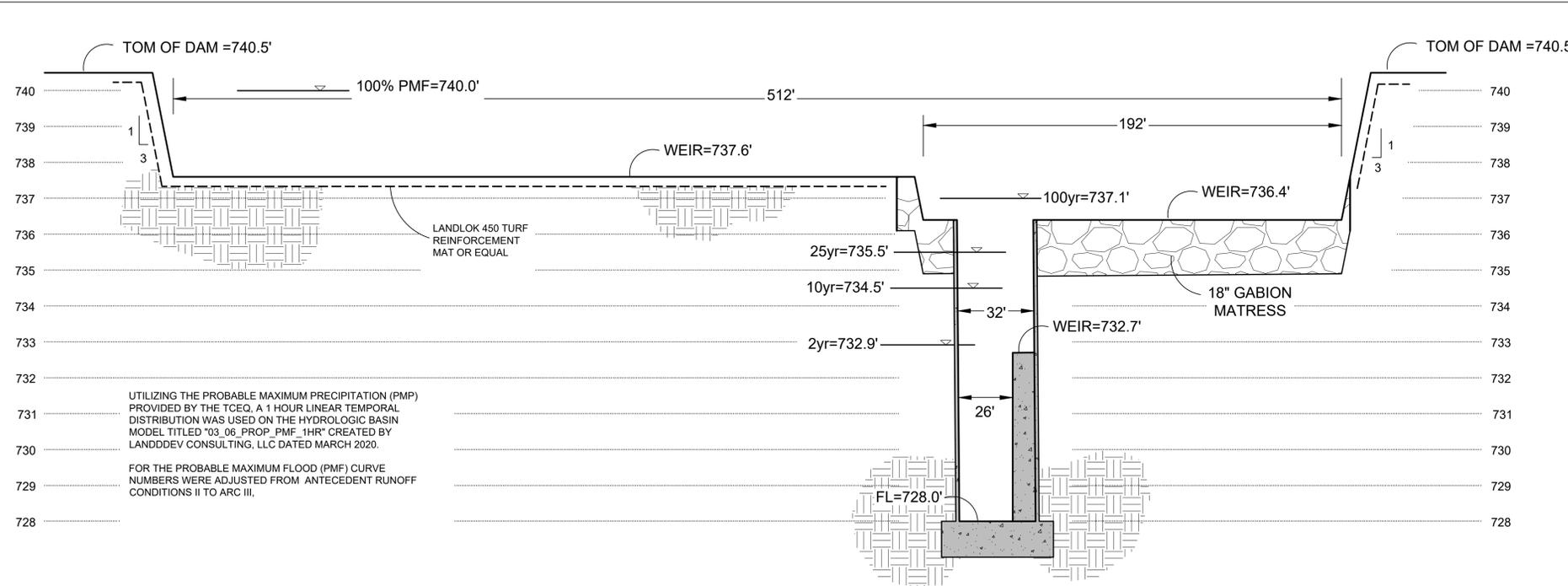
C:\19000\145402\02_Plan\145402_02A.dwg, 13 November 2020, 4:51 PM, jgallegos



POINT	NORTHING	EASTING	DESCRIPTION
1	13926523.72	2327728.70	ROCK
2	13926490.65	2327720.79	ROCK
3	13926504.42	2327663.23	ROCK
4	13926537.48	2327671.13	ROCK
5	13926491.67	2327682.13	ROCK
6	13926498.96	2327651.64	ROCK
7	13926547.59	2327663.27	ROCK
8	13926540.65	2327692.30	ROCK
9	13926552.11	2327693.74	ROCK
10	13926541.27	2327739.07	ROCK

POINT	NORTHING	EASTING	DESCRIPTION
11	13926348.70	2327693.01	ROCK
12	13926360.51	2327643.62	ROCK
13	13926367.41	2327649.58	ROCK
14	13926387.60	2327657.07	ROCK
15	13926336.54	2327697.20	TRM
16	13926328.34	2327695.24	TRM
17	13926343.01	2327639.43	TRM
18	13926880.53	2327820.20	TRM
19	13926902.81	2327772.91	TRM
20	13926889.68	2327825.56	TRM

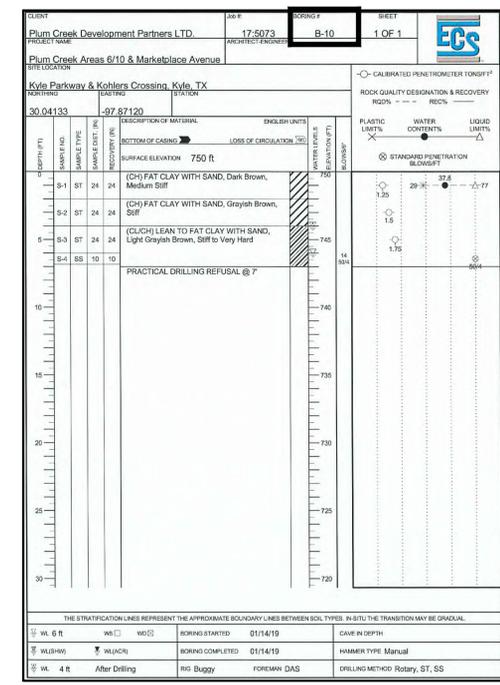
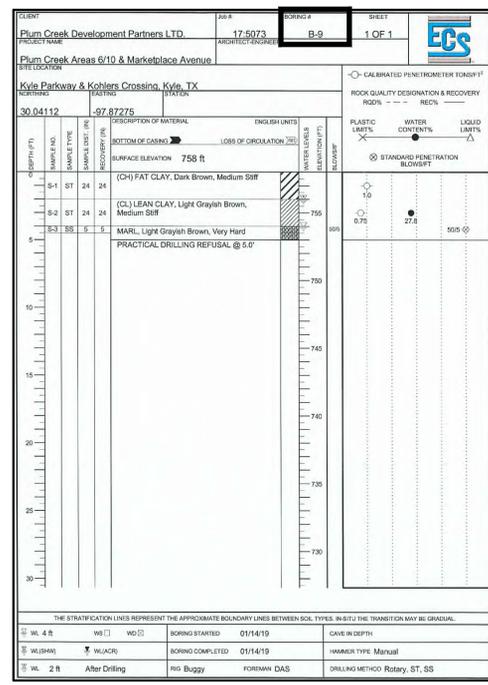
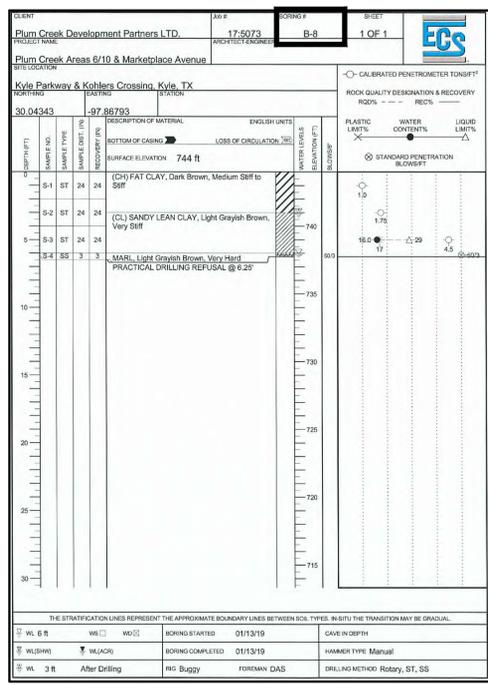
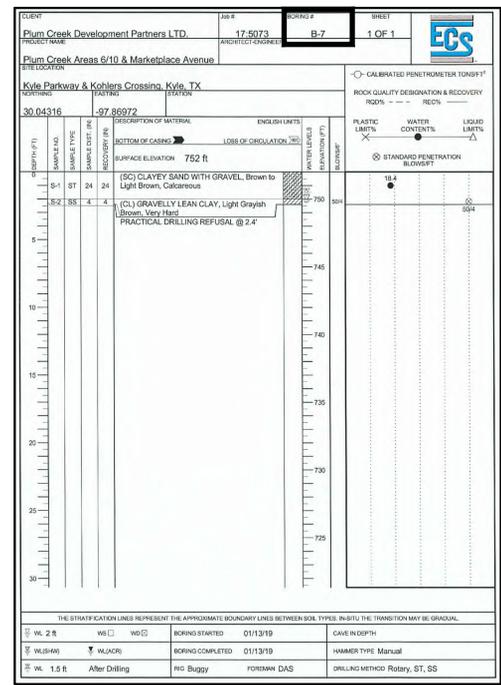
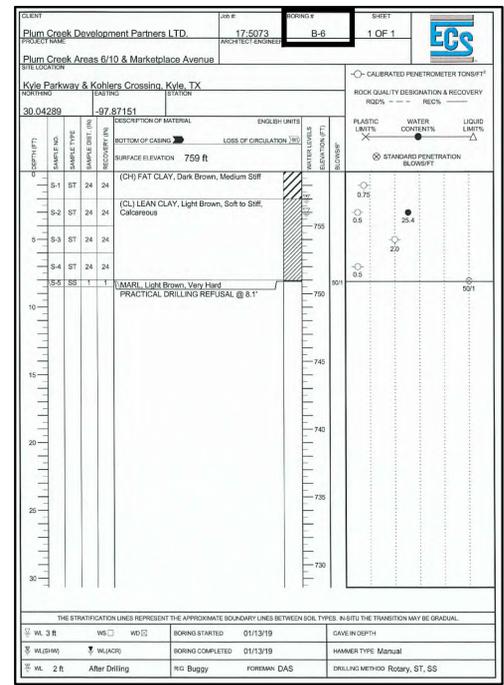
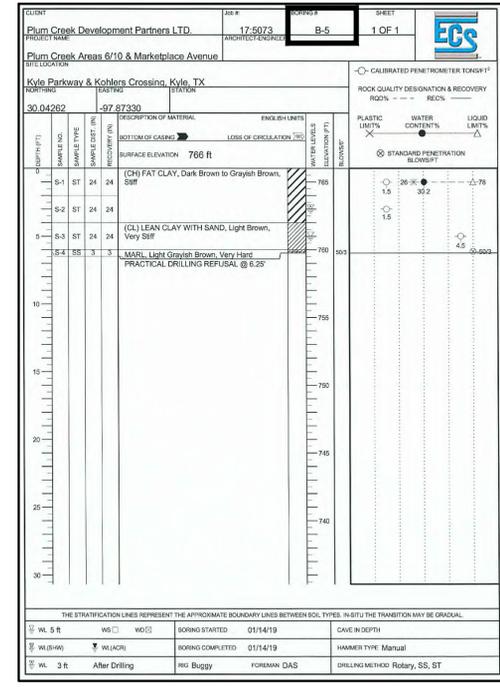
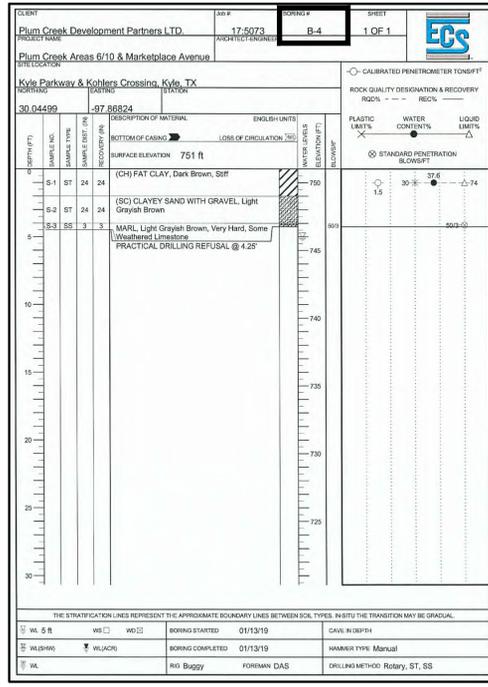
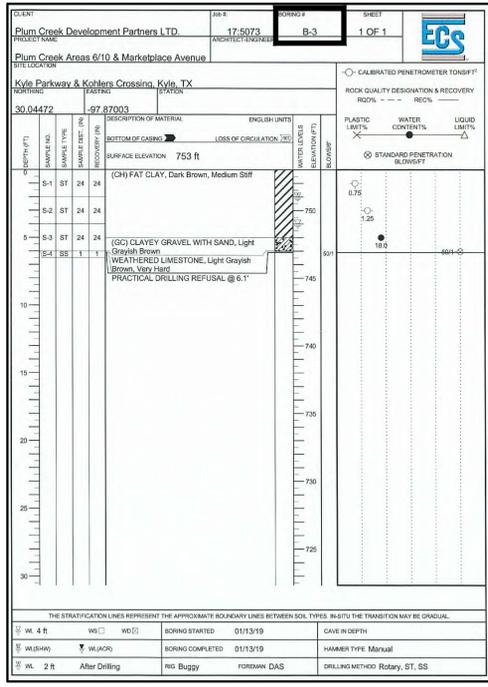
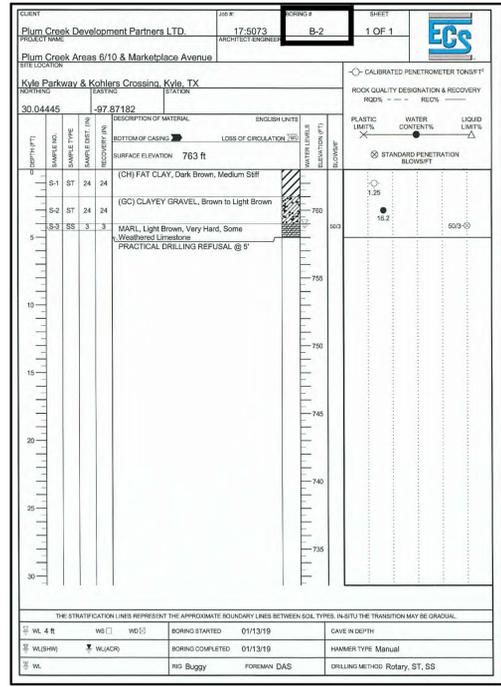
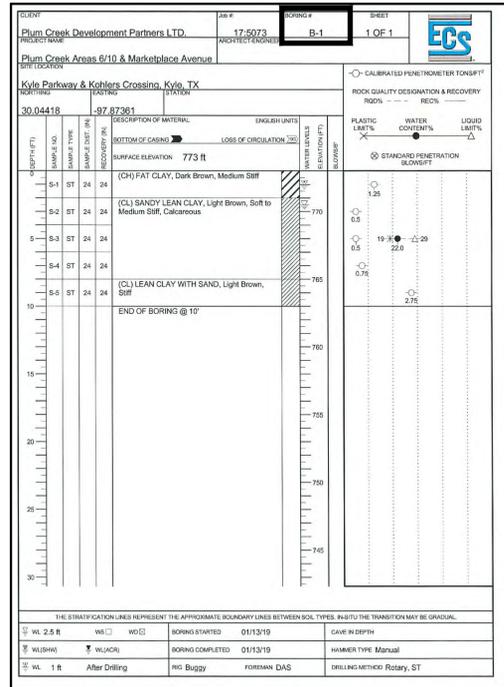
STORM	EXISTING CONDITIONS 1.305 SQ MI			ULTIMATE DEVELOPMENT POND INFLOW 1.388 SQ MI		ULTIMATE DEVELOPMENT CONDITIONS 1.410 SQ MI	
	Q(exist) cfs	Q(ultimate) cfs	Q(ultimate) cfs	DP #3	DP #1B	DP #3	Q(ultimate) cfs
2 yr	903	1,722	868				732.9
10 yr	1,731	2,884	1,365				734.5
25 yr	2,265	3,676	1,726				735.5
100 yr	3,046	4,982	2,595				737.1



OUTLET STRUCTURE PROFILE (N.T.S.)

OUTLET STRUCTURE RATING CURVE

BY	DATE
REVISION	NO.
<p>Know what's below. Call before you dig.</p>	
<p>LANDDEV CONSULTING LLC 420 WEST PARKER LN., SUITE C-100 AUSTIN, TX 78727 OFFICE: 512.872.6696 FIRM NO. 16384</p>	
<p>Professional Engineer November 4, 2020</p>	
<p>OUTFALL STRUCTURE PLUM CREEK REGIONAL DETENTION KYLE, HAYS CO., TEXAS</p>	
<p>DESIGNED BY: <u>XX</u> DRAWN BY: <u>XX</u> CHECKED BY: <u>XX</u> APPROVED BY: <u>XX</u></p>	
<p>SHEET 17 OF 39</p>	



C:\19000\194502\02_PC Doc 10 Upstream\194502_0202_DET11_BERM_OV_Amp_BORING LOGS INFO_1 OF 2 - November 04, 2020, 4:33 PM gmg

DATE
BY

REVISION

NO.



Know what's below.
Call before you dig.

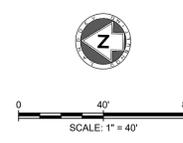
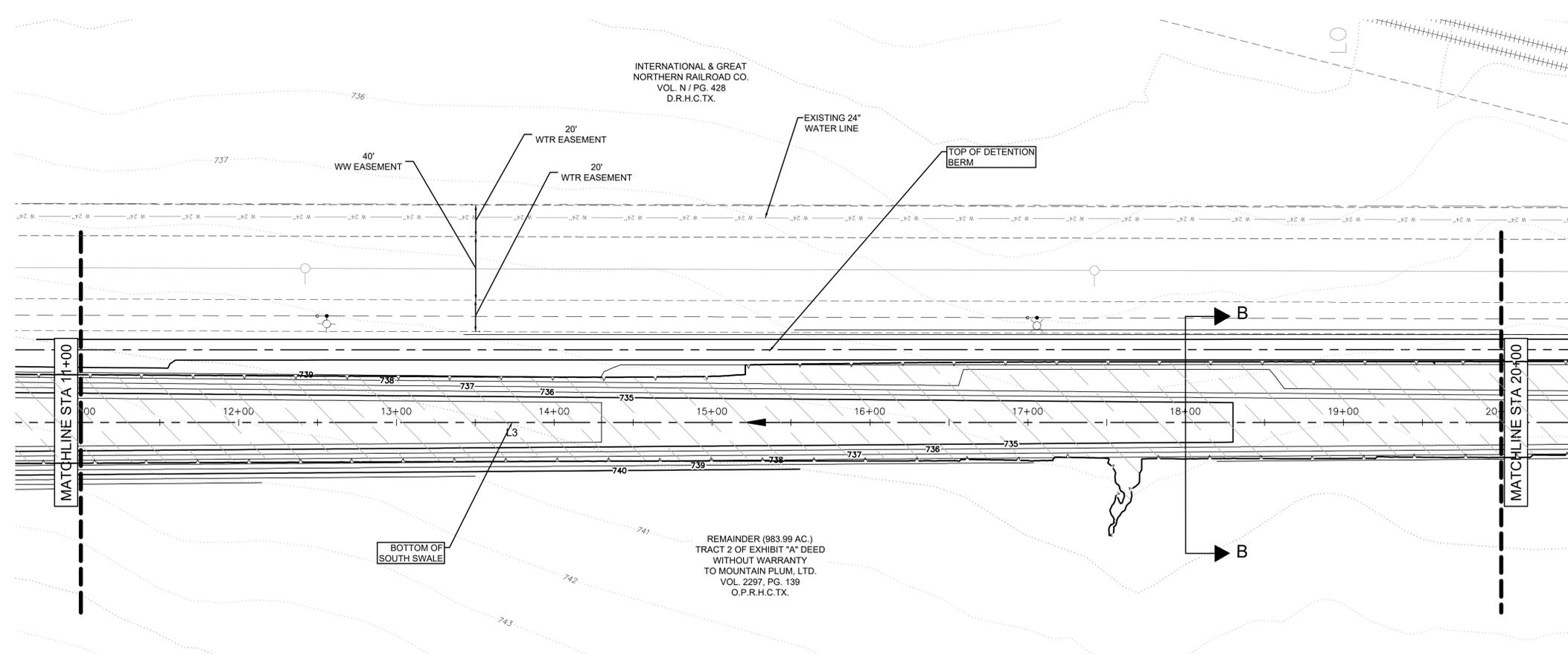
LAND DEV

CONSULTING LLC

4201 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

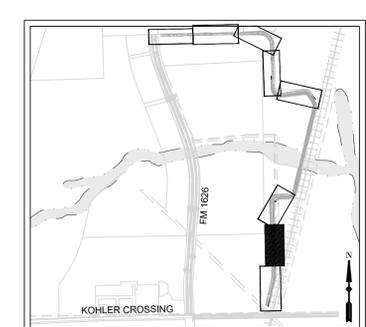


JOSEPH R. GALLEGOS
129909
LICENSED PROFESSIONAL ENGINEER
TPE FIRM No. F-16384
November 4, 2020



LEGEND

- 8.34 EXISTING MINOR CONTOUR
- 8.35 EXISTING MAJOR CONTOUR
- 8.34 PROPOSED MINOR CONTOUR
- 8.35 PROPOSED MAJOR CONTOUR
- BOUNDARY
- EASEMENT
- FLOODPLAIN
- CREEK CENTERLINE
- [Hatched Box] 100 YR WSE



KEY MAP
N.T.S.

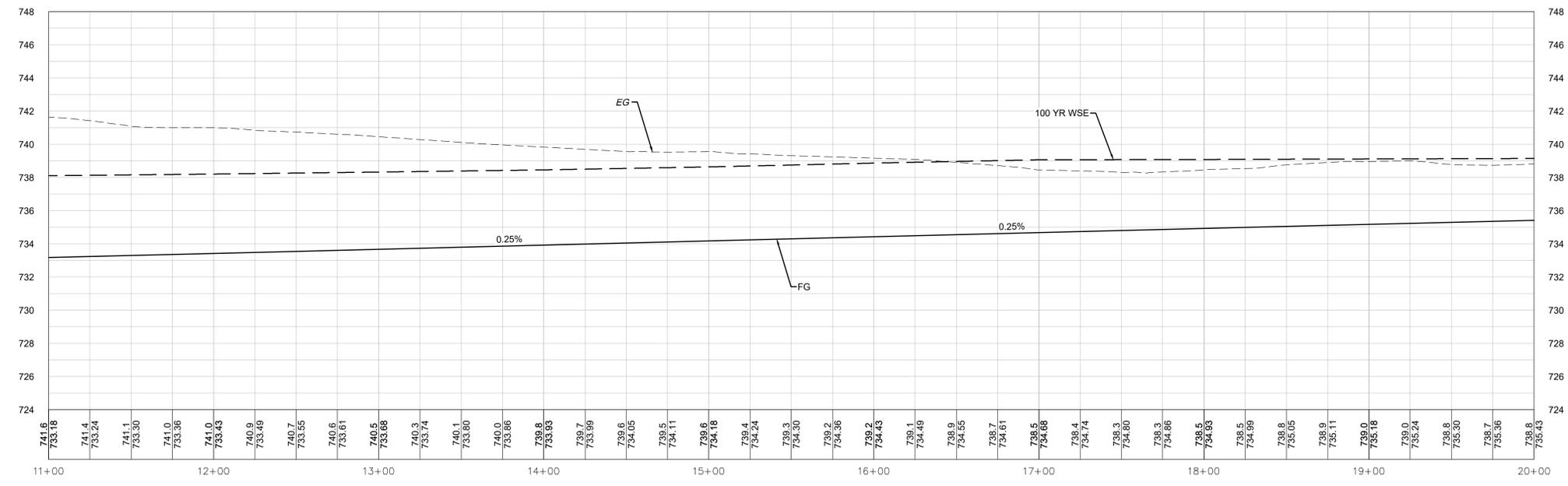
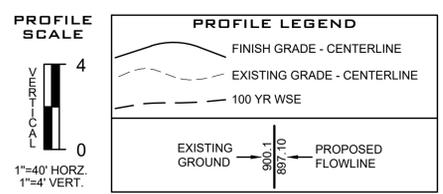
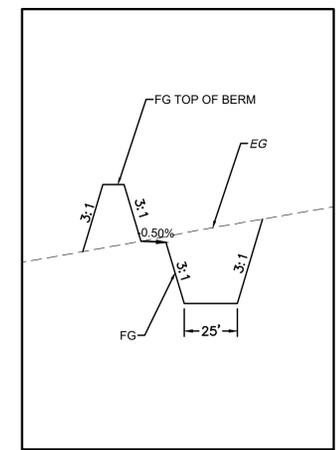
ALIGNMENT: SOUTH SWALE

NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	39.84'			S13°27'01"W	0+00.00	0+39.84	(2327491.23,13925901.88)	(2327481.96,13925863.13)
C1	101.05'	82.00'	70.61°	S48°45'14"W	0+39.84	1+40.89	(2327481.96,13925863.13)	(2327410.70,13925800.65)
L2	284.82'			S84°03'28"W	1+40.89	4+25.72	(2327410.70,13925800.65)	(2327127.41,13925771.16)
C2	132.43'	89.38'	84.90°	S41°36'28"W	4+25.72	5+58.15	(2327127.41,13925771.16)	(2327047.29,13925680.95)
L3	1630.34'			S0°50'29"E	5+58.15	21+88.49	(2327047.29,13925680.95)	(2327071.24,13924050.78)
C3	71.84'	314.54'	13.09°	S5°42'07"W	21+88.49	22+60.34	(2327071.24,13924050.78)	(2327064.12,13923979.45)
L4	614.66'			S12°14'43"W	22+60.34	28+75.00	(2327064.12,13923979.45)	(2326933.75,13923378.77)
L5	75.00'			S12°14'43"W	28+75.00	29+50.00	(2326933.75,13923378.77)	(2326917.84,13923305.48)

CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

SOUTH SWALE



	BY: _____ DATE: _____
	REVISION: _____
<p>Know what's below. Call before you dig.</p>	
<p>LAND DEV CONSULTING LLC 420 WEST PARKER LN., SUITE 100 AUSTIN, TX 78727 OFFICE: 512.872.6696 FIRM NO. 16384</p>	
<p>November 4, 2020</p>	
<p>SOUTH SWALE 11+00 - 20+00 PLUM CREEK REGIONAL DETENTION KYLE, HAYS CO., TEXAS</p>	
<p>DESIGNED BY: XX DRAWN BY: XX CHECKED BY: XX APPROVED BY: XX</p>	
<p>SHEET 22 OF 39</p>	

C:\19000\14502\02_P\Sec 010\Upl\14502_02a_Regional03_ACAD\Plan\14502_02a_SWALE.dwg SOUTH SWALE 11+00 - 20+00 November 04, 2020 03:31 PM gallegos

INTERNATIONAL & GREAT
NORTHERN RAILROAD CO.
VOL. N / PG. 428
D.R.H.C.TX.

INTERNATIONAL & GREAT
NORTHERN RAILROAD CO.
VOL. H / PG. 22
D.R.H.C.TX.

REMAINDER (983.99 AC.)
TRACT 2 OF EXHIBIT "A" DEED
WITHOUT WARRANTY
TO MOUNTAIN PLUM, LTD.
VOL. 2297, PG. 139
O.P.R.H.C.TX.

N= 13923378.77
E= 2326933.75
STA.= 28+75.00

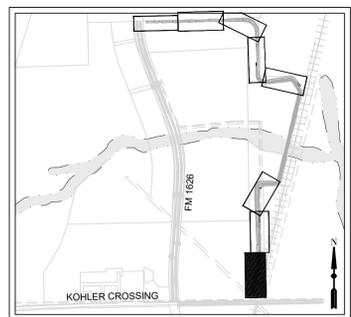
N= 13923305.48
E= 2326917.84

60' LCRA EASEMENT
DOC. NO. 19002260
O.P.R.H.C.TX.



0 40' 80'
SCALE: 1" = 40'

- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 834 PROPOSED MINOR CONTOUR
 - 835 PROPOSED MAJOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - FLOODPLAIN
 - CREEK CENTERLINE
 - 100 YR WSE

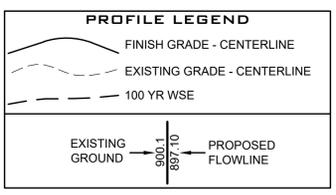
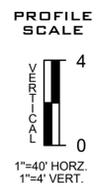


KEY MAP
N.T.S.

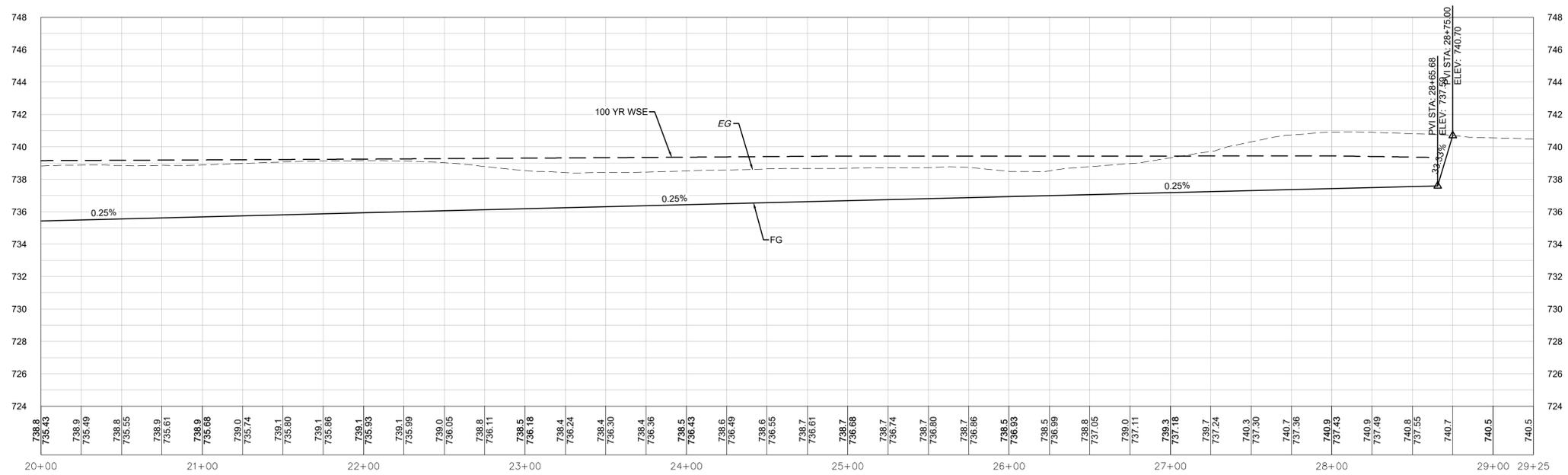
ALIGNMENT: SOUTH SWALE

NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L1	39.84'			S13°27'01"W	0+00.00	0+39.84	(2327491.23, 13925901.88)	(2327481.96, 13925863.13)
C1	101.05'	82.00'	70.61°	S48°45'14"W	0+39.84	1+40.89	(2327481.96, 13925863.13)	(2327410.70, 13925800.65)
L2	284.82'			S84°03'26"W	1+40.89	4+25.72	(2327410.70, 13925800.65)	(2327127.41, 13925771.16)
C2	132.43'	89.38'	84.90°	S41°36'28"W	4+25.72	5+58.15	(2327127.41, 13925771.16)	(2327047.29, 13925680.95)
L3	1630.34'			S0°50'29"E	5+58.15	21+88.49	(2327047.29, 13925680.95)	(2327071.24, 13924050.78)
C3	71.84'	314.54'	13.09°	S5°42'07"W	21+88.49	22+60.34	(2327071.24, 13924050.78)	(2327064.12, 13923979.45)
L4	614.66'			S12°14'43"W	22+60.34	28+75.00	(2327064.12, 13923979.45)	(2326933.75, 13923378.77)
L5	75.00'			S12°14'43"W	28+75.00	29+50.00	(2326933.75, 13923378.77)	(2326917.84, 13923305.48)

CAUTION: UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.



SOUTH SWALE



NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

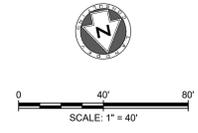
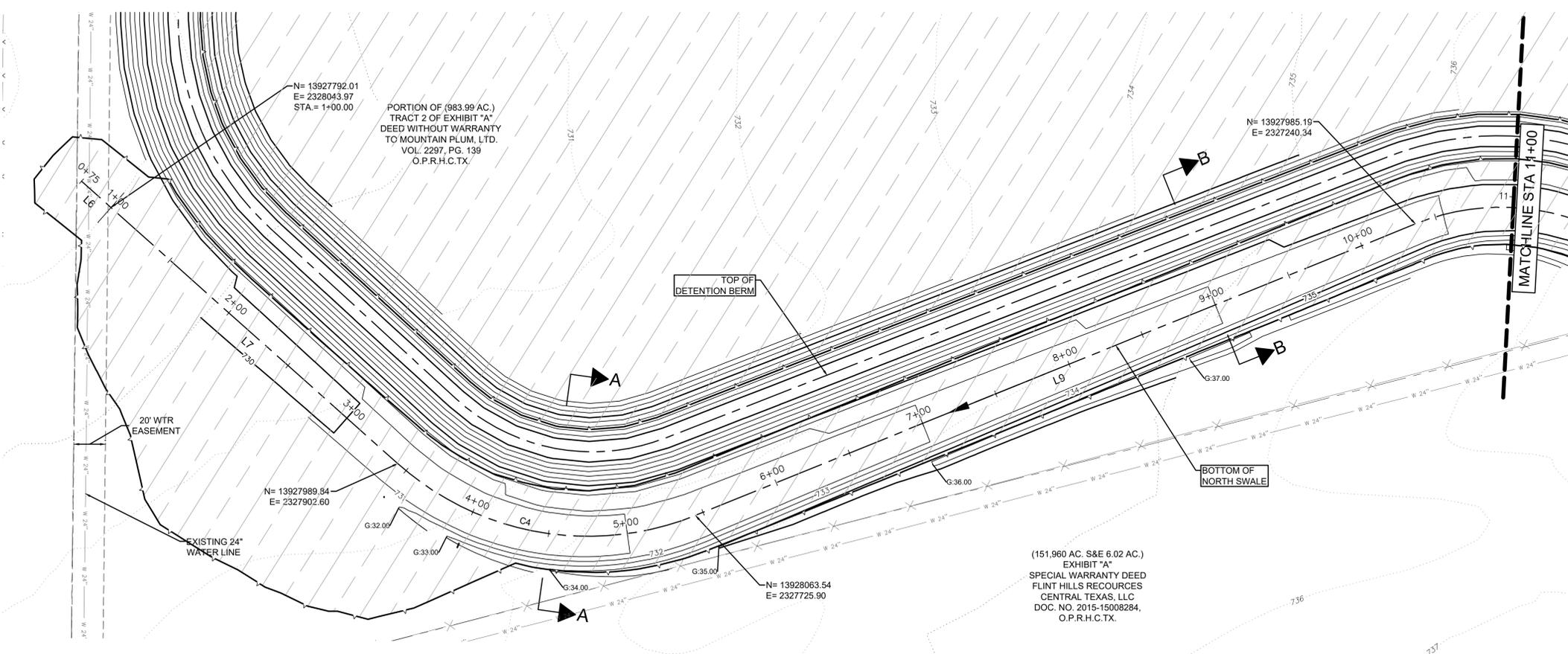


TBPE FIRM No. F-16384
November 4, 2020

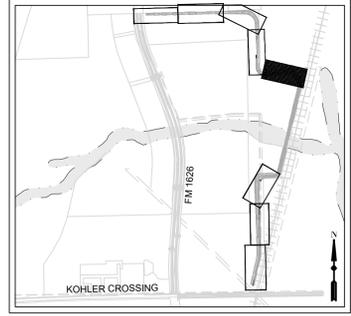
SOUTH SWALE 20+00 - END
PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: **XX**
DRAWN BY: **XX**
CHECKED BY: **XX**
APPROVED BY: **XX**

C:\19000\14502\02_P\02_01_01\14502_02A_Regional\03_ACO\DWG\14502_02A_SWALE.dwg SOUTH SWALE 20+00 - END November 04, 2020 4:55 PM jgallegos

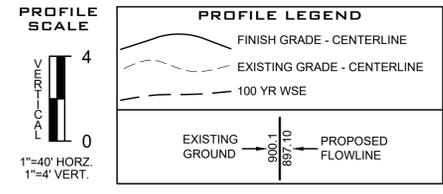


- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 8.34 PROPOSED MINOR CONTOUR
 - 8.35 PROPOSED MAJOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - FLOODPLAIN
 - CREEK CENTERLINE
 - 100 YR WSE



ALIGNMENT: NORTH SWALE

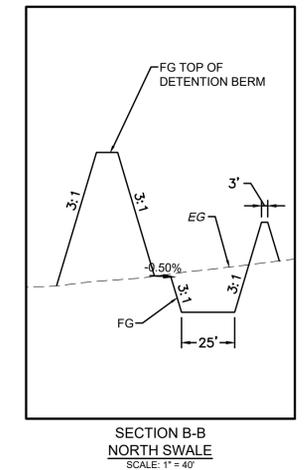
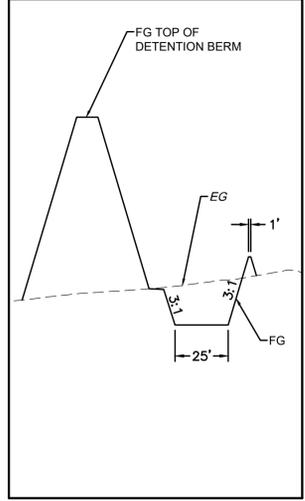
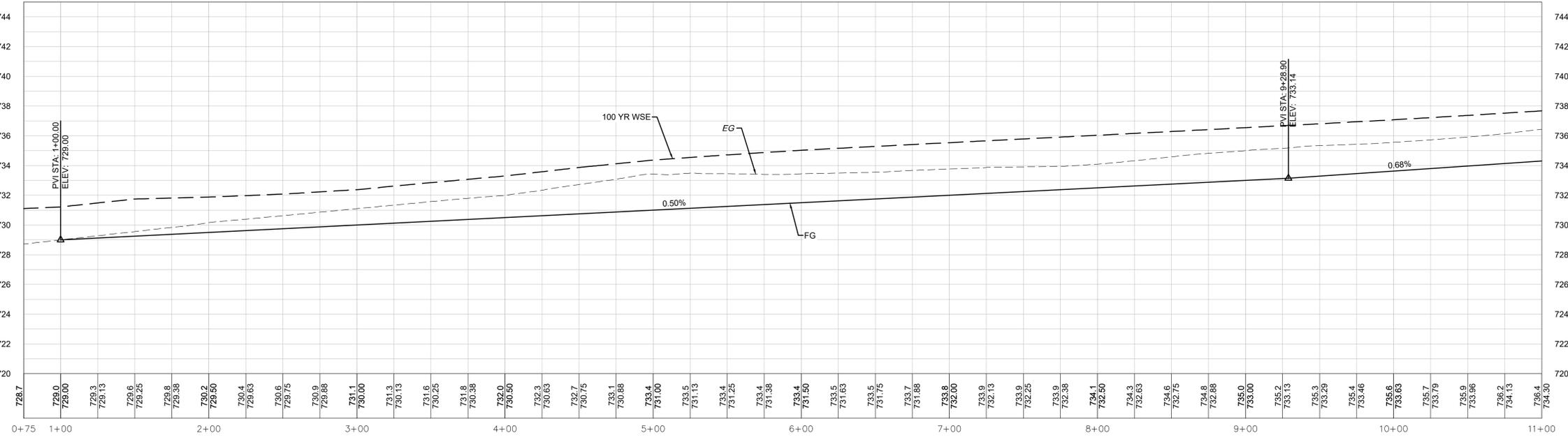
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L6	25.00'			N35°33'03"W	0+75.00	1+00.00	(2328058.51, 13927771.67)	(2328043.97, 13927792.01)
L7	243.15'			N35°33'03"W	1+00.00	3+43.15	(2328043.97, 13927792.01)	(2327902.60, 13927989.84)
C4	201.65'	181.62'	63.62°	N67°21'31"W	3+43.15	5+44.81	(2327902.60, 13927989.84)	(2327725.90, 13928063.54)
L9	491.84'			S80°50'01"W	5+44.81	10+36.64	(2327725.90, 13928063.54)	(2327240.34, 13927985.19)
C5	246.13'	145.07'	97.21°	N50°33'35"W	10+36.64	12+82.78	(2327240.34, 13927985.19)	(2327072.25, 13928123.46)
L10	945.61'			N1°57'11"W	12+82.78	22+28.39	(2327072.25, 13928123.46)	(2327040.02, 13929068.52)
C6	397.70'	255.15'	89.30°	N46°36'18"W	22+28.39	26+26.08	(2327040.02, 13929068.52)	(2326779.42, 13929314.92)
L11	2179.65'			S88°44'34"W	26+26.08	48+05.74	(2326779.42, 13929314.92)	(2324600.29, 13929267.09)
C8	20.73'	49.99'	23.76°	N79°22'43"W	48+05.74	48+26.47	(2324600.29, 13929267.09)	(2324580.06, 13929270.89)
L12	28.23'			N67°30'00"W	48+26.47	48+54.69	(2324580.06, 13929270.89)	(2324553.98, 13929281.69)
C10	22.35'	49.99'	25.62°	N80°18'35"W	48+54.69	48+77.05	(2324553.98, 13929281.69)	(2324532.13, 13929285.42)



CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

NORTH SWALE



DATE: _____ BY: _____

REVISION: _____

NO. _____

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

STATE OF TEXAS
JOSEPH R. GALLEGOS
129909
LICENSED PROFESSIONAL ENGINEER
TPE FIRM No. F-16384
November 4, 2020

NORTH SWALE 1+00 - 11+00
PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

SHEET 24 OF 39

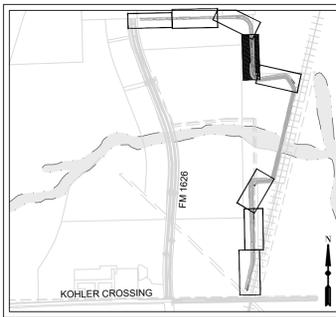
C:\19000\194502_002_PIC Dec 11 10:56 AM\194502_002a_Regional03_ACD\DWG\194502_002a_SWALE.dwg NORTH SWALE 1+00 - 11+00 November 04, 2020 4:05 PM jgallegos



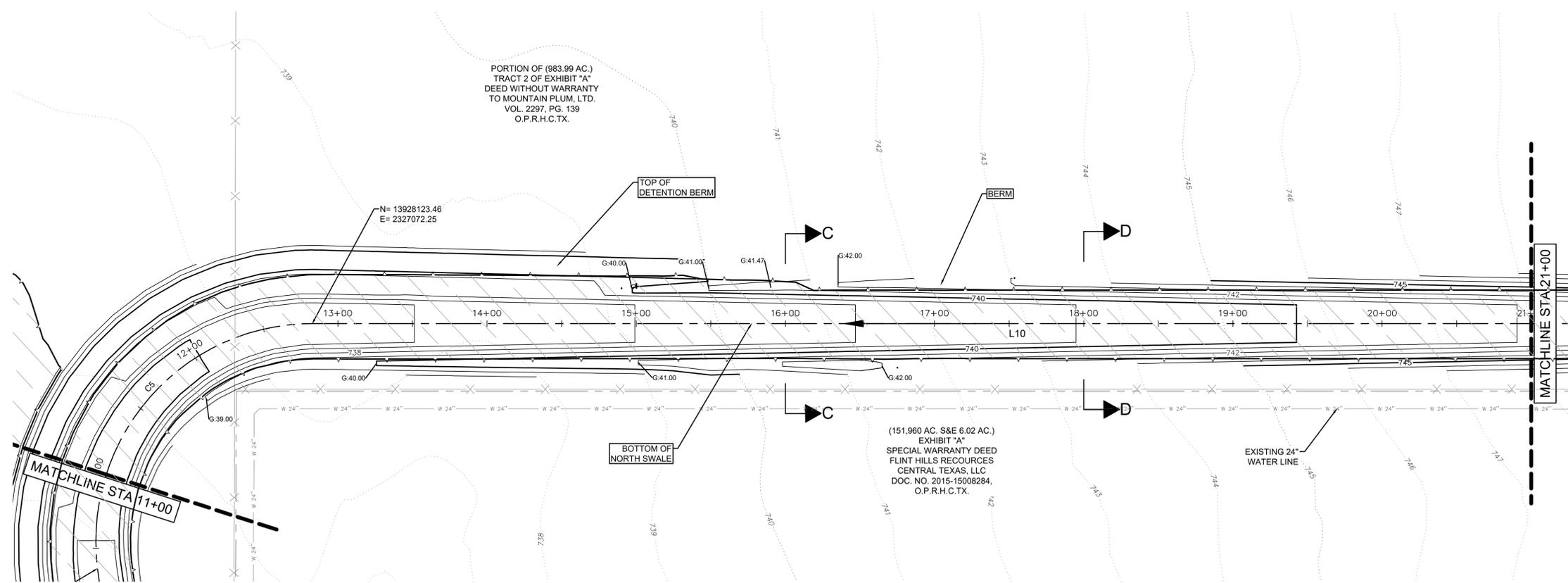
0 40' 80'
SCALE: 1" = 40'

PORTION OF (983.99 AC.)
TRACT 2 OF EXHIBIT "A"
DEED WITHOUT WARRANTY
TO MOUNTAIN PLUM, LTD.
VOL. 2297, PG. 139
O.P.R.H.C.TX.

- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 8.34 PROPOSED MINOR CONTOUR
 - 8.35 PROPOSED MAJOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - FLOODPLAIN
 - CREEK CENTERLINE
 - 100 YR WSE

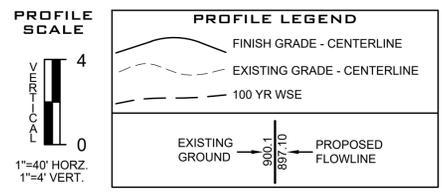


KEY MAP
N.T.S.



ALIGNMENT: NORTH SWALE

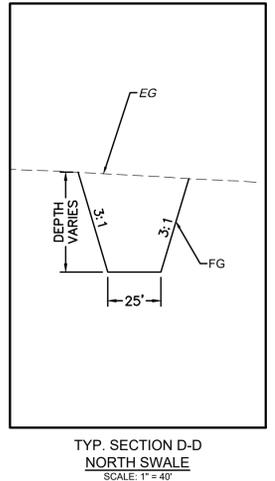
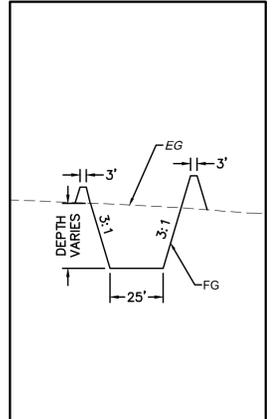
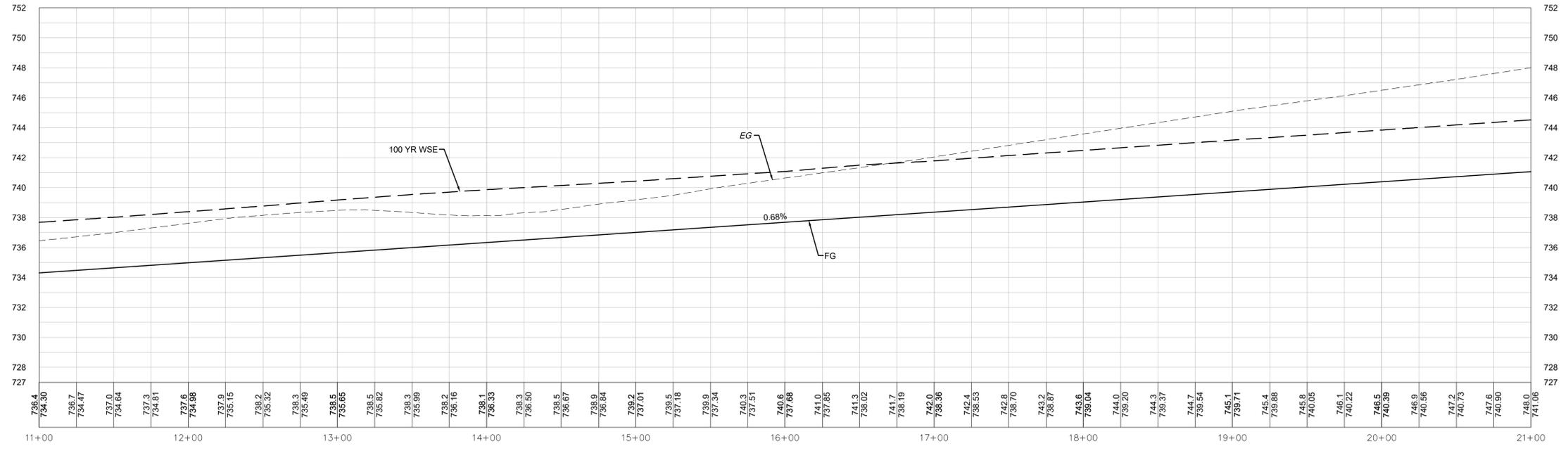
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L6	25.00'			N35°33'03"W	0+75.00	1+00.00	(2328058.51, 1392771.67)	(2328043.97, 13927792.01)
L7	243.15'			N35°33'03"W	1+00.00	3+43.15	(2328043.97, 13927792.01)	(2327902.60, 13927989.84)
C4	201.65'	181.62'	63.62°	N67°21'31"W	3+43.15	5+44.81	(2327902.60, 13927989.84)	(2327725.90, 13928063.54)
L9	491.84'			S80°50'01"W	5+44.81	10+36.64	(2327725.90, 13928063.54)	(2327240.34, 13927985.19)
C5	246.13'	145.07'	97.21°	N50°33'35"W	10+36.64	12+82.78	(2327240.34, 13927985.19)	(2327072.25, 13928123.46)
L10	945.61'			N1°57'11"W	12+82.78	22+28.39	(2327072.25, 13928123.46)	(2327040.02, 13929068.52)
C6	397.70'	255.15'	89.30°	N46°36'18"W	22+28.39	26+26.08	(2327040.02, 13929068.52)	(2326779.42, 13929314.92)
L11	2179.65'			S88°44'34"W	26+26.08	48+05.74	(2326779.42, 13929314.92)	(2324600.29, 13929267.09)
C8	20.73'	49.99'	23.76°	N79°22'43"W	48+05.74	48+26.47	(2324600.29, 13929267.09)	(2324580.06, 13929270.89)
L12	28.23'			N67°30'00"W	48+26.47	48+54.69	(2324580.06, 13929270.89)	(2324553.98, 13929281.69)
C10	22.35'	49.99'	25.62°	N80°18'35"W	48+54.69	48+77.05	(2324553.98, 13929281.69)	(2324532.13, 13929285.42)



CAUTION: UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

NORTH SWALE



NO.	REVISION	BY	DATE



LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



NORTH SWALE 11+00 - 21+00
PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

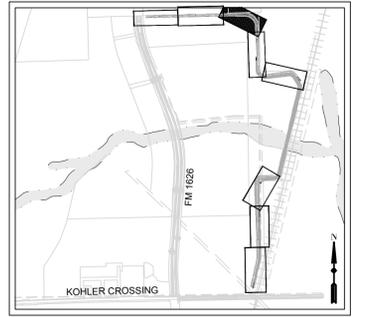
DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX
SHEET **25** OF **39**

C:\19000\14502\02_Plan\10\14502.dwg, 11/04/2020, 11:00:21 AM, JRG

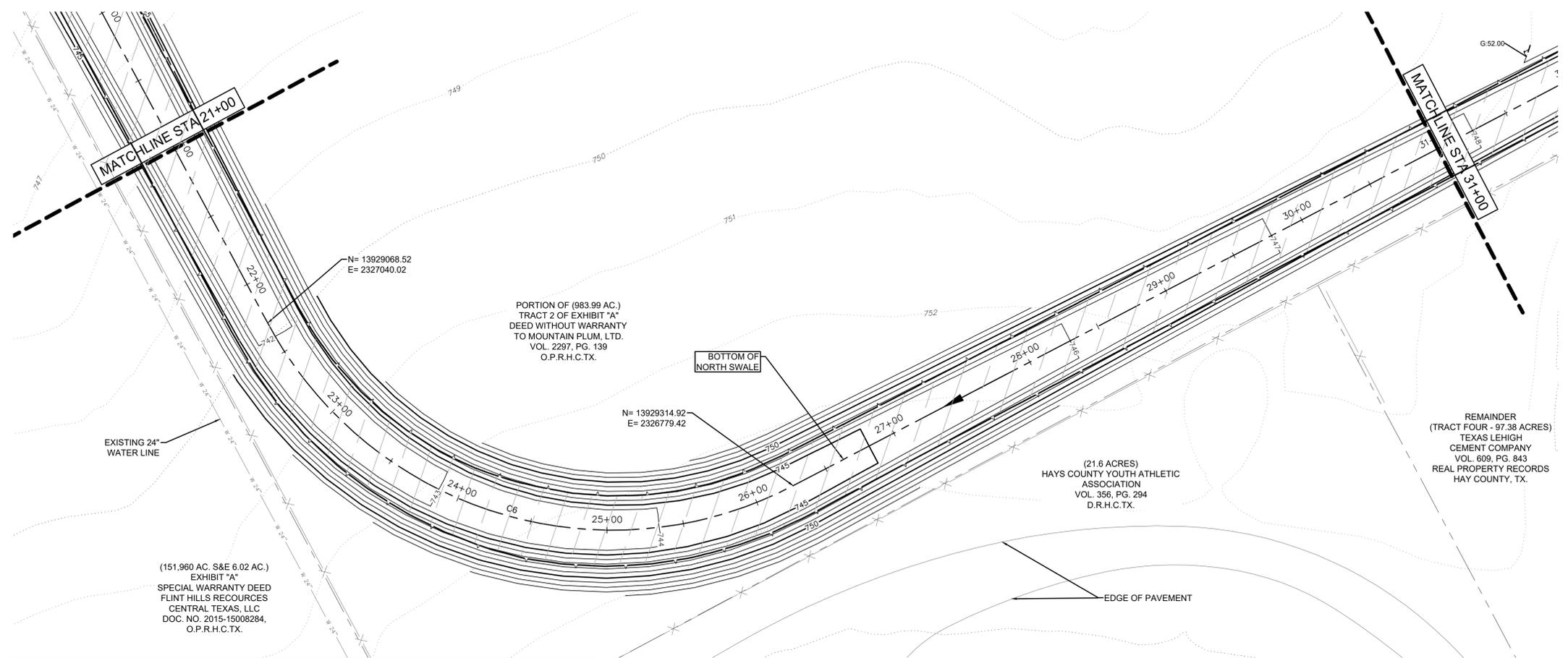


SCALE: 1" = 40'

- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 8.34 PROPOSED MINOR CONTOUR
 - 8.35 PROPOSED MAJOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - FLOODPLAIN
 - CREEK CENTERLINE
 - 100 YR WSE



KEY MAP
N.T.S.



PORTION OF (983.99 AC.)
TRACT 2 OF EXHIBIT "A"
DEED WITHOUT WARRANTY
TO MOUNTAIN PLUM, LTD.
VOL. 2297, PG. 139
O.P.R.H.C.TX.

N= 13929314.92
E= 2326779.42

(21.6 ACRES)
HAYS COUNTY YOUTH ATHLETIC
ASSOCIATION
VOL. 356, PG. 294
D.R.H.C.TX.

REMAINDER
(TRACT FOUR - 97.38 ACRES)
TEXAS LEHIGH
CEMENT COMPANY
VOL. 609, PG. 843
REAL PROPERTY RECORDS
HAY COUNTY, TX.

(151,960 AC. S&E 6.02 AC.)
EXHIBIT "A"
SPECIAL WARRANTY DEED
FLINT HILLS REOURCES
CENTRAL TEXAS, LLC
DOC. NO. 2015-15008284,
O.P.R.H.C.TX.

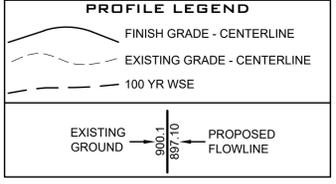
ALIGNMENT: NORTH SWALE								
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	START POINT	END POINT
L6	25.00'			N35°33'03"W	0+75.00	1+00.00	(2328058.51, 13927771.67)	(2328043.97, 13927792.01)
L7	243.15'			N35°33'03"W	1+00.00	3+43.15	(2328043.97, 13927792.01)	(2327902.60, 13927989.84)
C4	201.65'	181.62'	63.62°	N67°21'31"W	3+43.15	5+44.81	(2327902.60, 13927989.84)	(2327725.90, 13928063.54)
L9	491.84'			S80°50'01"W	5+44.81	10+36.64	(2327725.90, 13928063.54)	(2327240.34, 13927985.19)
C5	246.13'	145.07'	97.21°	N50°33'35"W	10+36.64	12+82.78	(2327240.34, 13927985.19)	(2327072.25, 13928123.46)
L10	945.61'			N1°57'11"W	12+82.78	22+28.39	(2327072.25, 13928123.46)	(2327040.02, 13929068.52)
C6	397.70'	255.15'	89.30°	N46°36'18"W	22+28.39	26+26.08	(2327040.02, 13929068.52)	(2326779.42, 13929314.92)
L11	2179.65'			S88°44'34"W	26+26.08	48+05.74	(2326779.42, 13929314.92)	(2324600.29, 13929267.09)
C8	20.73'	49.99'	23.76°	N79°22'43"W	48+05.74	48+26.47	(2324600.29, 13929267.09)	(2324580.06, 13929270.89)
L12	28.23'			N67°30'00"W	48+26.47	48+54.69	(2324580.06, 13929270.89)	(2324553.98, 13929281.69)
C10	22.35'	49.99'	25.62°	N80°18'35"W	48+54.69	48+77.05	(2324553.98, 13929281.69)	(2324532.13, 13929285.42)

CAUTION: UNDERGROUND UTILITIES

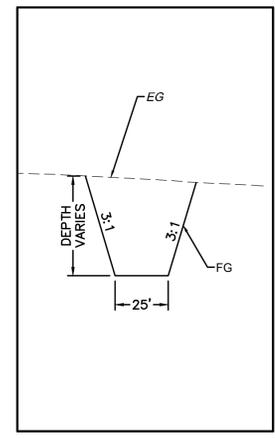
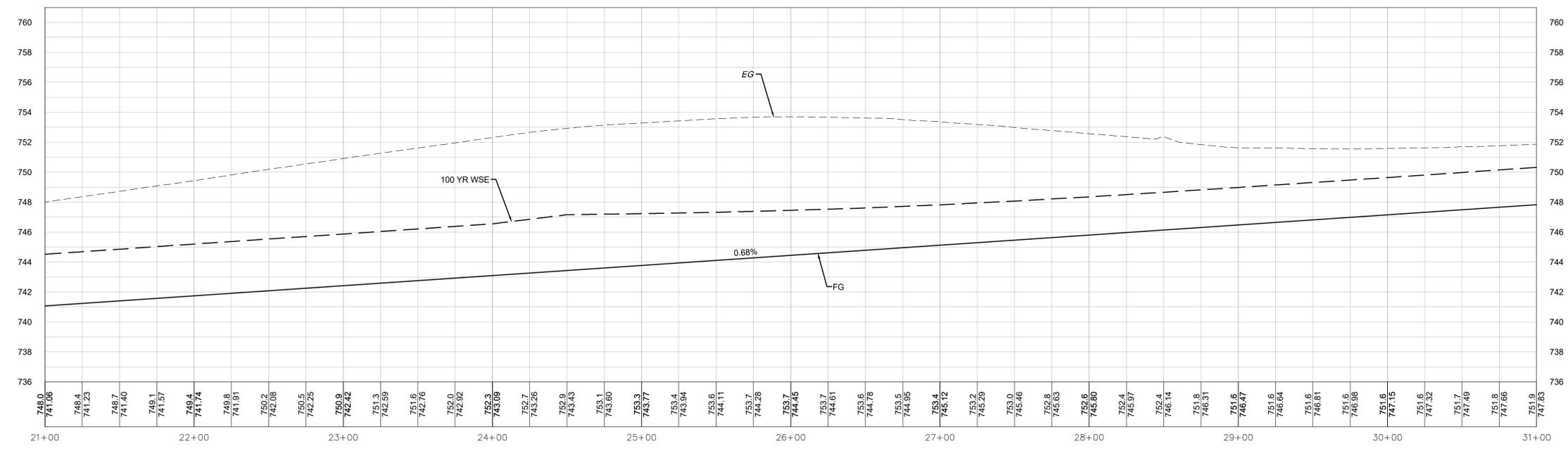
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

PROFILE SCALE

VERTICAL: 4'
HORIZONTAL: 1"=40'



NORTH SWALE



TYP. SECTION B-B
NORTH SWALE
SCALE: 1" = 40'

NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



NORTH SWALE 21+00 - 31+00

PLUM CREEK REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

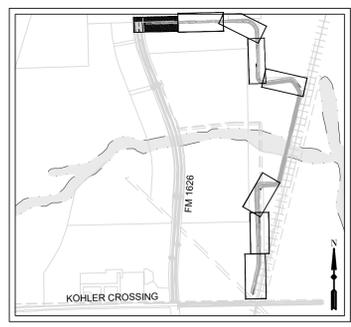
SHEET 26 OF 39

C:\19000\194502_002_Plan 01 10.dwg(194502_002a_Regional03_ACO)P:\msh\194502_002a_SWALE.dwg NORTH SWALE 21+00 - 31+00 November 04, 2020 1:38 PM gallegos

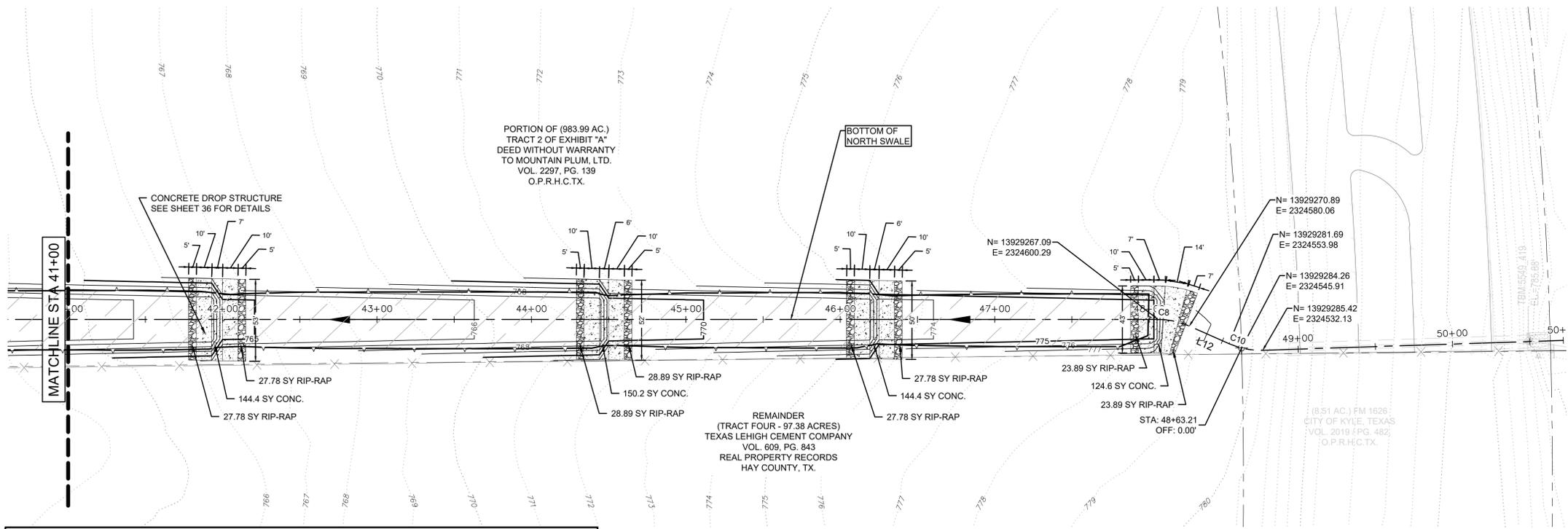


SCALE: 1" = 40'

- LEGEND**
- 8.34 EXISTING MINOR CONTOUR
 - 8.35 EXISTING MAJOR CONTOUR
 - 834 —— PROPOSED MINOR CONTOUR
 - 835 —— PROPOSED MAJOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - FLOODPLAIN
 - CREEK CENTERLINE
 - 100 YR WSE



KEY MAP
N.T.S.



PORTION OF (983.99 AC.)
TRACT 2 OF EXHIBIT "A"
DEED WITHOUT WARRANTY
TO MOUNTAIN PLUM, LTD.
VOL. 2297, PG. 139
O.P.R.H.C.TX.

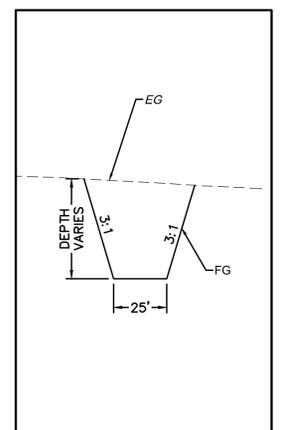
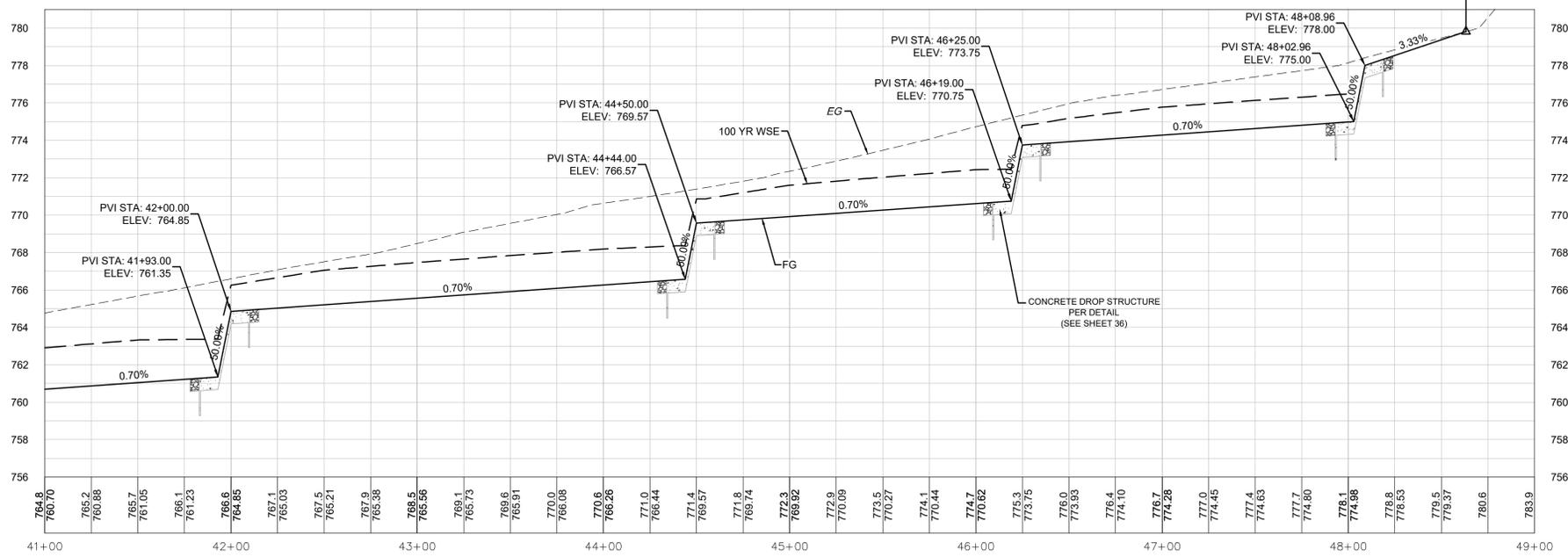
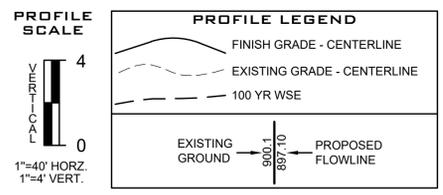
REMAINDER
(TRACT FOUR - 97.38 ACRES)
TEXAS LEHIGH CEMENT COMPANY
VOL. 609, PG. 843
REAL PROPERTY RECORDS
HAY COUNTY, TX.

(6.51 AC.) FM 1626
CITY OF KYLE, TEXAS
VOL. 2019 / PG. 482
O.P.R.H.C.TX.

ALIGNMENT: NORTH SWALE							
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	START STA	END STA	END POINT
L6	25.00'			N35°33'03"W	0+75.00	1+00.00	(3228058.51, 13927771.67)
L7	243.15'			N35°33'03"W	1+00.00	3+43.15	(3228043.97, 13927792.01)
C4	201.65'	181.62'	63.62°	N67°21'31"W	3+43.15	5+44.81	(3227902.60, 13927989.84)
L9	491.84'			S80°50'01"W	5+44.81	10+36.64	(3227725.90, 13928063.54)
C5	246.13'	145.07'	97.21°	N50°33'35"W	10+36.64	12+82.78	(3227240.34, 13927985.19)
L10	945.61'			N1°57'11"W	12+82.78	22+28.39	(3227072.25, 13928123.46)
C6	397.70'	255.15'	89.30°	N46°36'18"W	22+28.39	26+26.08	(3227040.02, 13929068.52)
L11	2179.65'			S88°44'34"W	26+26.08	48+05.74	(3226779.42, 13929314.92)
C8	20.73'	49.99'	23.76°	N79°22'43"W	48+05.74	48+26.47	(3224600.29, 13929267.09)
L12	28.23'			N67°30'00"W	48+26.47	48+54.69	(3224580.06, 13929270.89)
C10	22.35'	49.99'	25.62°	N80°18'35"W	48+54.69	48+77.05	(3224553.98, 13929285.42)

CAUTION: UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

NORTH SWALE



TYP. SECTION B-B
NORTH SWALE
SCALE: 1" = 40'

NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

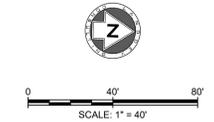
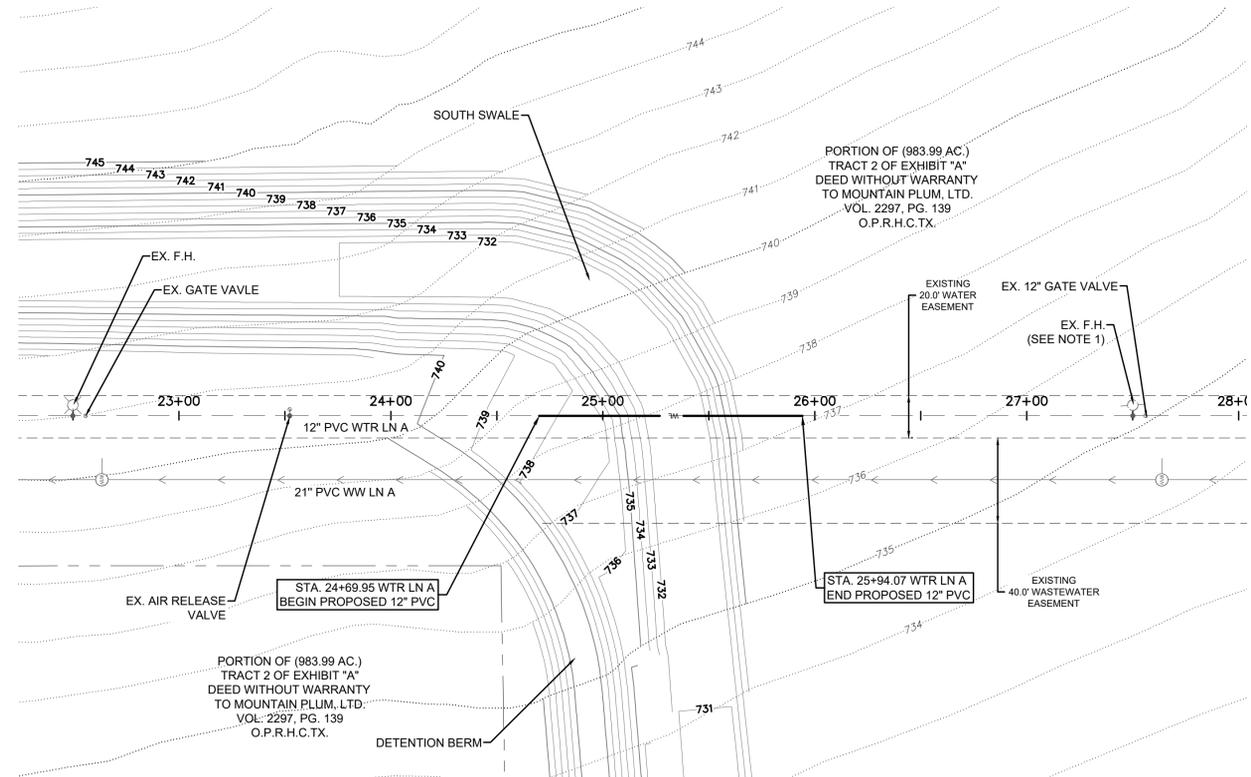
LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

STATE OF TEXAS
JOSEPH R. GALLEGO
129909
LICENSED PROFESSIONAL ENGINEER
TPE FIRM No. F-16384
November 4, 2020

NORTH SWALE 41+00 - END
PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

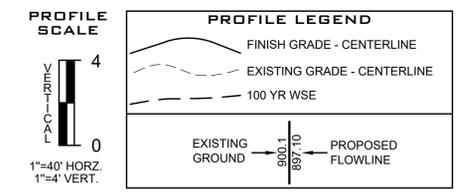
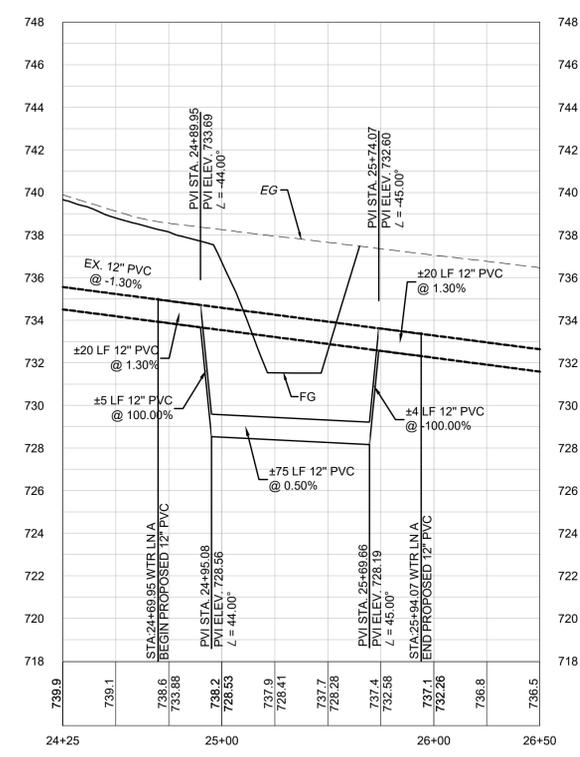
DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

C:\19000\14502\02_Plan Set\10_Uplift\14502_02a_Regional\03_ACD\Plan\14502_02a_SWALE.dwg NORTH SWALE 41+00 - END November 04, 2020 4:27 PM jgallego



LEGEND		
EXISTING	PROPOSED	
..... 8.35	—— 8.35 ——	MAJOR CONTOUR
..... 8.32	—— 8.32 ——	MINOR CONTOUR
---	---	BOUNDARY
---	---	EASEMENT
---	WL ---	WATER LINE
⊗	⊗	FIRE HYDRANT
⊙	⊙	WATER VALVE
---	WW ---	WASTEWATER LINE
⊙	⊙	WASTEWATER MANHOLE
⊙	⊙	WASTEWATER CLEANOUT

WTR LN A



NOTE:
1. SEE SHEET 9 FOR ADDITIONAL DETAILS REGARDING FIRE HYDRANT REMOVAL WITHIN THE DETENTION POND.

NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

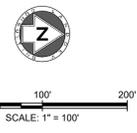
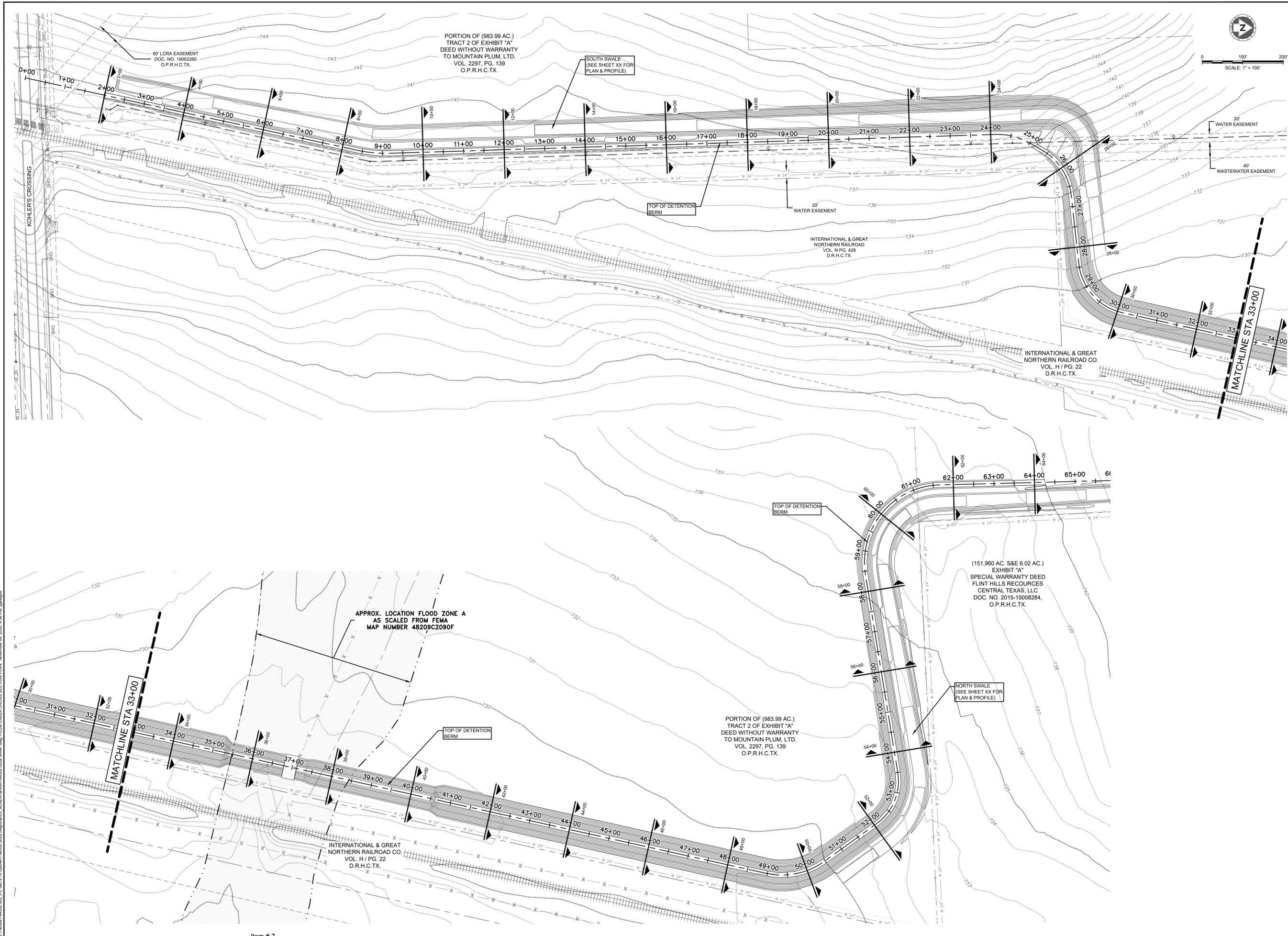
LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

Professional Engineer Seal for Joseph R. Gallegos, License No. 129909, State of Texas. TBPB FIRM No. F-16384, November 4, 2020.

WATER LINE A REVISION
PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX
SHEET 29 OF 39

C:\19000\194502\02_PC_Sec 6 10 Uplwem\194502_02a_Regrow\03_ACD\Plum\194502_02a_WTRP_Avg_Layout.dwg, November 04, 2020, 4:37 PM, jgallegos



NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

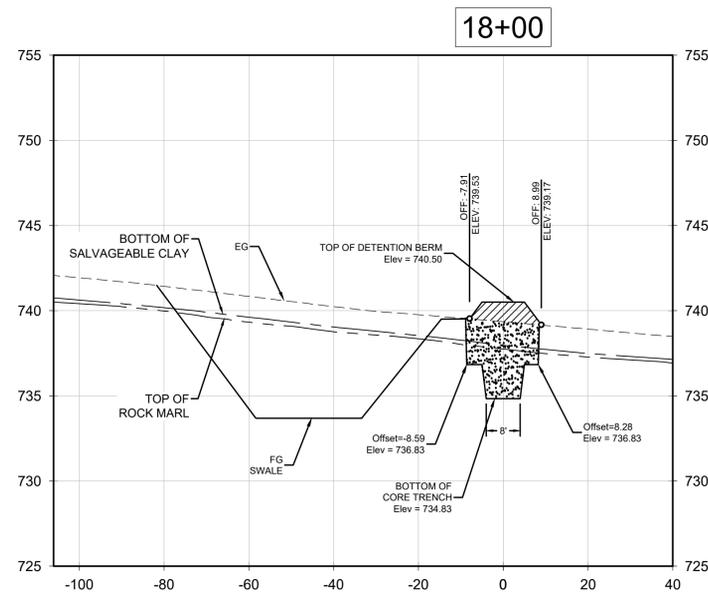
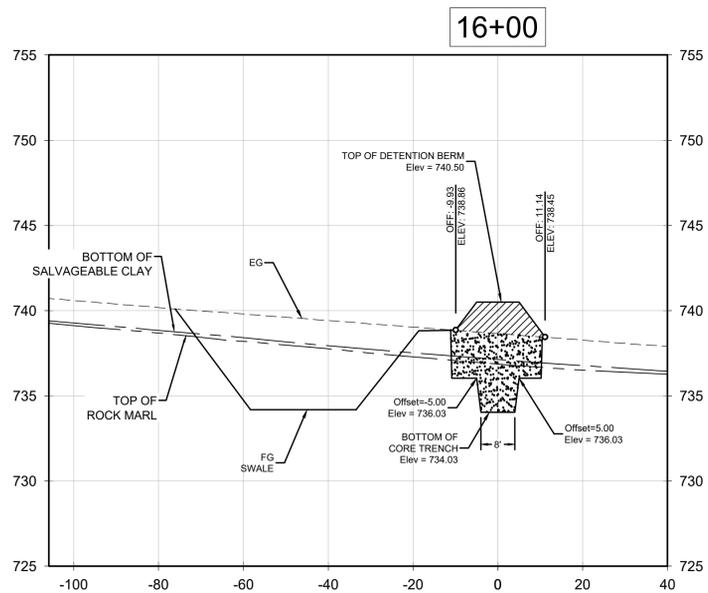
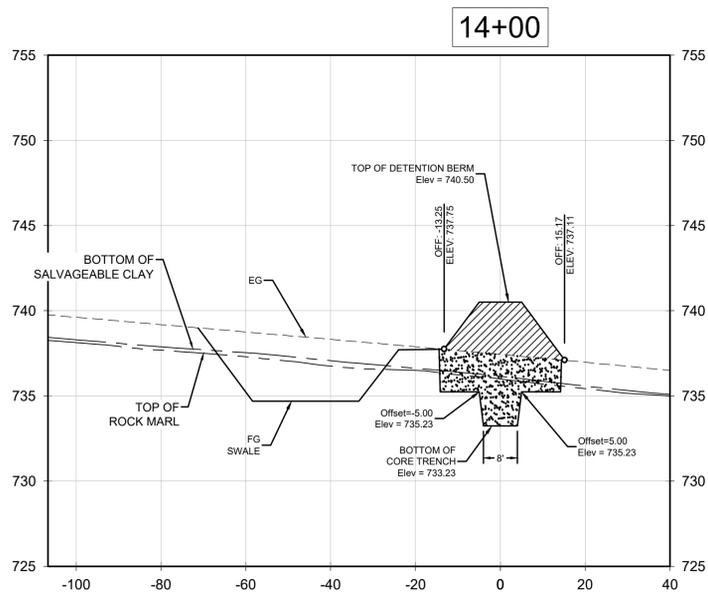
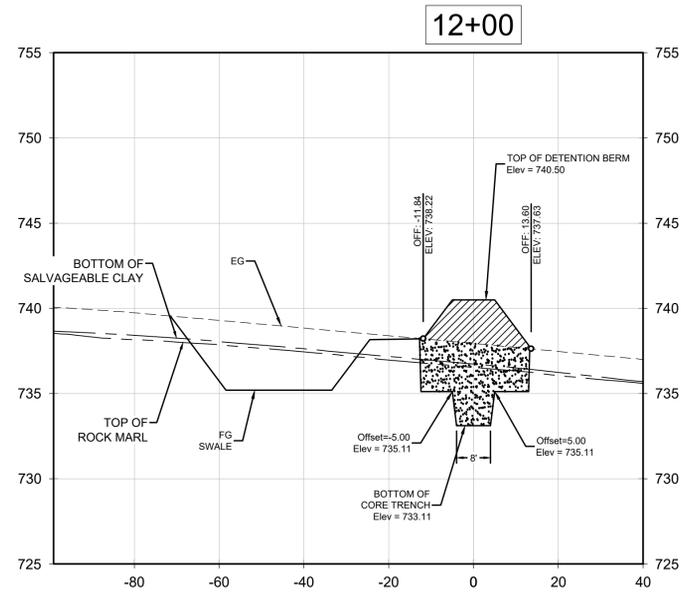
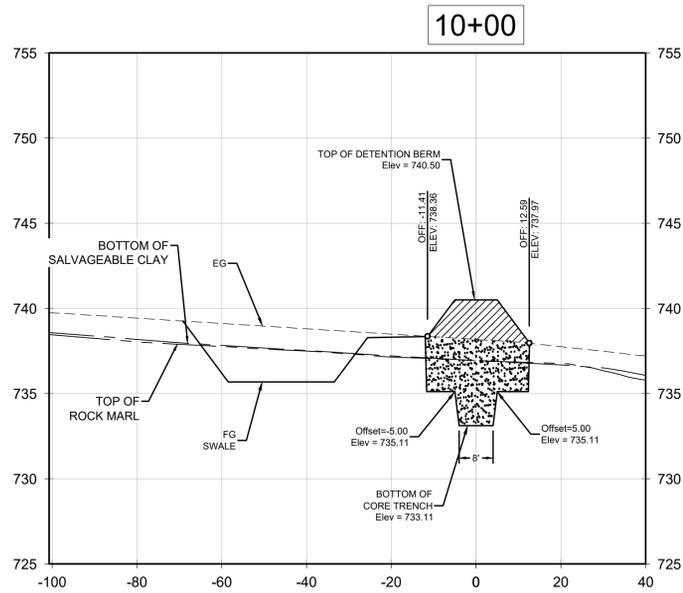
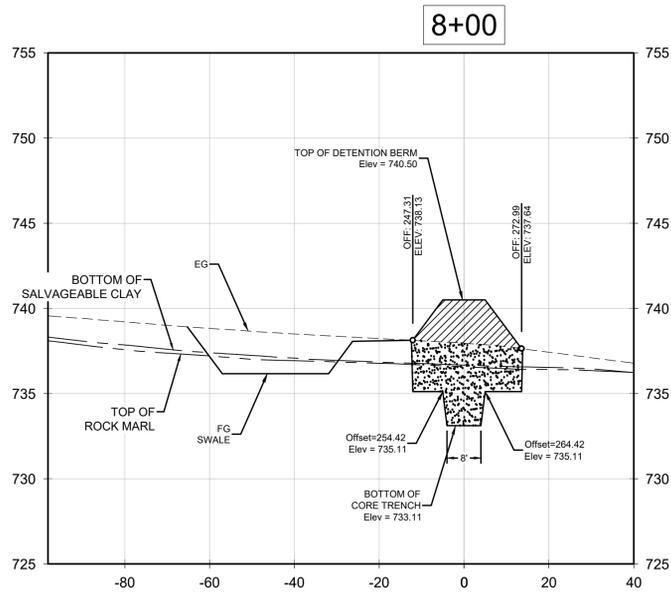
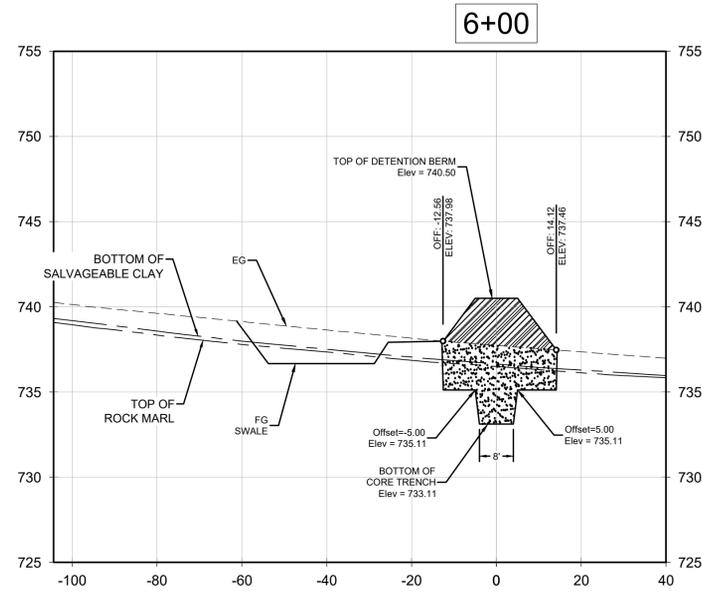
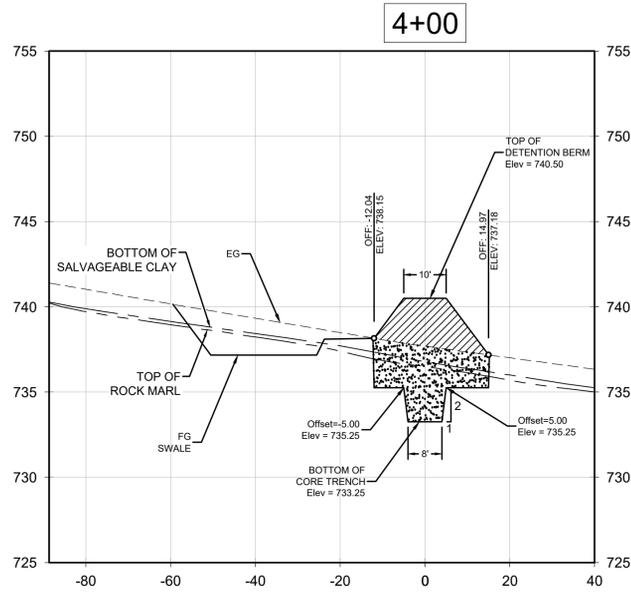
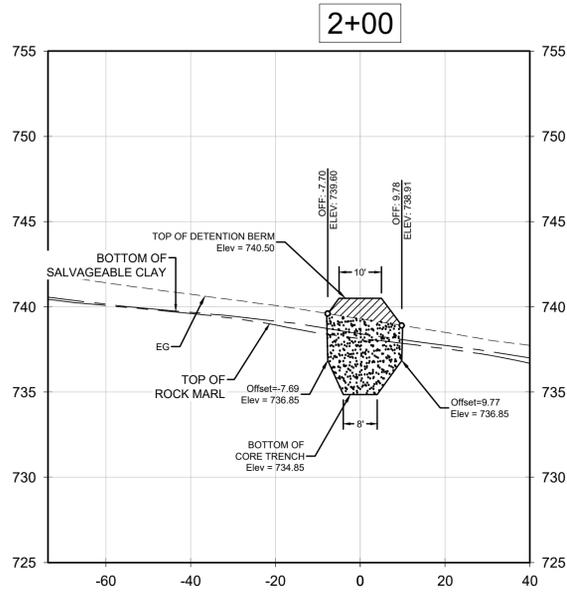


November 4, 2020

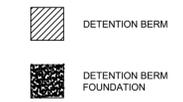
**PLUM CREEK CROSS SECTION
PLAN**
**PLUM CREEK
REGIONAL DETENTION**
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

C:\19000\14502_002_Plan\19000\14502_002a.dwg; PLUM CREEK CROSS SECTION PLAN, November 04, 2020, 4:38 PM, jgallegos



NOTE:
LIMITS OF SUBSURFACE STRATA ("TOP OF ROCK/MARL", "BOTTOM OF SALVAGEABLE CLAY") WERE DETERMINED BY ENGINEER BY INTERPOLATING CONDITIONS BETWEEN GEOTECHNICAL BORING SAMPLES. THE SUBSURFACE CONDITIONS SHOWN ON THESE PLANS ARE TO ASSIST THE CONTRACTOR WITH ANTICIPATED MATERIALS TO BE ENCOUNTERED; HOWEVER, ACTUAL CONDITIONS MAY VARY. THERE ARE NO ASSURANCES THAT THE CONDITIONS CHANGE ACCORDING TO A STRAIGHT LINE INTERPOLATION. IF DURING CONSTRUCTION, CONDITIONS VARY SIGNIFICANTLY FROM THE ANTICIPATED SUBSURFACE STRATA, CONTRACTOR SHALL CONTACT THE (1) PROJECT ENGINEER AND (2) THE PROJECT GEOTECHNICAL ENGINEER WITHIN 48 HOURS OF THAT DISCOVERY.



NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

STATE OF TEXAS
JOSEPH R. GALLEGOS
129909
LICENSED PROFESSIONAL ENGINEER
TBP# FIRM No. F-16384
November 4, 2020

PLUM CREEK CROSS SECTIONS 1
OF 4

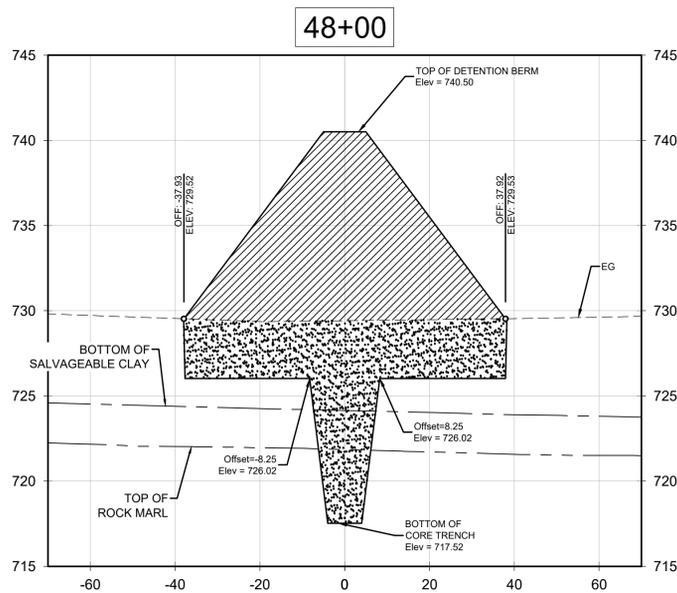
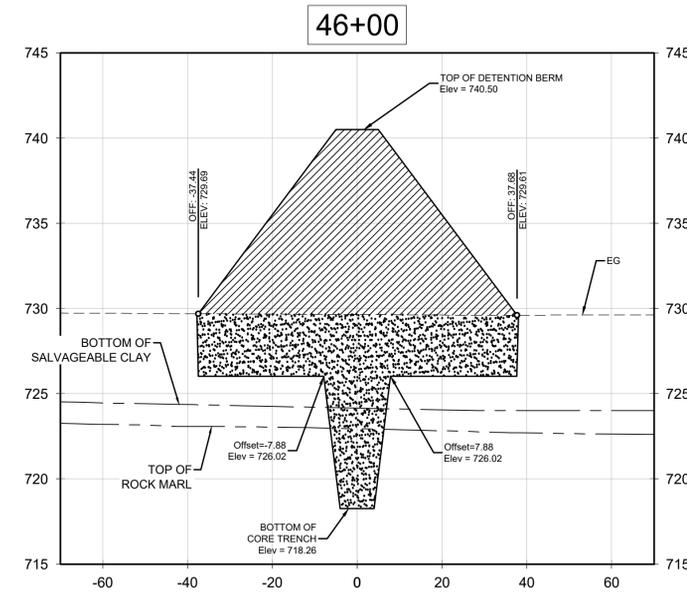
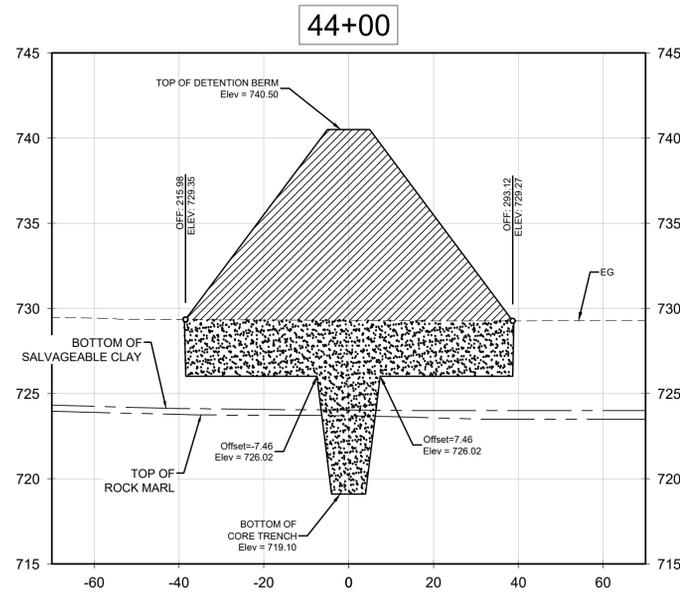
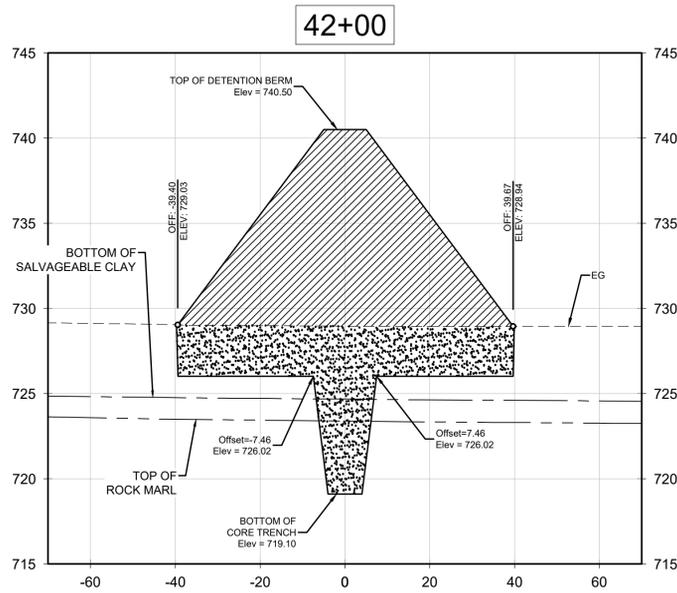
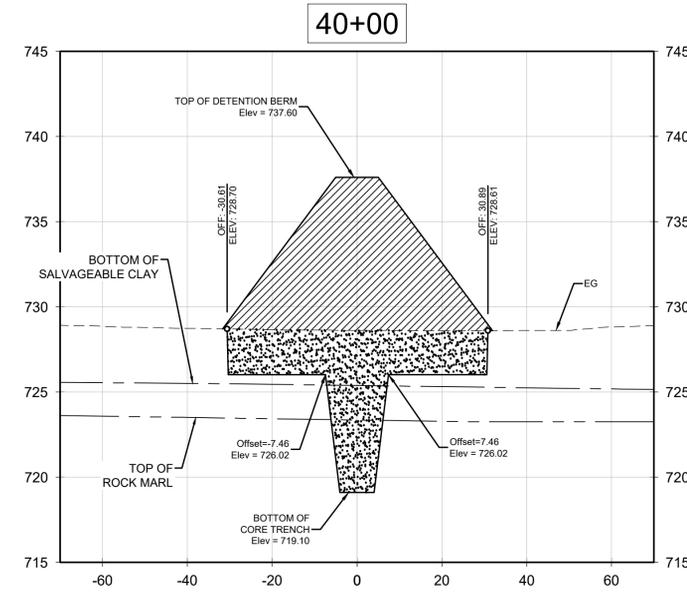
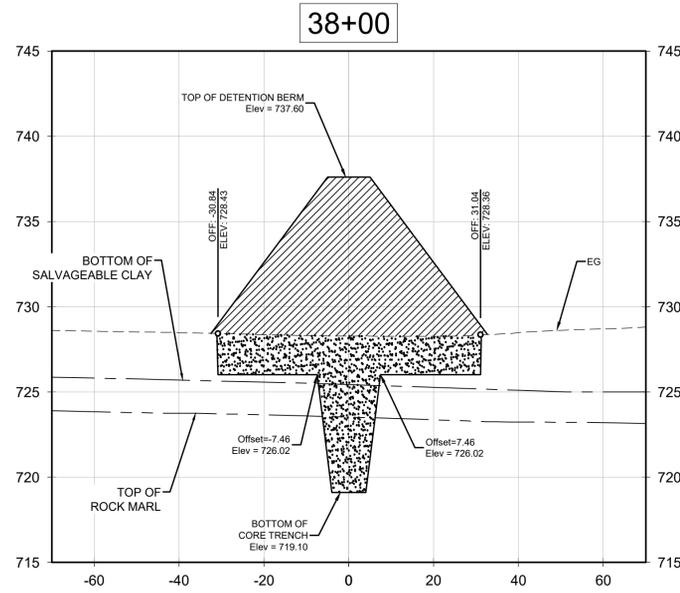
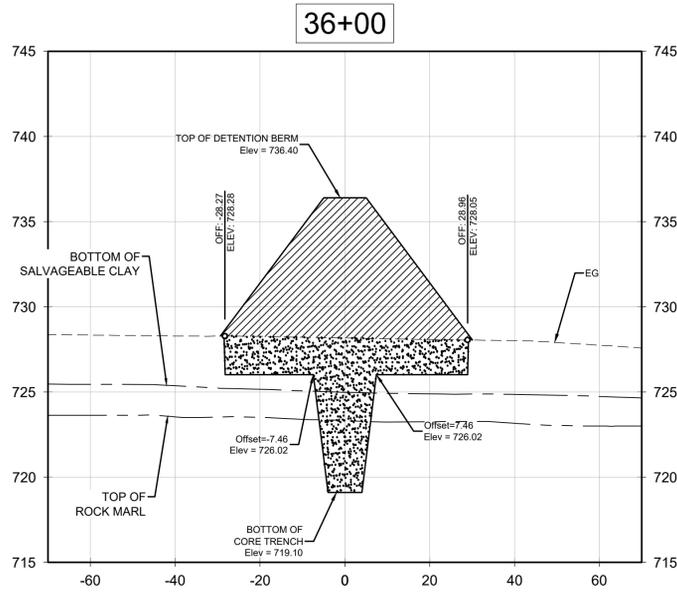
**PLUM CREEK
REGIONAL DETENTION**
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

SHEET 31 OF 39

C:\19000\14502_002_PC_Sec 11 01\dwg\14502_002a.dwg; PLUM CREEK CROSS SECTION 1 OF 4; November 04, 2020; 1:39 PM; jgallegos

Item # 7



NOTE:
LIMITS OF SUBSURFACE STRATA ("TOP OF ROCK/MARL", "BOTTOM OF SALVAGEABLE CLAY") WERE DETERMINED BY ENGINEER BY INTERPOLATING CONDITIONS BETWEEN GEOTECHNICAL BORING SAMPLES. THE SUBSURFACE CONDITIONS SHOWN ON THESE PLANS ARE TO ASSIST THE CONTRACTOR WITH ANTICIPATED MATERIALS TO BE ENCOUNTERED; HOWEVER, ACTUAL CONDITIONS MAY VARY. THERE ARE NO ASSURANCES THAT THE CONDITIONS CHANGE ACCORDING TO A STRAIGHT LINE INTERPOLATION. IF DURING CONSTRUCTION, CONDITIONS VARY SIGNIFICANTLY FROM THE ANTICIPATED SUBSURFACE STRATA, CONTRACTOR SHALL CONTACT THE (1) PROJECT ENGINEER AND (2) THE PROJECT GEOTECHNICAL ENGINEER WITHIN 48 HOURS OF THAT DISCOVERY.



Item # 7

NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



November 4, 2020

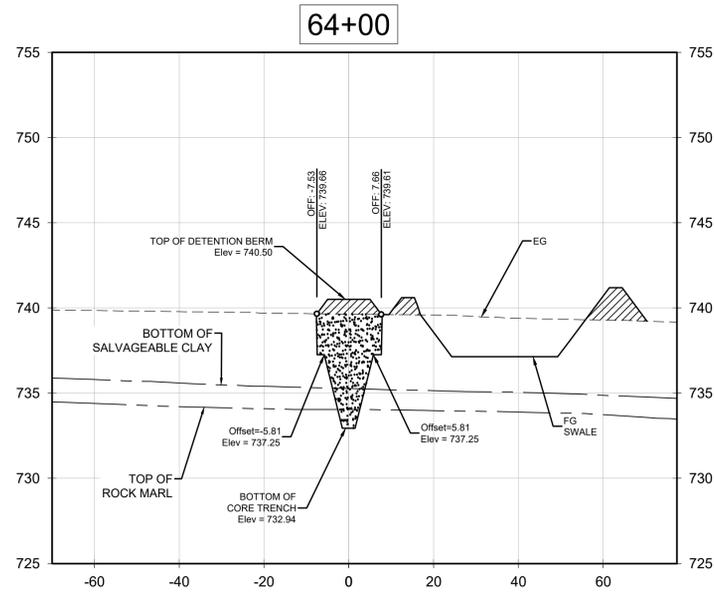
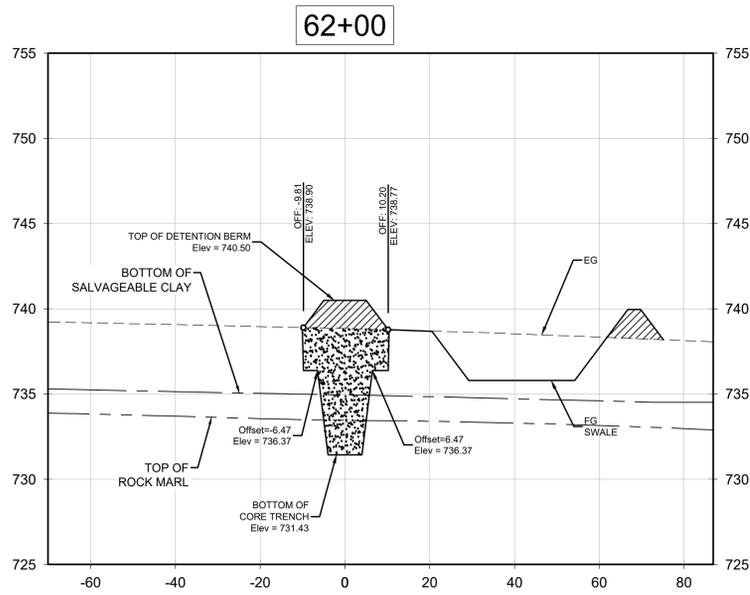
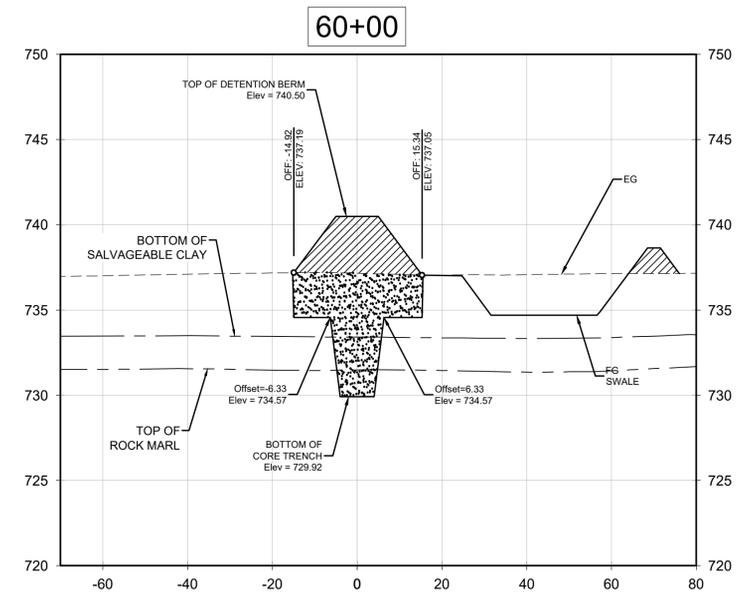
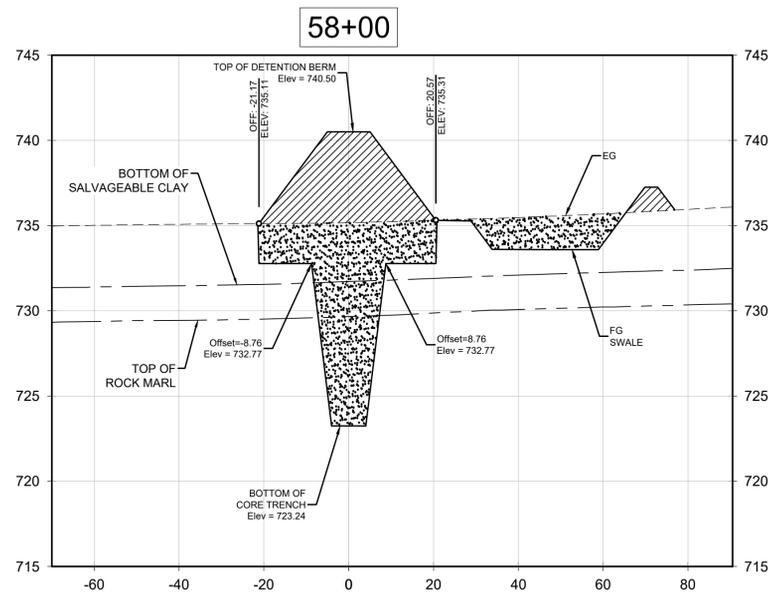
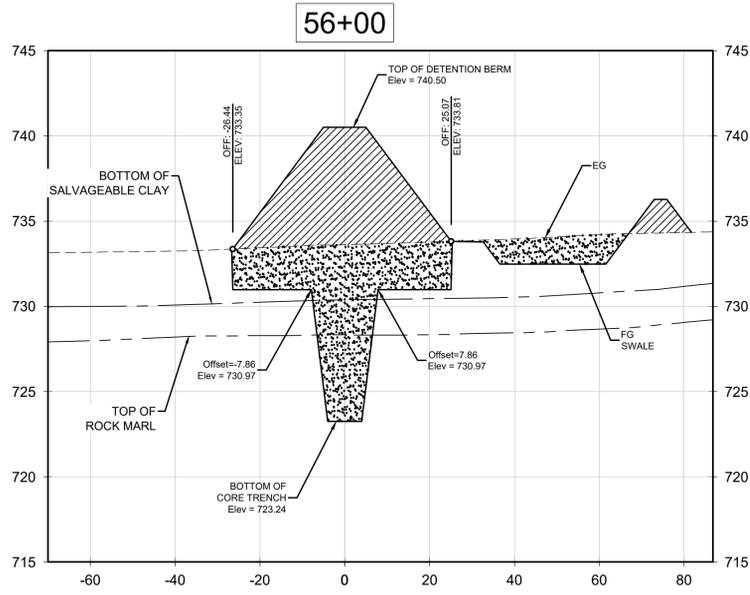
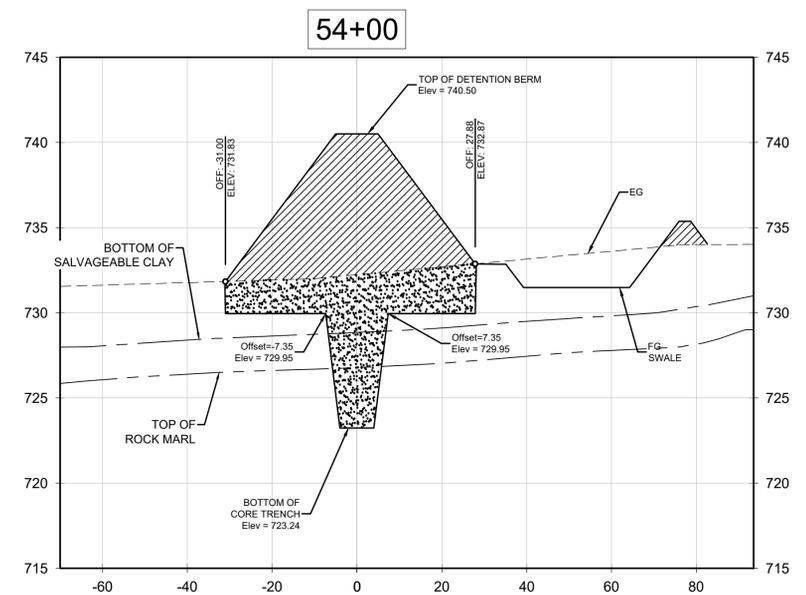
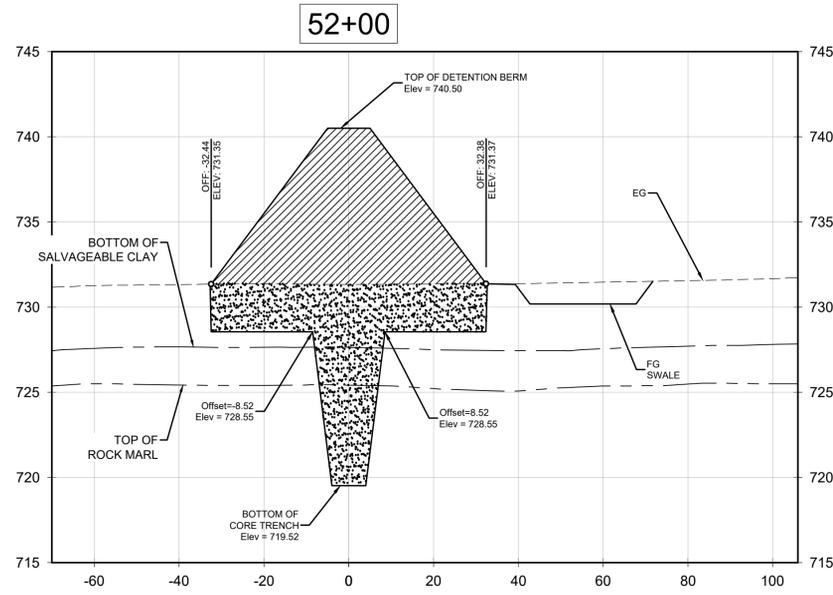
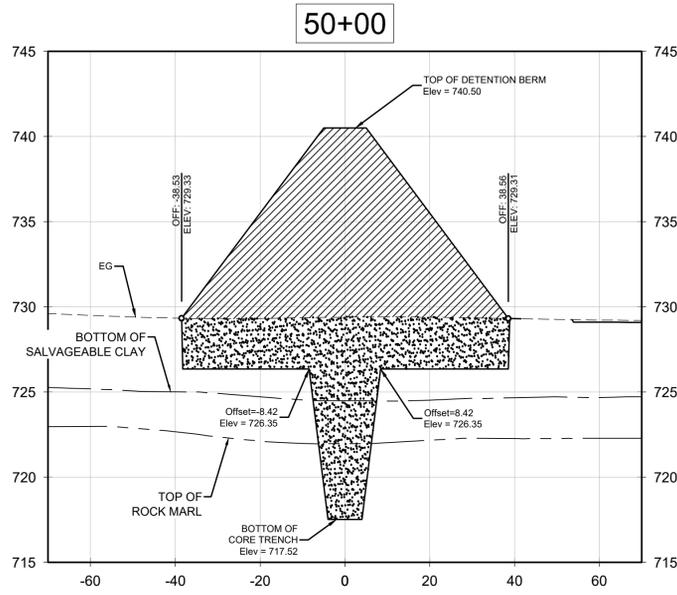
PLUM CREEK CROSS SECTIONS
3 OF 4

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

SHEET 33 OF 39

C:\19000\194502_002_P\Sec 010\Upstream\194502_002a_Regional\03_ACD\Drawings\194502_002a_BMP.dwg, PLUM CREEK CROSS SECTION 3 OF 4, November 04, 2020, 4:40 PM, gallegos



NOTE:
LIMITS OF SUBSURFACE STRATA ("TOP OF ROCK/MARL", "BOTTOM OF SALVAGEABLE CLAY") WERE DETERMINED BY ENGINEER BY INTERPOLATING CONDITIONS BETWEEN GEOTECHNICAL BORING SAMPLES. THE SUBSURFACE CONDITIONS SHOWN ON THESE PLANS ARE TO ASSIST THE CONTRACTOR WITH ANTICIPATED MATERIALS TO BE ENCOUNTERED; HOWEVER, ACTUAL CONDITIONS MAY VARY. THERE ARE NO ASSURANCES THAT THE CONDITIONS CHANGE ACCORDING TO A STRAIGHT LINE INTERPOLATION. IF DURING CONSTRUCTION, CONDITIONS VARY SIGNIFICANTLY FROM THE ANTICIPATED SUBSURFACE STRATA, CONTRACTOR SHALL CONTACT THE (1) PROJECT ENGINEER AND (2) THE PROJECT GEOTECHNICAL ENGINEER WITHIN 48 HOURS OF THAT DISCOVERY.

- DETENTION BERM
- DETENTION BERM FOUNDATION

NO.	REVISION	BY	DATE



LAND DEV
CONSULTING LLC
420 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



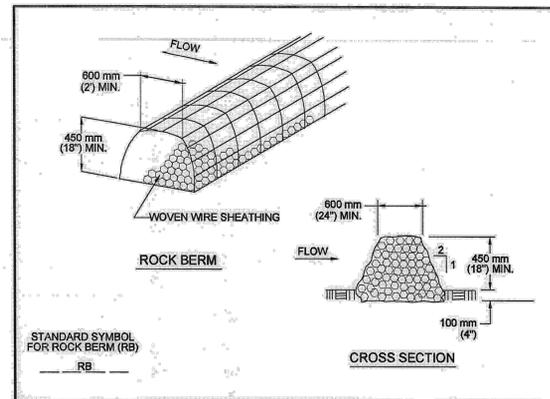
November 4, 2020

PLUM CREEK CROSS SECTIONS
4 OF 4
PLUM CREEK
REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX
APPROVED BY: XX

C:\19000\194502_002_PC_Sec 4\10\Upland\194502_002a_Regional03_ACD\Drawings\194502_002a_SAMP.dwg; PLUM CREEK CROSS SECTION 4 OF 4; November 04, 2020; 4:40 PM; gallegos

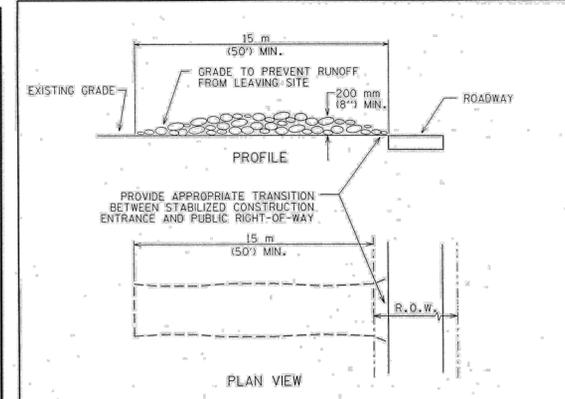
C:\19000\194502\02_PC Doc 10 Uplwsm\194502\02a_Regional\03_ACO\Drawings\194502\02a_DTEPC03.dwg, Layout1, November 04, 2020, 4:41 PM, jgallego



NOTES:

1. USE ONLY OPEN GRADED ROCK 75 TO 125 mm (3 TO 5") DIAMETER FOR ALL CONDITIONS.
2. THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 25 mm (1") OPENING AND MINIMUM WIRE DIAMETER OF 12.9 mm (20 GAUGE).
3. THE ROCK BERM SHALL BE INSPECTED DAILY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE-WOVEN SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SEDIMENT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
4. IF SEDIMENT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE BERM OR 150 mm (6"), WHICHEVER IS LESS, THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF ON AN APPROVED SITE AND IN A MANNER THAT WILL NOT CREATE A SEDIMENTATION PROBLEM.
5. WHEN THE SITE IS COMPLETELY STABILIZED THE BERM AND ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

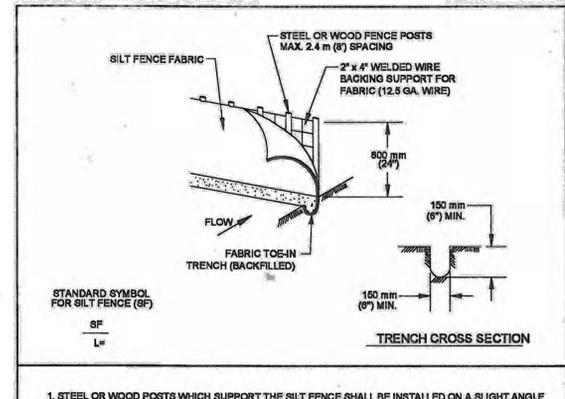
CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT	ROCK BERM	STANDARD NO. 639S-1
<i>Wagner, S. Page, P.E.</i> 8/24/2010 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	



NOTES:

1. STONE SIZE: 75-125 mm (3-5") OPEN GRADED ROCK.
2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 15 m (50').
3. THICKNESS: NOT LESS THAN 200 mm (8").
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS/EGRESS.
5. WASHING: WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE AND DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AS WELL AS REPAIR AND CLEAN OUT OF ANY MEASURE DEVICES USED TO TRAP SEDIMENT. ALL SEDIMENTS THAT IS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
7. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT	STABILIZED CONSTRUCTION ENTRANCE	STANDARD NO. 641S-1
<i>Jim Santa</i> <i>s/es/360</i> ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	



NOTES:

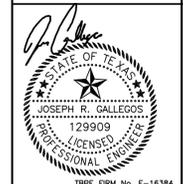
1. STEEL OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300 mm (12 INCHES), IF WOOD POSTS CANNOT ACHIEVE 300 mm (12 INCHES) DEPTH, USE STEEL POSTS.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH MUST BE A MINIMUM OF 150 mm (6 INCHES) DEEP AND 150 mm (6 INCHES) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150 mm (6 INCHES). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT	SILT FENCE	STANDARD NO. 642S-1
<i>Wagner, S. Page, P.E.</i> <i>9/1/2011</i> ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	

NO.	REVISION	BY	DATE



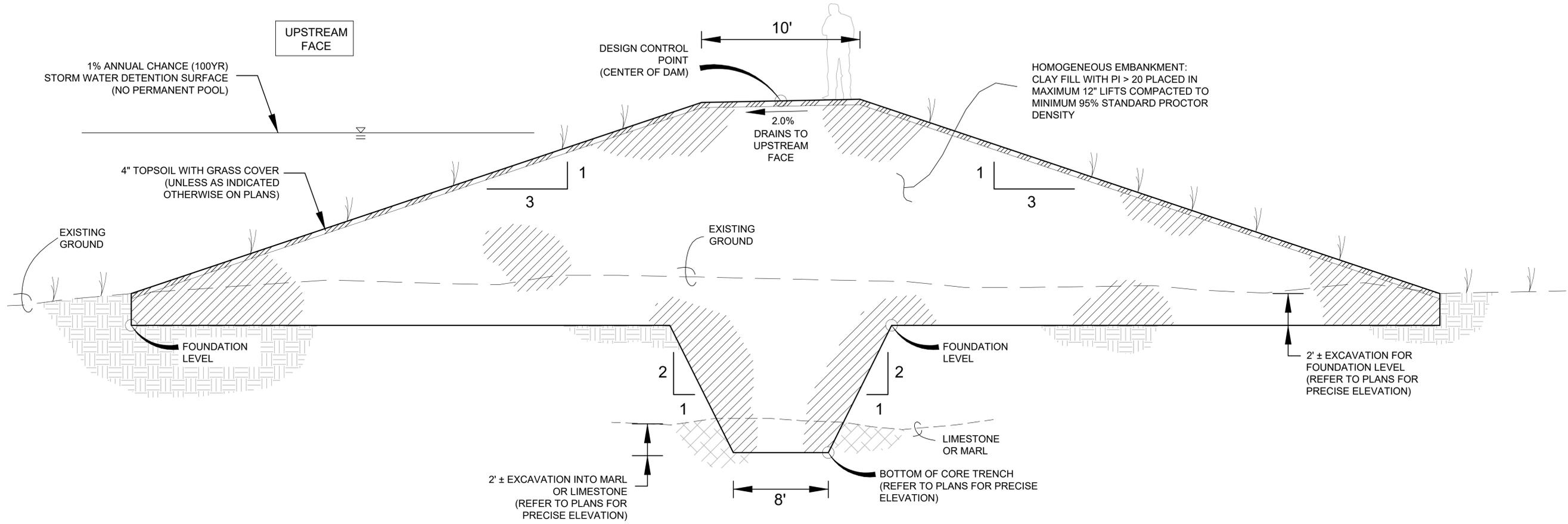
LAND DEV
CONSULTING LLC
4201 WEST PARKER LN., SUITE 100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



November 4, 2020
TPE FIRM No. F-16384

EROSION AND SEDIMENTATION CONTROL DETAILS
PLUM CREEK REGIONAL DETENTION
KYLE, HAYS CO., TEXAS

DESIGNED BY:	XX
DRAWN BY:	XX
CHECKED BY:	XX
APPROVED BY:	XX
SHEET	35 OF 39



DAM EMBANKMENT NOTES:

- 1) WITH THE EXCEPTION OF THE SLOPE PROTECTION (TOPSOIL AND ARMORING), THE PROPOSED DAM FOR THE REGIONAL DETENTION POND SHALL BE CONSTRUCTED AS A HOMOGENEOUS EMBANKMENT. MATERIAL FOR THE PROPOSED EMBANKMENT WILL CONFORM TO THE RECOMMENDATIONS PROVIDED IN THE REPORT TITLE "PLUM CREEK REGIONAL DETENTION EMBANKMENT DAM: ECS PROJECT NUMBER 17-5266" DATED SEPTEMBER 9, 2020.
- 2) CONTRACTOR SHALL REFER TO THE ABOVE REFERENCED GEOTECHNICAL REPORT FOR THE RECOMMENDATIONS REGARDING COMPACTION AND EMBANKMENT CONSTRUCTION. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, A WRITTEN CLARIFICATION MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 3) FOR THE EMBANKMENT, ALL MATERIAL SHALL BE FREE OF ORGANIC MATERIALS, TRASH AND DEBRIS, OR ANY OTHER DELETERIOUS MATERIALS, AND SHALL BE SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE ENGINEER AND/OR GEOTECHNICAL ENGINEER.
- 4) EMBANKMENT MATERIAL SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - a. HAVE A MINIMUM PLASTICITY INDEX (PI) OF 20.
 - b. 50% OF THE UTILIZED MATERIAL SHALL PASS THROUGH A #200 SIEVE
 - c. HAVE A LIQUID LIMIT (LL) BETWEEN 50 AND 80.
- 5) FILL SHALL BE PLACED IN 12" LIFTS AND BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT WITHIN 4% OF OPTIMUM. LIFT THICKNESS SHOULD BE REDUCED TO 4 TO 6 INCHES OR AS REQUIRED WHEN USING LIGHT COMPACTION EQUIPMENT. REDUCED THICKNESS IS REQUIRED ADJACENT TO STRUCTURES WHERE HEAVY COMPACTION EQUIPMENT COULD POTENTIALLY CAUSE DAMAGE.
- 6) EMBANKMENT MATERIAL SHALL BE TESTED FOR A COMPACTION A MINIMUM OF ONCE PER LIFT PER 10,000 SQUARE FEET OF LIFT PLACEMENT. FIELD COMPACTION TESTS SHALL BE PROVIDED TO THE PROJECT ENGINEER AND GEOTECHNICAL ENGINEER PRIOR TO THE COMPLETION OF EACH TWO (2) LIFTS.
- 7) EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGES BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- 8) NEW FINISHED CONTOURS SHOWN ARE TOP OF PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDDED.
- 9) ALL PROPOSED FILL AREAS ARE TO BE SEEDDED AND SHALL RECEIVE MINIMUM FOUR (4) INCHES OF TOPSOIL. THIS TOPSOIL TO BE PLACED AND LEVELED BY THE GRADING CONTRACTOR. THIS MATERIAL MAY BE STOCKPILED DURING STRIPPING OPERATIONS.
- 10) ROUGH GRADING ELEVATIONS SHALL BE AS FOLLOWS: FOUR INCHES BELOW FINISHED CONTOURS IN

SEEDDED AREAS. SIX INCHES BELOW FINISHED CONTOURS IN PAVED AREAS, UNLESS OTHERWISE NOTED.

- 11) GRADING CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES IN CONFORMANCE WITH CITY STANDARDS.
- 12) THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION.
- 13) GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, BY APPLYING CALCIUM CHLORIDE OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER.
- 14) GRADING CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING STRUCTURES, FENCES, DEBRIS OR TREES REMAINING ON SITE, UNLESS NOTED OTHERWISE ON PLANS AND SHALL COORDINATE WITH GENERAL CONTRACTOR.
- 15) CONTRACTOR SHALL PROVIDE DEWATERING EQUIPMENT AND LABOR AS MAY BE NECESSARY FOR THE CONSTRUCTION OF THE DAM. THE COST OF SUCH EFFORT SHALL BE SUBSIDIARY TO THE EXCAVATION COST.
- 16) MATERIAL THAT IS EXCAVATED FOR THE FOUNDATION LEVEL AND THE CORE TRENCH CAN BE UTILIZED FOR THE BACKFILL OF THE DAM PROVIDED THAT GEOTECHNICAL ENGINEER CAN CERTIFY IN WRITING THAT THIS MATERIAL IS IN COMPLIANCE WITH THE REQUIRED HOMOGENEOUS MATERIAL SPECIFICATION.



LAND DEV
 CONSULTING LLC
 420 WEST PARKER LN., SUITE 100
 AUSTIN, TX 78727
 OFFICE: 512.872.6696
 FIRM NO. 16384



November 4, 2020

TYPICAL DAM SECTION DETAIL
PLUM CREEK
 REGIONAL DETENTION
 KYLE, HAYS CO., TEXAS

DESIGNED BY: XX
 DRAWN BY: XX
 CHECKED BY: XX
 APPROVED BY: XX

STRUCTURAL GENERAL NOTES AND SPECIFICATIONS

GENERAL REQUIREMENTS

- 1 APPLICABLE CODES AND STANDARDS - ALL CODES AND STANDARDS REFERENCED SHALL BE THE LATEST EDITION.
- 2 ANY REQUIRED CHANGES TO THE STRUCTURAL DRAWINGS DUE TO THE ACCEPTANCE OR INCLUSION OF ALTERNATES OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
- 3 THE CONTRACTOR SHALL COMPARE THE STRUCTURAL DRAWINGS WITH THE CIVIL DRAWINGS AND REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- 4 JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL, AS A MINIMUM, ADHERE TO OCCUPATIONAL SAFETY AND HEALTH (OSHA) REGULATIONS TO PROTECT PERSONNEL.

FOUNDATION NOTES

- 1 DESIGN LOADS
OUTLET STRUCTURE ACTIVE LATERAL EARTH PRESSURE - EQUIVALENT FLUID PRESSURE OF 65 PCF
- 2 DESIGN ALLOWABLE SOIL BEARING PRESSURE IS 2,500 PSF ON PROOF-ROLLED NATURAL SUBGRADE.
- 3 THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT WAS PREPARED BY ECS SOUTHWEST, LLP, 14050 SUMMIT DRIVE, SUITE 101, AUSTIN, TEXAS 78728, TEL. (512) 837-8005, ECS PROJECT NO. 17-5266, REPORT DATED DECEMBER 12, 2019. THE CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT AND REVIEW ITS CONTENTS TO BECOME FAMILIAR WITH THE GEOTECHNICAL CONDITIONS THAT EXIST AT THIS SITE AND THE RECOMMENDATIONS PRESENTED IN THE GEOTECHNICAL INVESTIGATION.
- 4 PRIOR TO COMMENCEMENT OF EXCAVATION OPERATIONS, FIELD LOCATE AND ADEQUATELY PROTECT ANY EXISTING STRUCTURES, TREES, UTILITIES AND/OR OTHER PERMANENT ELEMENTS TO REMAIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGE RESULTING FROM CONSTRUCTION OPERATIONS.
- 5 THE CONTRACTOR SHALL PROVIDE AND ENSURE PROPER DRAINAGE OF THE SITE PRIOR TO BEGINNING CONSTRUCTION OF THE POND OUTFALL STRUCTURE. DRAINAGE SHALL BE SUCH THAT SURFACE RUNOFF IS ROUTED AROUND OR AWAY FROM THE CONSTRUCTION AREA. MEASURES SHALL BE TAKEN TO PREVENT THE PONDING OF WATER WITHIN THE FOUNDATION AREA.
- 6 THE CONSTRUCTION AREA FOR THE POND OUTFALL STRUCTURE SHALL BE STRIPPED OF ALL VEGETATION, LOOSE TOP SOIL, DEBRIS, ORGANICS AND OTHER DELETERIOUS MATERIAL. ROOTS AND STUMPS OF TREES WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED FOR THEIR FULL DEPTH, INCLUDING THE DRY SOILS AROUND THE ROOT BULB. EXCAVATIONS IN CUT AREAS SHALL BE BENCHED.
- 7 THE POND OUTFALL STRUCTURE FOOTINGS AND SLABS SHALL BE FOUNDED ON PROOF-ROLLED NATURAL SUBGRADE. EXCAVATIONS SHALL BE NEAT AND FREE OF ALL LOOSE MATERIALS AND DEBRIS PRIOR TO PLACEMENT OF CONCRETE. CONTRACTOR SHALL USE CARE TO PROTECT EXCAVATIONS FROM CAVING AND SLOUGHING DUE TO TRAFFIC FROM EQUIPMENT OR WORKMEN.
- 8 ONCE FINAL SUBGRADE ELEVATIONS HAVE BEEN ACHIEVED, THE EXPOSED SUBGRADE SHALL BE CAREFULLY PROOFROLLED WITH A 15-TON PNEUMATIC ROLLER OR EQUIVALENT EQUIPMENT TO DETECT WEAK ZONES IN THE SUBGRADE. WEAK AREAS DETECTED DURING PROOFROLLING SHALL BE REMOVED AND REPLACED WITH SOILS EXHIBITING SIMILAR CLASSIFICATION, MOISTURE CONTENT AND DENSITY AS THE ADJACENT IN-SITU SOILS. PRIOR TO FOOTING CONSTRUCTION, THE SUBGRADE PREPARATION SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- 9 IN THE EVENT THAT EXCAVATIONS ARE COMPLETED TO A DEPTH GREATER THAN THAT REQUIRED BY THE DRAWINGS, THE CONTRACTOR SHALL FILL THE OVEREXCAVATION WITH CONCRETE. CONCRETE REQUIRED TO COMPENSATE THE OVEREXCAVATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 10 ANY WATER ACCUMULATIONS IN EXCESS OF 1 INCH SHALL BE PUMPED OUT PRIOR TO PLACEMENT OF CONCRETE. REBAR AND CONCRETE FOR FOOTINGS SHALL BE PLACED AS SOON AS PRACTICAL FOLLOWING COMPLETION OF EXCAVATIONS TO PREVENT EXCESSIVE DRYING OR WETTING OF THE SUBGRADE.
- 11 ALL BACKFILL BEHIND THE OUTLET STRUCTURE SHALL CONSIST OF EMBANKMENT MATERIAL AS SPECIFIED BY THE PROJECT CIVIL AND/OR GEOTECHNICAL ENGINEER.
- 12 BACKFILLING OPERATIONS SHALL NOT BEGIN UNTIL CONCRETE WALLS HAVE CURED A MINIMUM OF 7 DAYS. FORMS SHALL REMAIN IN PLACE FOR A MINIMUM OF 7 DAYS. IF DESIRED, FORMS MAY BE REMOVED UPON SATISFACTORY EVIDENCE THAT CONCRETE HAS ACHIEVED 75% OF ITS SPECIFIED 28 DAY STRENGTH AND PROVIDED THAT CONCRETE IS CURED USING A SPRAY-ON CURING COMPOUND OR WET COTTON MATS FOR THE REMAINDER OF THE 7 DAY CURING PERIOD. UNDER NO CIRCUMSTANCES SHALL BACKFILLING COMMENCE IN LESS THAN 7 DAYS. THE BACKFILL PLACEMENT AND COMPACTION OPERATIONS SHALL BE CAREFULLY CONTROLLED TO PREVENT OVERCOMPACTION OR DAMAGE TO THE STRUCTURES.

CONCRETE FINISHING

- 1 REPAIR OF SURFACE DEFECTS - DEFECTIVE AREAS SHALL BE REPAIRED IMMEDIATELY AFTER REMOVAL OF FORMS. HONEYCOMBED AND OTHER DEFECTIVE AREAS SHALL BE REMOVED DOWN TO SOUND CONCRETE. THE DEFECTIVE AND SURROUNDING AREA SHALL BE DAMPENED AND A BONDING GROUT APPLIED TO THE AREA. BONDING GROUT SHALL CONSIST OF APPROXIMATELY ONE PART CEMENT TO ONE PART FINE SAND PASSING A NO. 30 SIEVE. MIX GROUT TO THE CONSISTENCY OF A THICK CREAM AND BRUSH THOROUGHLY INTO THE SURFACE.
- 2 THE TOP EXPOSED HORIZONTAL SURFACE OF THE POND OUTFALL STRUCTURE SHALL RECEIVE A LIGHT BROOM FINISH. ALL OTHER CONCRETE SURFACES EXPOSED TO VIEW SHALL RECEIVE A RUBBED FINISH.

- PATCHING MORTAR SHALL BE OF THE SAME MATERIALS AND APPROXIMATELY THE SAME PROPORTIONS AS CONCRETE EXCEPT THAT COARSE AGGREGATE SHALL BE OMITTED. PREPARE MORTAR WITH NO MORE THAN ONE PART CEMENT TO 2 1/2 PARTS SAND. USE WHITE PORTLAND CEMENT FOR PART OF THE GRAY CEMENT TO MIX A MORTAR OF A COLOR TO MATCH THE SURROUNDING CONCRETE. USE NO MORE WATER THAN NECESSARY AND MIX MORTAR TO THE STIFFEST CONSISTENCY THAT WILL PERMIT PLACING.
- AFTER SURFACE WATER FROM THE BONDING GROUT HAS DISSIPATED, THOROUGHLY BRUSH PATCHING MORTAR INTO THE BONDING GROUT.
- IN LIEU OF USE OF BONDING GROUT, A LATEX BONDING AGENT MAY BE USED.

- WATERSTOPS
- 1 ALL WATERSTOPS SHALL BE PREFORMED PLASTIC SEALING TYPE WATERSTOP SUCH AS SYNKO-FLEX. PLASTIC SEALING TYPE WATERSTOP SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

SEALANT

- 1 SEALANT AT JOINTS SHALL CONSIST OF POLYURETHANE BASED NON-SAG ELASTOMERIC SEALANT FOR USE IN WATER IMMERSION APPLICATIONS. SEALANT SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING USE OF A PRIMER AS REQUIRED. AN ACCEPTABLE PRODUCT IS SIKAFLEX 1A SEALANT WITH SIKAFLEX PRIMER 429 AS MANUFACTURED BY SIKA CORPORATION.

SUBMITTALS

- THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. WORK ASSOCIATED WITH THESE ITEMS SHALL NOT COMMENCE UNTIL THE SUBMITTALS HAVE BEEN REVIEWED AND RETURNED BY THE ENGINEER. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING:
- 1 TEST DATA AND MIX DESIGNS FOR EACH TYPE AND STRENGTH OF CONCRETE SPECIFIED.
 - 2 REINFORCING STEEL SHOP DRAWINGS DETAILING REINFORCEMENT FABRICATION AND BAR PLACEMENT. SHOP DRAWINGS SHALL CLEARLY INDICATE THE LOCATION, SIZE, SPACING, SPLICES AND PIECEMARK FOR ALL REINFORCING STEEL. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO PERMIT PLACEMENT OF REINFORCEMENT WITHOUT THE USE OF THE DESIGN DRAWINGS. THE SHOP DRAWINGS SHALL INCLUDE A COMPLETE BILL OF MATERIALS FOR ALL REINFORCING STEEL. FABRICATION OF REINFORCING STEEL SHALL NOT COMMENCE UNTIL THE ENGINEER HAS COMPLETED THE REVIEW OF THE SHOP DRAWINGS.
 - 3 PROPOSED LAYOUT AND LOCATION OF CONCRETE CONSTRUCTION AND CONTROL JOINTS.
 - 4 PROPOSED METHOD OF CONCRETE CURING AND PRODUCT DATA FOR ANY CURING COMPOUNDS PROPOSED FOR USE ON THE PROJECT.
 - 5 LABORATORY TEST RESULTS FOR CONCRETE CYLINDER COMPRESSION TESTS AND SUBGRADE AND FILL COMPACTION TESTS.

TESTING LABORATORY REQUIREMENTS

- THE CONTRACTOR SHALL SECURE THE SERVICES OF A COMMERCIAL TESTING LABORATORY TO PERFORM ALL REQUIRED MATERIALS TESTS AND INSPECTIONS.
- 1 ONE SET OF CONCRETE TEST CYLINDERS SHALL BE OBTAINED FOR EVERY 50 CUBIC YARDS OF CONCRETE PLACED, OR ANY PORTION THEREOF PLACED IN A SINGLE DAY, AS FOLLOWS:
 - A FIVE (5) CONCRETE TEST CYLINDERS SHALL BE MOLDED FROM EACH SAMPLE AND CURED ACCORDING TO ASTM C 31. COMPRESSIVE TESTS SHALL BE PERFORMED ON ONE CYLINDER AT 7 DAYS AND THREE CYLINDERS AT 28 DAYS. THE FIFTH CYLINDER SHALL BE RETAINED FOR 56 DAYS AND TESTED ONLY IF THE AVERAGE STRENGTH OF THE 28 DAYS TESTS DO NOT MEET THE MINIMUM REQUIRED COMPRESSIVE STRENGTH.
 - B A SLUMP TEST AND TEMPERATURE MEASUREMENT SHALL BE PERFORMED FOR EACH SAMPLE.
 - C COMPUTATION OF WATER/CEMENT RATIO, AS REQUIRED OR DIRECTED BY THE ENGINEER.
 - 2 ADDITIONAL CYLINDERS MAY BE MADE AND TESTED, AS NECESSARY, FOR ACCELERATED REMOVAL OF FORMS OR ERECTION OF MEMBERS TO VERIFY

REINFORCED CONCRETE NOTES

- 1 ALL CONCRETE SHALL BE CLASS C (3600 PSI) NORMAL WEIGHT CONCRETE WITH A WATER/CEMENT RATIO OF NOT MORE THAN 0.45 AND A SLUMP IN THE RANGE OF 6 TO 8 INCHES. WATER CONTENT SHALL BE CLOSELY MONITORED DURING BATCHING. UNDER NO CIRCUMSTANCES SHALL THE WATER/CEMENT RATIO BE PERMITTED TO EXCEED THE SPECIFIED MAXIMUM. THE USE OF A MID RANGE WATER REDUCING ADMIXTURE IS RECOMMENDED TO IMPROVE WORKABILITY DURING PLACING OPERATIONS.
- 2 THE USE OF FLY ASH IS REQUIRED. ALL CONCRETE SHALL CONTAIN A MINIMUM FLY ASH CONTENT EQUAL TO 25 PERCENT OF THE TOTAL WEIGHT OF THE CEMENT PLUS FLY ASH BY WEIGHT. FLY ASH SHALL BE CLASS F OR C, BUT CONCRETE MIXED WITH CLASS C FLY ASH SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - A COARSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE. THE USE OF ROCK GRAVEL AGGREGATE WILL NOT BE PERMITTED.
 - B CEMENT SHALL BE TYPE II LA (LOW ALKALI) OR TYPE I/II LA. ALKALI CONTENT OF THE CEMENT SHALL BE LESS THAN 0.6%.
- 3 REINFORCING STEEL SHALL BE ASTM/ANSI A615, GRADE 60. DETAILING AND ERECTION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.
- 4 CONCRETE CONSTRUCTION, INCLUDING MINIMUM REINFORCING STEEL COVERAGE BY CONCRETE, SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318, UNLESS OTHERWISE NOTED.
- 5 PROVIDE SUPPORTS OR CHAIRS TO SUPPORT REBAR AT THE POSITIONS REQUIRED BY THE DRAWINGS. REINFORCEMENT FOR FOOTINGS SHALL BE SUPPORTED ON PRECAST CONCRETE BLOCKS OF A THICKNESS TO PROPERLY POSITION THE REBAR. BLOCKS SHALL BE PROVIDED AT 3'-0" MAXIMUM ON CENTERS.
- 6 LAP CONTINUOUS UNSCHEDULED REINFORCING BARS 40 BAR DIAMETERS UNLESS OTHERWISE NOTED.

- 7 THERE SHALL BE NO HORIZONTAL CONSTRUCTION JOINTS EXCEPT WHERE SPECIFICALLY NOTED ON THESE DRAWINGS.
- 8 UNLESS OTHERWISE NOTED, PROVIDE #4 CORNER BARS WITH 2'-0" LEGS TO MATCH HORIZONTAL REINFORCING AT ALL WALL INTERSECTIONS.
- 9 THE CONTRACTOR SHALL ENSURE THAT ALL EMBEDDED ITEMS ARE DELIVERED TO THE SITE IN A TIMELY FASHION AND INSTALLED IN THE FORMWORK PRIOR TO PLACEMENT OF CONCRETE.
- 10 FIELD CUTTING OF REINFORCEMENT SHALL BE BY SHEARING OR SAWING. FIELD CUTTING OF REINFORCEMENT BY TORCH WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER.
- 11 UNLESS OTHERWISE NOTED, ALL 90, 135 AND 180 DEGREE REINFORCING STEEL HOOKS SHALL BE STANDARD ACI HOOKS.
- 12 THE CONTRACTOR SHALL USE A TREMIE TO PLACE CONCRETE IN ALL AREAS WHERE THE FALL OF THE CONCRETE WILL EXCEED 5 FEET.
- 13 THE CONTRACTOR SHALL USE CARE TO PROPERLY VIBRATE CONCRETE DURING PLACING OPERATIONS TO ENSURE GOOD DENSITY OF CONCRETE AND TO MINIMIZE SURFACE DEFECTS.
- 14 CHAMFER ALL EXPOSED EDGES 3/4 INCH.
- 15 FORMWORK FOR SURFACES TO BE EXPOSED TO VIEW IN THE FINISHED CONSTRUCTION SHALL BE SMOOTH, EITHER WOOD OR METAL. SMOOTH FORMS SHALL BE FREE OF RAISED GRAIN, TORN SURFACES, WORN EDGES, PATCHES, DENTS OR OTHER DEFECTS. STRENGTH OF FORMS SHALL BE SUCH THAT NO WARPING, BULGING OR BOWING OCCUR UNDER THE WEIGHT OF THE WET CONCRETE. JOINTS SHALL BE SMOOTH AND MORTAR TIGHT. FORMS WHICH DO NOT PRESENT A SMOOTH SURFACE OR LINE UP PROPERLY SHALL NOT BE USED. FORMS SHALL BE FREE OF RUST, GREASE OR OTHER FOREIGN SURFACES THAT MAY DISCOLOR THE FINISHED CONCRETE.
- 16 WALL TIES AT RETAINING WALLS SHALL BE FABRICATED SO THAT ENDS OR END FASTENERS CAN BE REMOVED WITHOUT CAUSING SPALLING OF FACE OF CONCRETE. TIES SHALL BE PROVIDED WITH A WATER SEAL FEATURE. REMOVE ENDS OF FORM TIES SUCH THAT THE EMBEDDED PORTION OF TIE IS AT LEAST 3/4 INCH FROM THE FORMED CONCRETE FACE. PATCH TIE HOLES IMMEDIATELY AFTER REMOVAL OF FORMS.

CONCRETE FINISHING

- 1 REPAIR OF SURFACE DEFECTS - DEFECTIVE AREAS SHALL BE REPAIRED IMMEDIATELY AFTER REMOVAL OF FORMS. HONEYCOMBED AND OTHER DEFECTIVE AREAS SHALL BE REMOVED DOWN TO SOUND CONCRETE. THE DEFECTIVE AND SURROUNDING AREA SHALL BE DAMPENED AND A BONDING GROUT APPLIED TO THE AREA. BONDING GROUT SHALL CONSIST OF APPROXIMATELY ONE PART CEMENT TO ONE PART FINE SAND PASSING A NO. 30 SIEVE. MIX GROUT TO THE CONSISTENCY OF A THICK CREAM AND BRUSH THOROUGHLY INTO THE SURFACE.
- 2 THE TOP EXPOSED HORIZONTAL SURFACE OF THE POND OUTFALL STRUCTURE SHALL RECEIVE A LIGHT BROOM FINISH. ALL OTHER CONCRETE SURFACES EXPOSED TO VIEW SHALL RECEIVE A RUBBED FINISH.

WATERSTOPS

- 1 ALL WATERSTOPS SHALL BE PREFORMED PLASTIC SEALING TYPE WATERSTOP SUCH AS SYNKO-FLEX. PLASTIC SEALING TYPE WATERSTOP SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

SEALANT

- 1 SEALANT AT JOINTS SHALL CONSIST OF POLYURETHANE BASED NON-SAG ELASTOMERIC SEALANT FOR USE IN WATER IMMERSION APPLICATIONS. SEALANT SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING USE OF A PRIMER AS REQUIRED. AN ACCEPTABLE PRODUCT IS SIKAFLEX 1A SEALANT WITH SIKAFLEX PRIMER 429 AS MANUFACTURED BY SIKA CORPORATION.

SUBMITTALS

- THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. WORK ASSOCIATED WITH THESE ITEMS SHALL NOT COMMENCE UNTIL THE SUBMITTALS HAVE BEEN REVIEWED AND RETURNED BY THE ENGINEER. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING:
- 1 TEST DATA AND MIX DESIGNS FOR EACH TYPE AND STRENGTH OF CONCRETE SPECIFIED.
 - 2 REINFORCING STEEL SHOP DRAWINGS DETAILING REINFORCEMENT FABRICATION AND BAR PLACEMENT. SHOP DRAWINGS SHALL CLEARLY INDICATE THE LOCATION, SIZE, SPACING, SPLICES AND PIECEMARK FOR ALL REINFORCING STEEL. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO PERMIT PLACEMENT OF REINFORCEMENT WITHOUT THE USE OF THE DESIGN DRAWINGS. THE SHOP DRAWINGS SHALL INCLUDE A COMPLETE BILL OF MATERIALS FOR ALL REINFORCING STEEL. FABRICATION OF REINFORCING STEEL SHALL NOT COMMENCE UNTIL THE ENGINEER HAS COMPLETED THE REVIEW OF THE SHOP DRAWINGS.
 - 3 PROPOSED LAYOUT AND LOCATION OF CONCRETE CONSTRUCTION AND CONTROL JOINTS.
 - 4 PROPOSED METHOD OF CONCRETE CURING AND PRODUCT DATA FOR ANY CURING COMPOUNDS PROPOSED FOR USE ON THE PROJECT.
 - 5 LABORATORY TEST RESULTS FOR CONCRETE CYLINDER COMPRESSION TESTS AND SUBGRADE AND FILL COMPACTION TESTS.

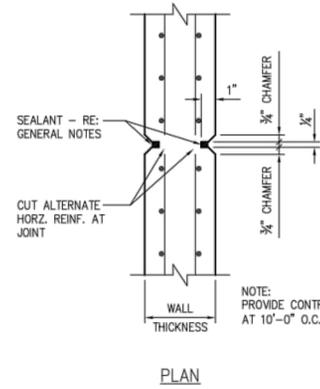
TESTING LABORATORY REQUIREMENTS

- THE CONTRACTOR SHALL SECURE THE SERVICES OF A COMMERCIAL TESTING LABORATORY TO PERFORM ALL REQUIRED MATERIALS TESTS AND INSPECTIONS.
- 1 ONE SET OF CONCRETE TEST CYLINDERS SHALL BE OBTAINED FOR EVERY 50 CUBIC YARDS OF CONCRETE PLACED, OR ANY PORTION THEREOF PLACED IN A SINGLE DAY, AS FOLLOWS:
 - A FIVE (5) CONCRETE TEST CYLINDERS SHALL BE MOLDED FROM EACH SAMPLE AND CURED ACCORDING TO ASTM C 31. COMPRESSIVE TESTS SHALL BE PERFORMED ON ONE CYLINDER AT 7 DAYS AND THREE CYLINDERS AT 28 DAYS. THE FIFTH CYLINDER SHALL BE RETAINED FOR 56 DAYS AND TESTED ONLY IF THE AVERAGE STRENGTH OF THE 28 DAYS TESTS DO NOT MEET THE MINIMUM REQUIRED COMPRESSIVE STRENGTH.
 - B A SLUMP TEST AND TEMPERATURE MEASUREMENT SHALL BE PERFORMED FOR EACH SAMPLE.
 - C COMPUTATION OF WATER/CEMENT RATIO, AS REQUIRED OR DIRECTED BY THE ENGINEER.
 - 2 ADDITIONAL CYLINDERS MAY BE MADE AND TESTED, AS NECESSARY, FOR ACCELERATED REMOVAL OF FORMS OR ERECTION OF MEMBERS TO VERIFY

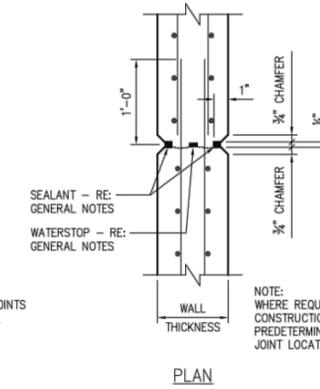
REINFORCED CONCRETE NOTES

- 1 ALL CONCRETE SHALL BE CLASS C (3600 PSI) NORMAL WEIGHT CONCRETE WITH A WATER/CEMENT RATIO OF NOT MORE THAN 0.45 AND A SLUMP IN THE RANGE OF 6 TO 8 INCHES. WATER CONTENT SHALL BE CLOSELY MONITORED DURING BATCHING. UNDER NO CIRCUMSTANCES SHALL THE WATER/CEMENT RATIO BE PERMITTED TO EXCEED THE SPECIFIED MAXIMUM. THE USE OF A MID RANGE WATER REDUCING ADMIXTURE IS RECOMMENDED TO IMPROVE WORKABILITY DURING PLACING OPERATIONS.
- 2 THE USE OF FLY ASH IS REQUIRED. ALL CONCRETE SHALL CONTAIN A MINIMUM FLY ASH CONTENT EQUAL TO 25 PERCENT OF THE TOTAL WEIGHT OF THE CEMENT PLUS FLY ASH BY WEIGHT. FLY ASH SHALL BE CLASS F OR C, BUT CONCRETE MIXED WITH CLASS C FLY ASH SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - A COARSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE. THE USE OF ROCK GRAVEL AGGREGATE WILL NOT BE PERMITTED.
 - B CEMENT SHALL BE TYPE II LA (LOW ALKALI) OR TYPE I/II LA. ALKALI CONTENT OF THE CEMENT SHALL BE LESS THAN 0.6%.
- 3 REINFORCING STEEL SHALL BE ASTM/ANSI A615, GRADE 60. DETAILING AND ERECTION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.
- 4 CONCRETE CONSTRUCTION, INCLUDING MINIMUM REINFORCING STEEL COVERAGE BY CONCRETE, SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318, UNLESS OTHERWISE NOTED.
- 5 PROVIDE SUPPORTS OR CHAIRS TO SUPPORT REBAR AT THE POSITIONS REQUIRED BY THE DRAWINGS. REINFORCEMENT FOR FOOTINGS SHALL BE SUPPORTED ON PRECAST CONCRETE BLOCKS OF A THICKNESS TO PROPERLY POSITION THE REBAR. BLOCKS SHALL BE PROVIDED AT 3'-0" MAXIMUM ON CENTERS.
- 6 LAP CONTINUOUS UNSCHEDULED REINFORCING BARS 40 BAR DIAMETERS UNLESS OTHERWISE NOTED.

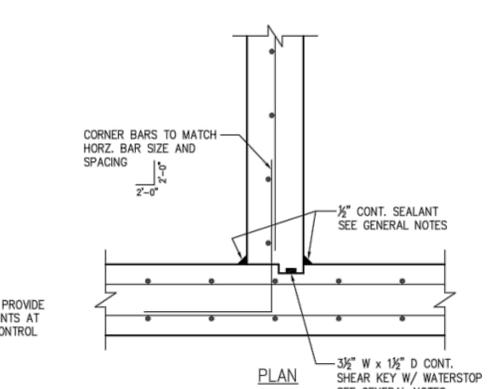
- THAT NECESSARY STRENGTHS HAVE BEEN OBTAINED. SUCH CYLINDERS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- 3 REINFORCED CONCRETE CONSTRUCTION - SERVICES ARE TO BE PROVIDED AS FOLLOWS:
 - A INSPECT EXCAVATIONS, SUBGRADE PREPARATIONS AND REINFORCING STEEL PLACEMENT PRIOR TO CONCRETE POUR.
 - 4 THE CONTRACTOR SHALL COOPERATE AND COORDINATE FULLY WITH THE TESTING LABORATORY.
 - 5 IN THE EVENT THAT CONCRETE ELEMENTS OR MEMBERS DO NOT ACHIEVE THE SPECIFIED MINIMUM COMPRESSIVE STRENGTHS, THE ENGINEER MAY REQUIRE ADDITIONAL ANALYSIS, TESTING OR REMOVAL AND REPLACEMENT OF MEMBERS. ANY AND ALL SUCH ADDITIONAL ANALYSIS OR TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE, WHETHER SUCH ANALYSIS OR TESTING DEMONSTRATES ADEQUATE STRENGTH OR NOT. REPLACEMENT OF ANY MEMBERS DEEMED QUESTIONABLE OR INADEQUATE BY THE ENGINEER SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - 6 THE CONTRACTOR SHALL ARRANGE FOR COPIES OF THE INSPECTION AND TESTING REPORTS TO BE SENT TO THE ENGINEER. COPIES OF TEST AND INSPECTION REPORTS SHALL BE FORWARDED TO THE ENGINEER AS QUICKLY AS POSSIBLE FOLLOWING COMPLETION OF THE TESTS AND INSPECTIONS.



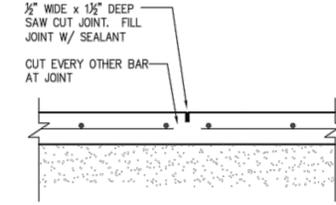
1 RETAINING WALL CONTROL JOINT TYPICAL DETAIL N.T.S.



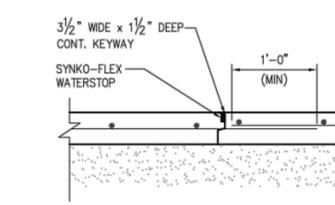
2 RETAINING WALL CONSTRUCTION JOINT TYPICAL DETAIL N.T.S.



3 WALL INTERSECTION TYPICAL DETAIL N.T.S.

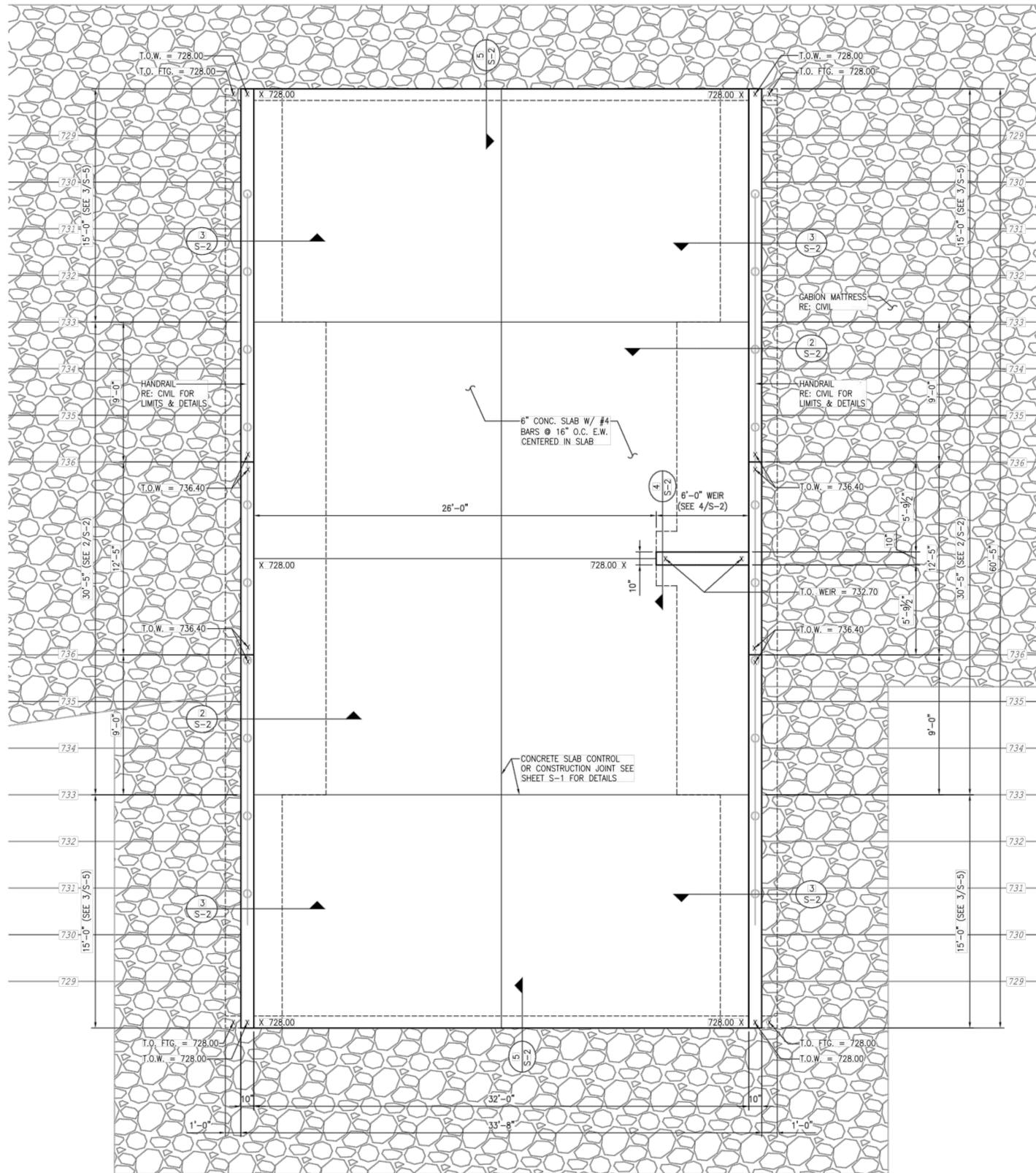


4 SLAB CONTROL JOINT TYPICAL DETAIL N.T.S.

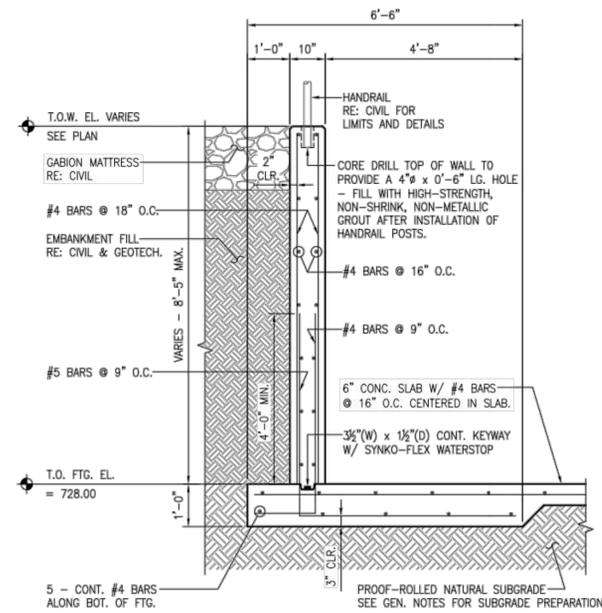


5 SLAB CONSTRUCTION JOINT TYPICAL DETAIL N.T.S.

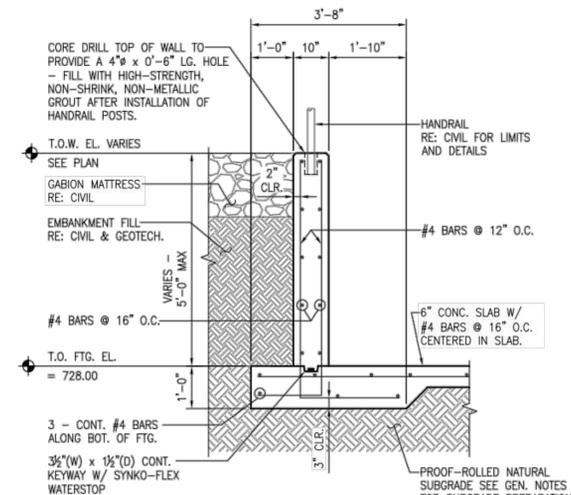
PROJECT NO. 011-5220	DESIGNED BY: CBJ	DRAWN BY: CBJ	CHECKED BY: LSW	APPROVED BY: LSW	DATE: 9/15/2020
Pickett, Kelm & Associates, Inc. Consulting Structural Engineers 4100 Duval Road, Bldg. 4, Suite 103 Austin, Texas 78758 • Phone 512-345-9538 Texas Registration No. E-1491					
POND OUTFALL STRUCTURE PLUM CREEK REGIONAL DETENTION KYLE, HAYS CO., TEXAS					
STRUCTURAL GENERAL NOTES & TYPICAL DETAILS					
Copyright 2020 SHEET NO. 38 OF 39					



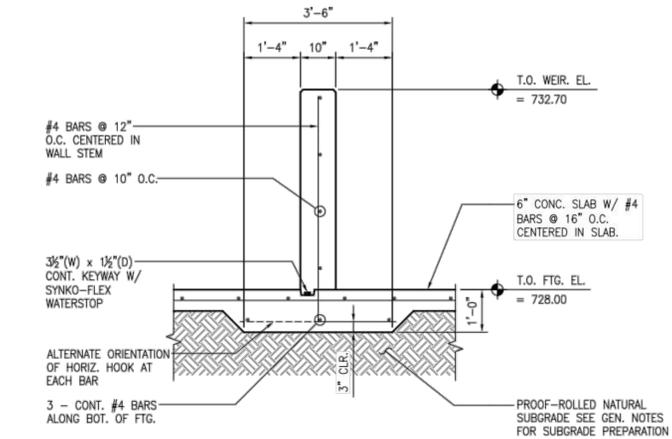
1
OUTFALL STRUCTURE
PLAN
SCALE: 1/4" = 1'-0"



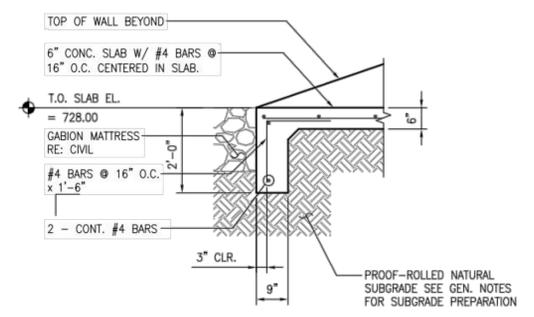
2
OUTFALL STRUCTURE
SECTION
SCALE: 1/2" = 1'-0"



3
OUTFALL STRUCTURE
SECTION
SCALE: 1/2" = 1'-0"



4
OUTFALL STRUCTURE
SECTION
SCALE: 1/2" = 1'-0"



5
OUTFALL STRUCTURE
SECTION
SCALE: 1/2" = 1'-0"



	PROJECT NO. 011-5220 DESIGNED BY: CBJ DRAWN BY: CBJ CHECKED BY: LSW APPROVED BY: LSW DATE: 9/15/2020
POND OUTFALL STRUCTURE PLUM CREEK REGIONAL DETENTION KYLE, HAYS CO., TEXAS	
OUTFALL STRUCTURE PLAN & SECTIONS	Copyright 2020 SHEET NO. 39 OF 39



CITY OF KYLE, TEXAS

Plum Creek Phase 2, Section 6 & 10 Grading Improvements - Site Plan (SD-20-0080)

Meeting Date: 12/8/2020
Date time: 6:30 PM

Subject/Recommendation: Plum Creek Phase 2, Section 6 & 10 Grading Improvements - Site Plan (SD-20-0080) limits of construction for 92.43 acres, construction entrance is located at 3251 S. FM 1626.

Staff Proposal to P&Z: Approve the Site Plan.

Other Information: See attached.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

Site Plan

LAND DISTURBANCE PERMIT FOR PLUM CREEK PHASE II SECTION 6 AND 10 GRADING IMPROVEMENTS

OWNER/DEVELOPER: PLUM CREEK DEVELOPMENT PARTNERS, LTD.
4040 BROADWAY, SUITE 501
SAN ANTONIO, TX 78209
(512) 391-1789

SURVEYOR: LANDDEV CONSULTING LLC
5508 HIGHWAY 290 WEST SUITE 150
AUSTIN, TEXAS 78735
PHONE: (512) 872-6696

ENGINEER: CONTACT: JOSEPH R. GALLEGOS, P.E.
LANDDEV CONSULTING LLC
4201 W. PARKER LANE, SUITE C-100
AUSTIN, TEXAS 78727
PHONE: (512) 872-6696

ZONING:
PC - EMP, PC - MXD, PC - OS

LAND USE SUMMARY:
LIMITS OF CONSTRUCTION 92.43 ACRES

FLOODPLAIN INFORMATION:
A PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF A 100 YEAR FLOOD PLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP PANEL NUMBER 48209C0290F, EFFECTIVE DATED SEPTEMBER 2, 2005.

THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER TRANSITION ZONE, ACCORDING TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).

GENERAL NOTES:

- 1) ALL WORK IN THIS SUBDIVISION SHALL CONFORM TO CITY OF KYLE PLUM CREEK PUD ORDINANCE NO. 308 AND NO. 311.
- 2) ALL DISTURBED AREAS WITHIN PUBLIC RIGHT-OF-WAY OR DRAINAGE CHANNELS SHALL BE RESTORED AS FOLLOWS:
 - A MINIMUM OF 4" OF TOPSOIL (SALVAGED FROM EXISTING) SHALL BE PLACED ON GRADED AREAS.
 - THE CONTRACTOR SHALL THEN HYDROMULCH, SEED OR SOD THE AREA WITH A GRASS OR GRASS MIXTURE APPROPRIATE TO THE SEASON.
 - GRASSED AREA SHALL BE FERTILIZED WITH 10:10:10 FERTILIZER AT 200 POUNDS PER ACRE.
 - GRASS SHALL BE WATERED AS NEEDED UNTIL JOB IS ACCEPTED.
 - RESTORATION SHALL BE DEEMED COMPLETED WHEN GRASS IS AT LEAST 1-1/2" HIGH AND COVERAGE IS AT LEAST 95% PROVIDED NO BARE SPOTS OVER 16 SQUARE FEET EXIST.
- 3) NO BLASTING IS ALLOWED FOR THIS PROJECT.
- 4) THE CONTRACTOR SHALL NOTIFY THE CITY OF KYLE PUBLIC WORKS DEPARTMENT, TEL (512) 262-3024, 48 HOURS BEFORE START OF WORK.
- 5) PRIOR TO THE START OF CONSTRUCTION A PRECONSTRUCTION CONFERENCE SHALL BE CONVENED BY THE CONTRACTOR. ATTENDANCE SHALL INCLUDE THE CITY ENGINEER, ENGINEER, OWNER, AND UTILITY OWNERS. COORDINATION OF THE CONSTRUCTION CONFERENCE SHALL BE THROUGH THE CITY OF KYLE PUBLIC WORKS SECRETARY, JANIE TOBIAS AT (512) 262-3024 X4003.
- 6) CONTRACTOR SHALL CALL THE CITY OF KYLE PUBLIC WORKS DEPARTMENT AT (512) 262-3024 FOR ANY CITY OWNED UTILITIES THAT MAY NEED LOCATING.
- 7) ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT OWNERS EXPENSE. ANY RETESTING NECESSARY SHALL BE AT THE CONTRACTORS EXPENSE. THE CITY OF KYLE PUBLIC WORKS INSPECTOR SHALL BE NOTIFIED OF ALL TESTING AT LEAST 24 HOURS IN ADVANCE AT (512) 262-3024.
- 8) BARRICADES BUILT TO CITY OF KYLE STANDARDS SHALL BE CONSTRUCTED AT TEMPORARY DEAD ENDS.
- 9) IN ACCORDANCE WITH THE LAW OF THE STATE OF TEXAS AND THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD OR COMPACTED OR SOFT OR UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED. THE CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN TO THE ENGINEER FOR REVIEW.
- 10) THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SIGNAGE OF ALL WORK WITHIN STATE OR COUNTY RIGHT-OF-WAYS.
- 11) ALL TRAFFIC CONTROL DESIGNS SHALL CONFORM TO THE CURRENT EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 12) ALL SIGNS AT NIGHT SHALL BE REFLECTORIZED AND SHALL HAVE A TYPE "A" FLASHING LIGHT.

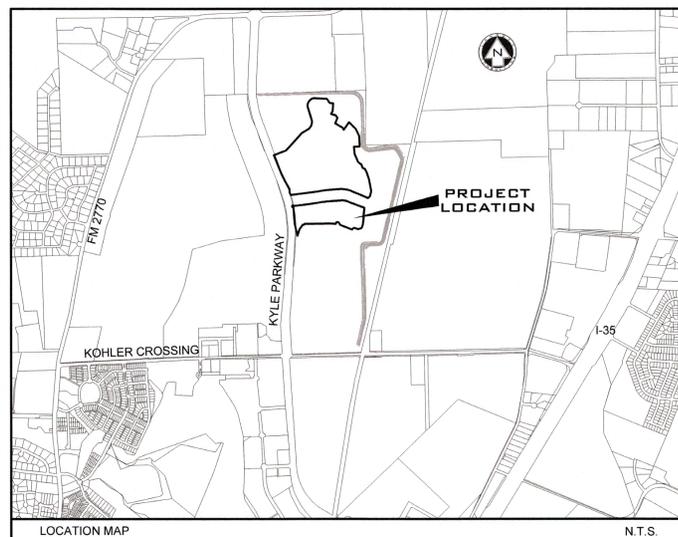
BENCHMARKS:

- TBM:5549_309:
MAG NAIL SET IN CONCRETE CULVERT ALONG WEST RIGHT-OF-WAY OF FM 1626,
APPROX. 26 FEET SOUTHEAST OF THE NORTHEAST CORNER OF LOT 2.
ELEVATION = 764.58'
- TBM:5549_418
MAG NAIL SET IN CONCRETE HEADWALL ALONG WEST RIGHT-OF-WAY OF FM 1626
CROSSING BUNTON BRANCH TRIBUTARY 4.
ELEVATION = 752.09'
- TBM:5549_419
MAG NAIL SET IN CONCRETE CULVERT ALONG WEST RIGHT-OF-WAY OF FM 1626
APPROX. 39 FEET EAST OF THE NORTHEAST CORNER OF LOT 3.
ELEVATION = 785.89'

NORTH HAYS COUNTY MUNICIPAL UTILITY DISTRICT NO. 2 KYLE, TEXAS

SUBMITTAL DATE:

AUGUST 2020



LEGAL DESCRIPTION:

A0010 MORTON M MCCARVER SURVEY, ACRES 146.736,
EMP R&D PARK AREA 10 AKA PT PH2 TR C

A0010 MORTON M MCCARVER SURVEY, PT OF PHASE 2
TRACT C, ACRES 0.50

Sheet Index

- 01 COVER SHEET
- 02 GENERAL NOTES
- 03 EXISTING CONDITIONS
- 04 EROSION & SEDIMENTATION CONTROL PLAN
- 05 GRADING PLAN
- 06 GENERAL DETAILS

SUBMITTED BY:

Anthony J. Ennis
ANTHONY J. ENNIS, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 125658
LANDDEV CONSULTING, LLC, FIRM NO 16384
4201 W. PARKER LANE, SUITE C-100
AUSTIN, TEXAS 78727
(512) 872-6696



11/5/2020

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

REVIEWED BY:

Shane Potter

11-05-2020

NORTH HAYS MUD NO. 2

DATE

REVIEW OF THE PLANS BY THE DISTRICT IS LIMITED TO WATER, WASTEWATER AND DRAINAGE AND DOES NOT INDICATE A REVIEW OF THE ADEQUACY OF THE DESIGN FOR THE FACILITIES. IN APPROVING THESE PLANS, THE DISTRICT MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



Know what's below.
Call before you dig.

LANDDEV
CONSULTING, LLC
4201 W. PARKER LANE, SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

Anthony J. Ennis



5 November 2020 TPE FIRM #16384

COVER SHEET
PLUM CREEK PHASE II
SECTION 6 AND 10
GRADING IMPROVEMENTS
KYLE, TEXAS

DESIGNED BY: JB/DA

DRAWN BY: JB/DA

CHECKED BY: AE

APPROVED BY: AE

SHEET 1 OF 06

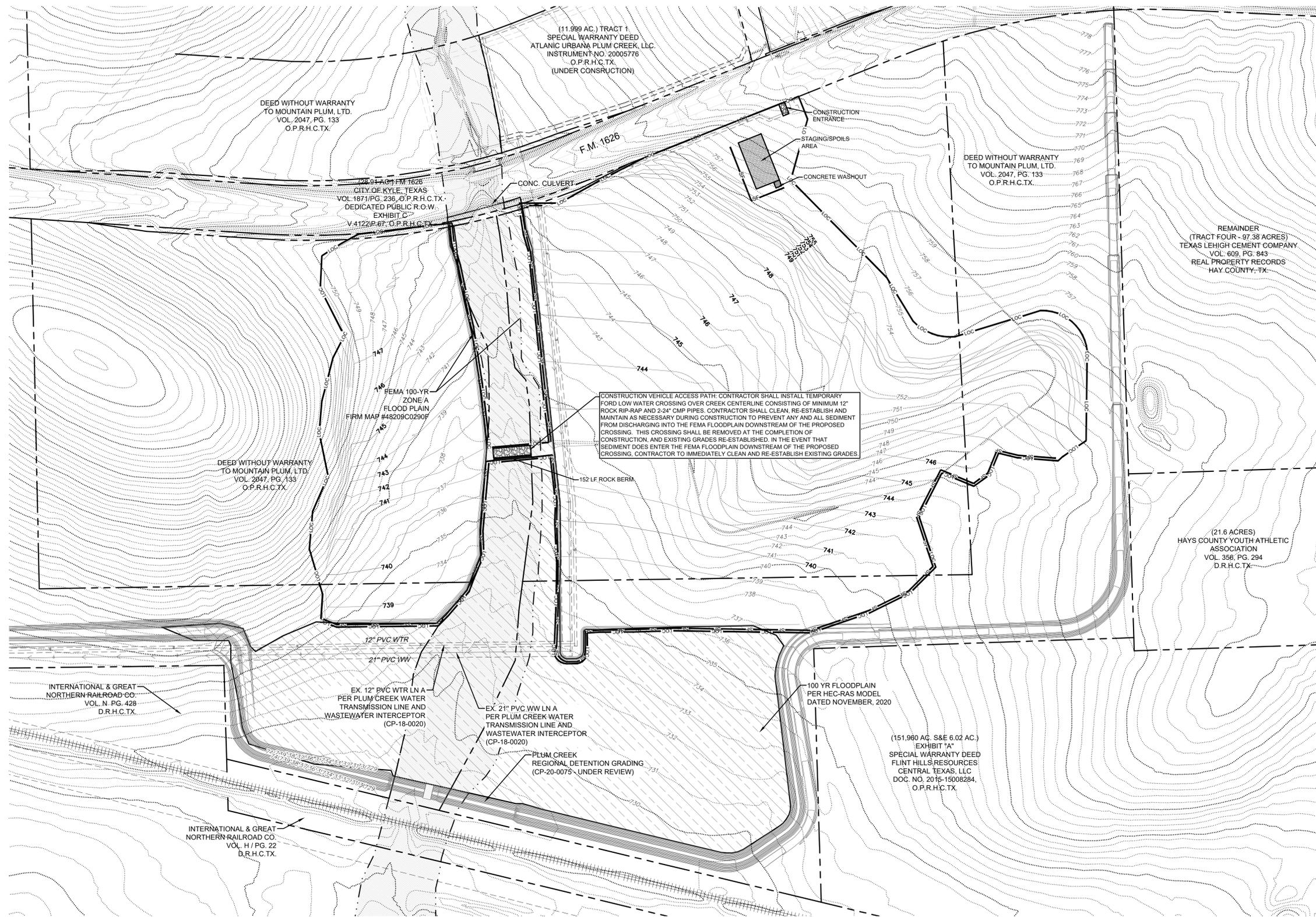
SECTION 6 AND 10 GRADING IMPROVEMENTS



0 200' 400'
SCALE: 1" = 200'

LEGEND

- 8.34 EXISTING MINOR CONTOUR
- 8.35 EXISTING MAJOR CONTOUR
- 834 PROPOSED MINOR CONTOUR
- 835 PROPOSED MAJOR CONTOUR
- BOUNDARY
- EASEMENT
- LOC LIMITS OF CONSTRUCTION
- SF SILT FENCE
- FLOODPLAIN
- STABILIZED CONSTRUCTION ENTRANCE
- ROCK BERM
- TEMPORARY SPOILS AREA
- CONCRETE WASHOUT AREA



CONSTRUCTION VEHICLE ACCESS PATH: CONTRACTOR SHALL INSTALL TEMPORARY FORD LOW WATER CROSSING OVER CREEK CENTERLINE CONSISTING OF MINIMUM 12\"/>

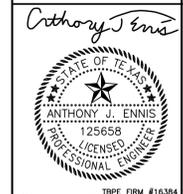
NOTE:

- 1) THE PROPOSED GRADING PLAN IS ASSUMED TO DISTURB APPROXIMATELY 42' OF JURISDICTIONAL WATERS. CONTRACTOR SHALL TAKE EXTRA CARE TO ENSURE THAT THIS LIMITS OF DISTURBANCE DOES NOT INCREASE BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THE PLAN.
- 2) CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION AND SEDIMENTATION INSTALLED PROTECTIONS AFTER ANY RAINFALL EVENT IN EXCESS OF 0.2\"/>

NO.	REVISION	BY	DATE

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING LLC
4201 W. ARMY AVE., SUITE 100
AUSTIN, TX 78723
OFFICE: 512.872.6696
FIRM NO. 16384



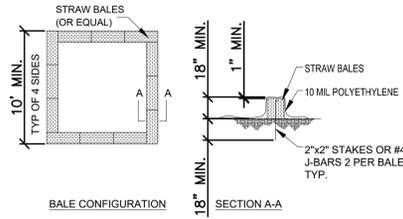
5 November 2020 TBPE FIRM #16384

EROSION & SEDIMENTATION CONTROL PLAN
PLUM CREEK PHASE II
SECTION 6 AND 10
GRADING IMPROVEMENTS
KYLE, TEXAS

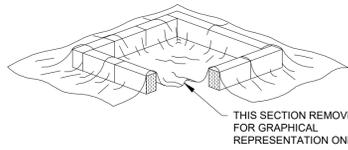
DESIGNED BY: JG/DA
DRAWN BY: JG/DA
CHECKED BY: AE
APPROVED BY: AE

SHEET 4 OF 06

C:\19000\194502\02_PC_Sec 6 & 10\Drawings\194502_02a_Regional Grading Improvements\03_ACAD\PlumCreek\0202a_EROSION November 05, 2020 11:59 AM.dwg

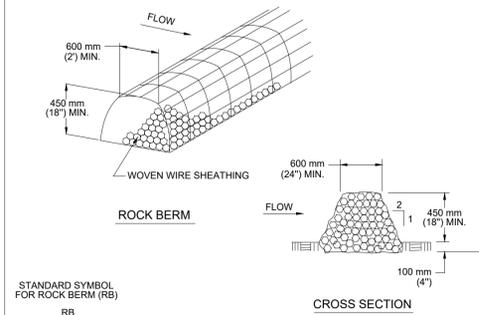


NOTES:
1. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES



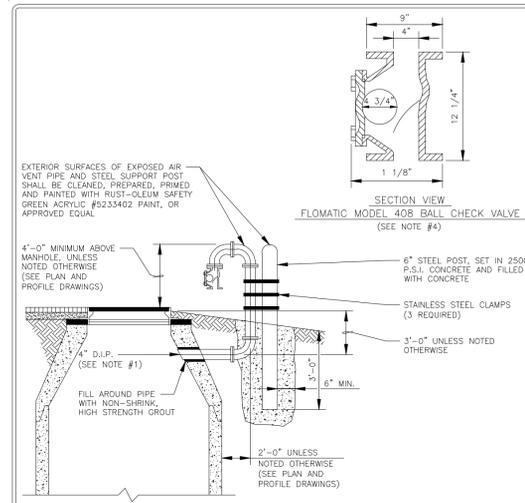
CONCRETE WASHOUT DETAIL

DATE: 05/23/17 SCALE: N.T.S DRAWN BY: NAL



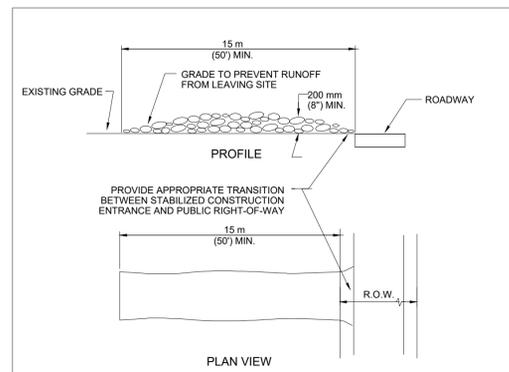
NOTES:
1. USE ONLY OPEN GRADED ROCK 75 TO 125 MM (3 TO 5") DIAMETER FOR ALL CONDITIONS.
2. THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 25 MM (1") OPENING AND MINIMUM WIRE DIAMETER OF 12.9 MM (20 GAUGE).
3. THE ROCK BERM SHALL BE INSPECTED DAILY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE-WOVEN SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SEDIMENT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
4. IF SEDIMENT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE BERM OR 150 MM (6"), WHICHEVER IS LESS, THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF ON AN APPROVED SITE AND IN A MANNER THAT WILL NOT CREATE A SEDIMENTATION PROBLEM.
5. WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY MORGAN BYARS 8/24/2010 ADOPTED
STANDARD NO. 639S-1



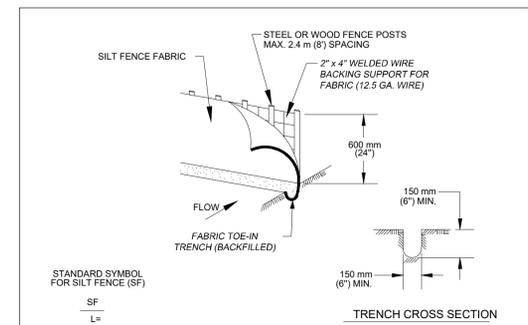
NOTES:
1. AIR VENT PIPE TO BE 4" D.I.P., CLASS 53 WITH FLANGED CONNECTIONS.
2. ALL FITTINGS TO BE 150 PSIG RATED & ANS/AWWA C110/A21.10.
3. AIR VENT PIPE RISER SHALL BE INSTALLED TO A MINIMUM DEPTH FROM GROUND SURFACE AS POSSIBLE, PREFERABLY LOCATED IN THE CONCENTRIC CONCRETE CONE.
4. MINIMUM ELEVATION AT THE VENT OPENING SHALL BE 1 FOOT (1'-0") ABOVE THE ULTIMATE 100 YEAR FLOOD PLAIN ELEVATION, IF ELEVATION OF VENT OPENING IS LESS THAN 1 FOOT (1'-0") ABOVE THE ULTIMATE 100 YEAR FLOOD PLAIN ELEVATION, A FLOMATIC MODEL 408, PART #2145 BALL CHECK VALVE, OR APPROVED EQUAL, WITH FLOATING TYPE BALL SHALL BE INSTALLED AT DOWN TURNED OPENING OF VENT. A 16 MESH 304 STAINLESS STEEL INSECT SCREEN SHALL BE PLACED IN THE OPENING.

CITY OF ROUND ROCK
MANHOLE VENT FOR ABOVE GROUND INSTALLATION DETAIL (UNDEVELOPED AREAS)
DRAWING NO. WW-06



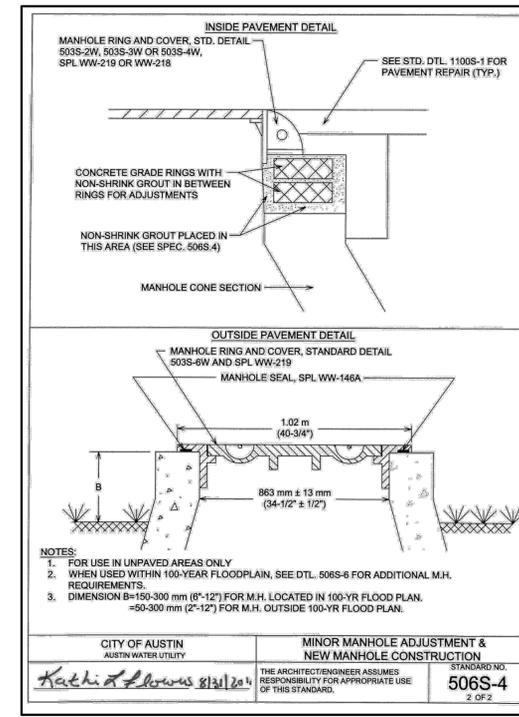
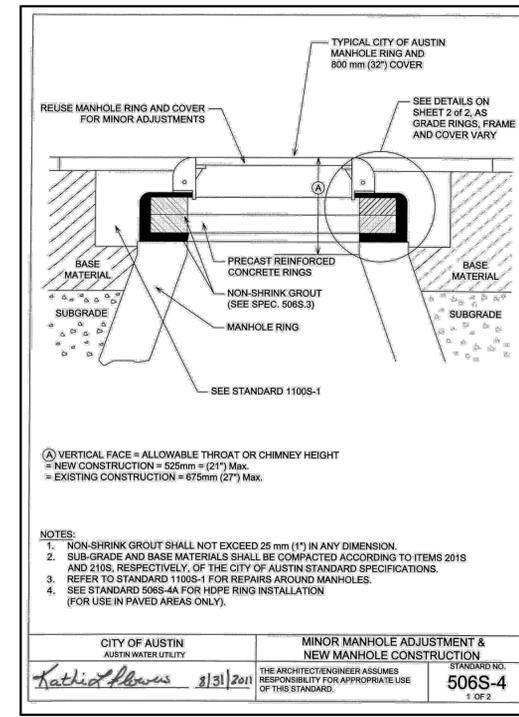
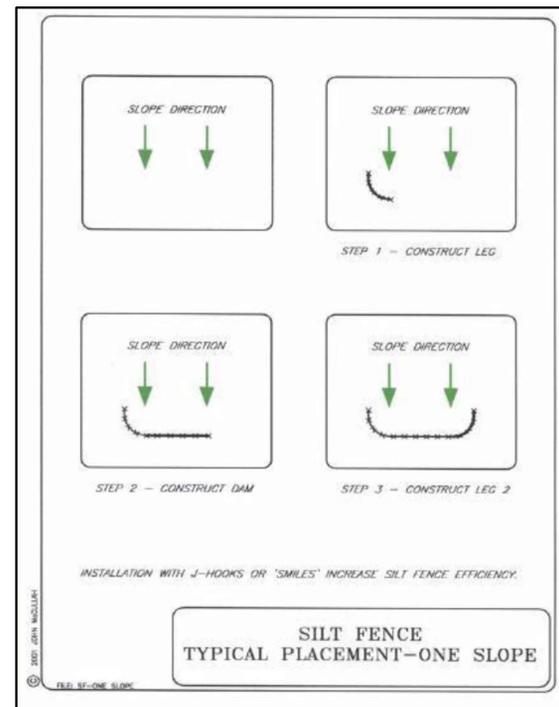
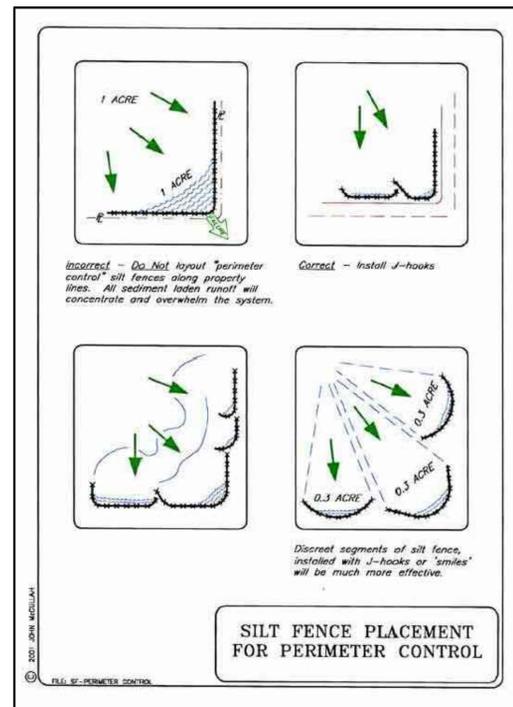
NOTES:
1. STONE SIZE: 75-125 MM (3-5") OPEN GRADED ROCK.
2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 15 M (50').
3. THICKNESS: NOT LESS THAN 200 MM (8").
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS/EGRESS.
5. WASHING: WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE AND DRAINING INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AS WELL AS REPAIR AND CLEAN OUT OF ANY MEASURE DEVICES USED TO TRAP SEDIMENT. ALL SEDIMENTS THAT IS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
7. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY J. PATRICK MURPHY 5/23/00 ADOPTED
STANDARD NO. 641S-1



NOTES:
1. STEEL OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300 MM (12 INCHES). IF WOOD POSTS CANNOT ACHIEVE 300 MM (12 INCHES) DEPTH, USE STEEL POSTS.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH MUST BE A MINIMUM OF 150 MM (6 INCHES) DEEP AND 150 MM (6 INCHES) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150 MM (6 INCHES). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY MORGAN BYARS 09/01/2010 ADOPTED
STANDARD NO. 642S-1



PLM-Stake-LandDev-GovSub-03b
Template: LDC_C:\2017\8.DWT
C:\19000\184502\02_PC_Sec 6 10 Upstream\184502\02a_Improvements\03_ACAD\PlumStake\184502.dwg GENERAL DETAILS November 05, 2020, 10:00 PM, aemms

REVISION NO. BY DATE

811 Know what's below. Call before you dig.

LAND DEV
CONSULTING LLC
4201 W. BARBER LANE, SUITE 100
AUSTIN, TX 78723
OFFICE: 512.872.6696
FIRM NO. 16384

5 November 2020 TBP# FIRM #16384

GENERAL DETAILS
PLUM CREEK PHASE II
SECTION 6 AND 10
GRADING IMPROVEMENTS
KYLE, TEXAS

DESIGNED BY: JG/DA
DRAWN BY: JG/DA
CHECKED BY: AE
APPROVED BY: AE

SHEET 6 OF 06



CITY OF KYLE, TEXAS

Discussion only regarding Planning and Zoning Commission request for future agenda items.

Meeting Date: 12/8/2020
Date time:6:30 PM

Subject/Recommendation: Discussion only regarding Planning and Zoning Commission request for future agenda items.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available



CITY OF KYLE, TEXAS

Staff Report by Howard J. Koontz

Meeting Date: 12/8/2020

Date time:6:30 PM

Subject/Recommendation: Staff Report by Howard J. Koontz, Director of Planning and Community Development.

Other Information:

Legal Notes:

Budget Information:

ATTACHMENTS:

Description

No Attachments Available