

COOL SPRINGS SUBDIVISION

PRELIMINARY PLAN UPDATE

PROJECT TITLE: COOL SPRINGS SUBDIVISION

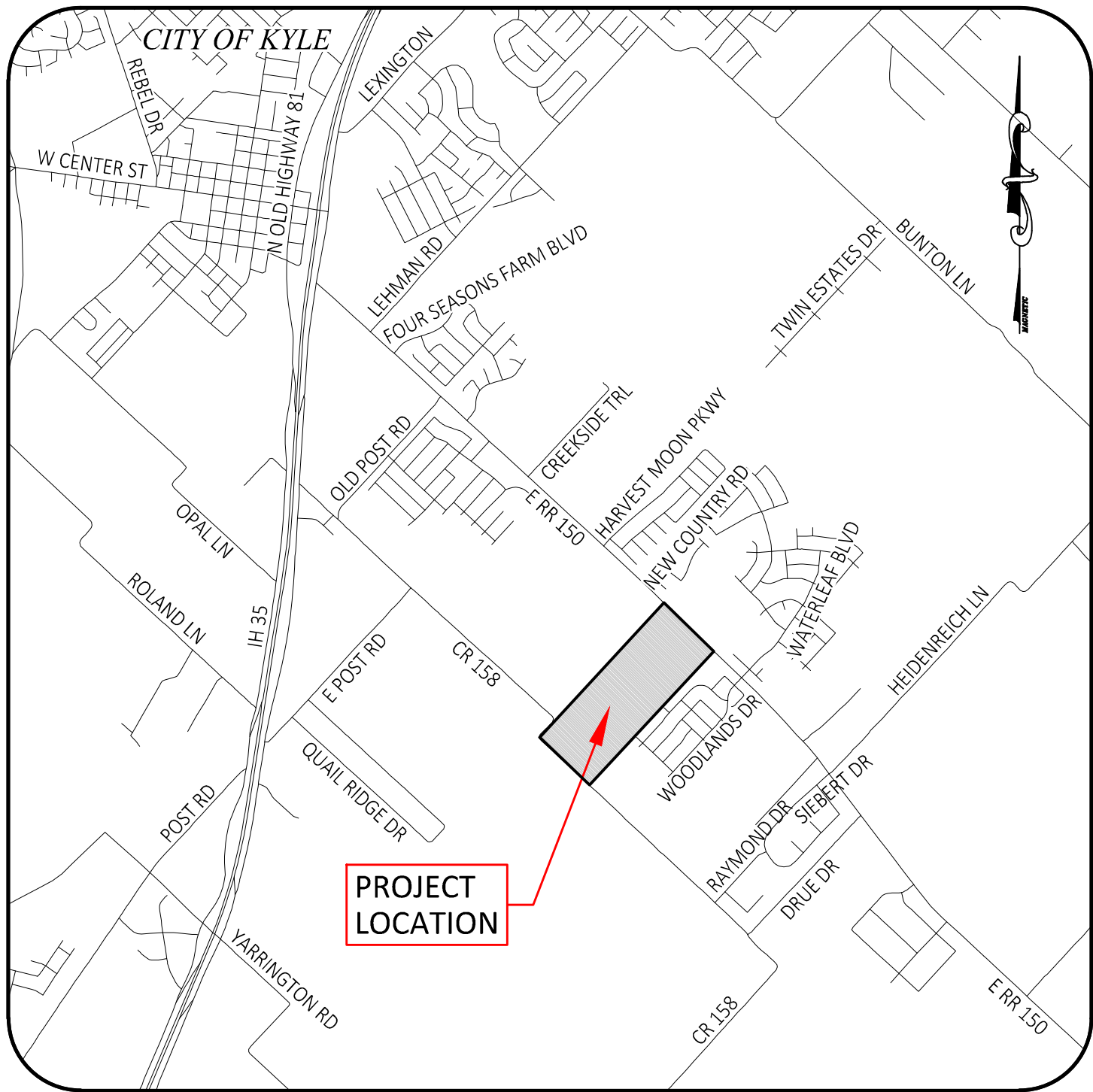
PROJECT LEGAL DESC.: (126.41 ACRES)
LENNAR HOMES OF TEXAS AND CONSTRUCTION, LTD.
VOL. 4917, PG. 152, H.C.D.R.

PROJECT ADDRESS: 1961 FM ROAD 150

PROPERTY OWNER: LENNAR HOMES OF TEXAS AND CONSTRUCTION, LTD.

PROJECT SURVEYOR: PAUL FLUGEL, RPLS.
WUEST GROUP
2007 S. 1ST. STREET, SUITE 103
AUSTIN, TX 78704
(512) 694-1900

PROJECT ENGINEER: DOUCET + CHAN
-A DIVISION OF DOUCET & ASSOCIATES, INC.
CIVIL ENGINEERING - ENTITLEMENTS - SURVEYING/MAPPING
7401 B. HIGHWAY 71 W, SUITE 160
AUSTIN, TEXAS 78735, PHONE: (512)-583-2600
WWW.DOUCETENGINEERS.COM
FIRM REGISTRATION NUMBER: 3937



LOCATION MAP
NOT-TO-SCALE

FLOODPLAIN NOTE:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL 48209C0405F DATED SEPTEMBER 2, 2005 FOR HAYS COUNTY.

AQUIFER NOTE:
THIS PROJECT IS NOT LOCATED IN THE EDWARD'S AQUIFER RECHARGE ZONE.

EASEMENTS:
A FIFTEEN (15) FOOT P.U.E. IS HEREBY DEDICATED TO ALL STREET R.O.W., A FIVE (5) FOOT P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE LOT LINE AND A TEN (10) FOOT P.U.E. IS HEREBY DEDICATED ADJACENT TO ALL REAR LOT LINES ON ALL LOTS.

HORIZONTAL AND VERTICAL DATUM:
NAD'83 (HORIZONTAL DATUM)
TEXAS STATE PLANE COORDINATE SYSTEM
SOUTH CENTRAL ZONE (4204)
(CSF = 0.9998947279)

NAVD'88 (VERTICAL DATUM)

ON SITE BENCHMARK:

BM#1- CUT SQUARE ON CURB AT SOUTHEAST CORNER OF F.M 150 AND NEW BRIDGE DR.
ELEV.=671.34'

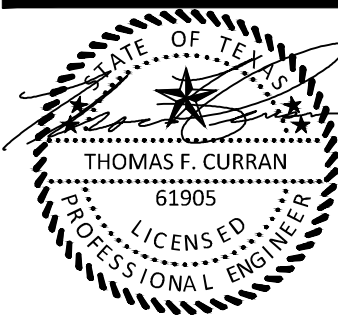
BM#2- CUT SQUARE ON CONCRETE ON WEST SIDE OF F.M 150 AT SOUTH END OF BRIDGE
APPROXIMATELY 400' FROM CENTERLINE OF INTERSECTION OF NEW BRIDGE DR.
ELEV.=667.94'

TABLE OF CONTENTS	
NO.	SHEET TITLE
PRELIMINARY DWGS	
1	COVER SHEET
2	OVERALL SITE PLAN
3	SITE PLAN SHEET 1
4	SITE PLAN SHEET 2

DATE OF SUBMITTAL: AUGUST 25, 2017

SUBMITTED BY:
DOUCET + CHAN DATE

APPROVED BY:
CITY OF KYLE PLANNING DEPARTMENT DATE



9/20/2017

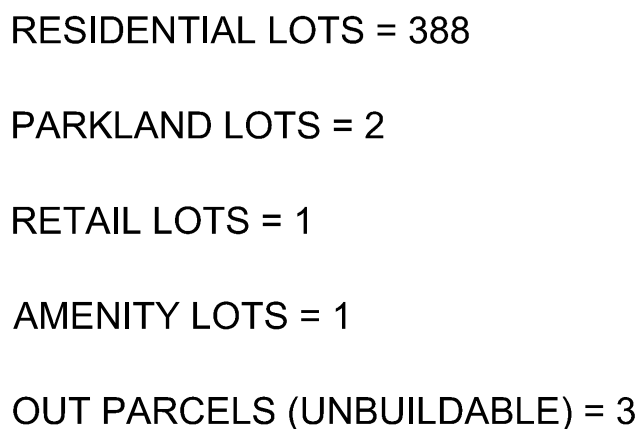
Scale: 1"=
Designed: TFC
Drawn: CSD
Reviewed: RC
Date: 9/20/2017

SHEET

1

OF 4

Project No.:
1636-002

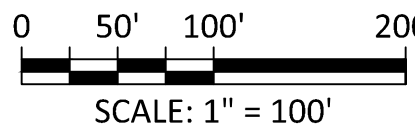


1. A FIFTEEN (15) FOOT P.U.E. IS HEREBY DEDICATED TO ALL STREET R.O.W., A FIVE (5) FOOT P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE LOT LINE AND A TEN (10) FOOT P.U.E. IS HEREBY DEDICATED ADJACENT TO ALL REAR LOT LINES ON ALL LOTS.
2. SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF SUBDIVISION STREETS.
3. SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.
4. SIGHT DISTANCE ALL ALL INTERSECTIONS TO COMPLY WITH ORD. #439, ARTICLE V, SEC. 4 (m)(iv); KYLE CODE.
5. CUL-DE-SACS ARE DESIGNED SO THAT STORMWATER DRAINAGE WILL BE CONTAINED WITHIN THE R.O.W. OF THE CUL-DE-SAC.
6. SUBDIVISION COMPLIES WITH THE CITY OF KYLE ROADWAY PLAN.
7. PARKLAND DEDICATION AND DEVELOPMENT FEES ARE PROPOSED TO BE OFFSET/WAIVED WITH THE DEVELOPMENT OF A PUBLIC PARK BY THE DEVELOPER, WITH LOTS 103 AND 104 THEN DEDICATED TO THE CITY OF KYLE AS A PUBLIC PARK. THIS WILL BE FORMALIZED DURING THE FINAL PLAN AND CONSTRUCTION DOCUMENT PHASE WITH THE CITY ENGINEER VERIFYING THAT THE PROPOSED IMPROVEMENTS AND LAND DEDICATION ARE EQUAL TO OR EXCEED THE PARKLAND DEDICATION AND DEVELOPMENT FEES.

COOL SPRINGS SUBDIVISION - STREET CLASSIFICATION CHART			
STREET NAME	STREET CLASSIFICATION	PROPOSED PAVEMENT WIDTH (FOC-FOC)	RIGHT-OF-WAY WIDTH (FEET)
COOL SPRINGS BOULEVARD	LOCAL COLLECTOR	33 -FEET (WITH ENTRANCE HAVING 2 16-FOOT LANES WITH 14-FOOT MEDIAN)	60-70' VARIABLE
MINERAL SPRINGS DRIVE	LOCAL COLLECTOR	36-FEET (WITH ENTRANCE HAVING 2 16-FOOT LANES WITH 14-FOOT MEDIAN)	60-70' VARIABLE
JUNIPER SPRINGS ROAD	LOCAL	30-FEET	60-FEET
COPPER LANE	LOCAL	30-FEET	60-FEET
JACKSON BLUE LANE	LOCAL	30-FEET	60-FEET
FLORIDA SPRINGS DRIVE	LOCAL	36-FEET	60-FEET
SILVER SPRINGS BEND	LOCAL	30-FEET	60-FEET
EMERALD PASS	LOCAL	30-FEET	60-FEET
CRYSTAL RIVER ROAD	LOCAL	30-FEET	60-FEET
MORNING GLOW	LOCAL	30-FEET	60-FEET
SILVER GLEN DRIVE	LOCAL	30-FEET	60-FEET
SALT SPRINGS ROAD	LOCAL	30-FEET	60-FEET
MANATEE LANE	LOCAL	30-FEET	60-FEET
SILVER SPRINGS BEND	LOCAL	30-FEET	60-FEET
BLUE SPRINGS PASS	LOCAL	30-FEET	60-FEET
RIVER RISE ROAD	LOCAL	30-FEET	60-FEET
OTTER ROAD	LOCAL	30-FEET	60-FEET
VORTEX PASS ROAD	LOCAL	30-FEET	60-FEET
HILL SIDE GLOW	LOCAL	30-FEET	60-FEET

NOTES:

NO LOTS FRONT ONTO AND NO PARKING IS ALLOWED ON COOL SPRINGS BOULEVARD (PARKING RESTRICTION DOES NOT INCLUDE THE EXTRA PARALLEL PARKING FOR PARK IMPROVEMENTS).



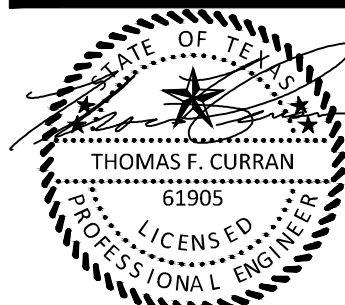
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3. SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.
4. SIGHT DISTANCE ALL ALL INTERSECTIONS TO COMPLY WITH ORD. #439, ARTICLE V, SEC. 4 (m)(iv); KYLE CODE.
5. CUL-DE-SACS ARE DESIGNED SO THAT STORMWATER DRAINAGE WILL BE CONTAINED WITHIN THE R.O.W. OF THE CUL-DE-SAC.
6. SUBDIVISION COMPLIES WITH THE CITY OF KYLE ROADWAY PLAN.

LOT NOTES:

- TOTAL RESIDENTIAL LOTS = 388
- LOT 1, BLOCK E, IS THE AMENITY LOT.
- LOT 1, BLOCK F, IS A RETAIL LOT.
- LOT 7, BLOCK B, IS NOT A BUILDABLE LOT.
- LOT 32, BLOCK E AND LOT 2, BLOCK F, ARE PROPOSED PARKLAND LOTS TO BE DEDICATED TO THE CITY OF KYLE.
- LOT 13, BLOCK L, IS NOT A BUILDABLE LOT.
- LOT 28, BLOCK M, IS A PROPOSED DRAINAGE EASEMENT FOR STORM WATER DETENTION AND IS NOT A BUILDABLE LOT.

COOL SPRINGS
KYLE, TEXAS
PRELIMINARY SUBDIVISION PLAN
UPDATE



9/20/2017

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Designed: TFC
Drawn: CSD
Reviewed: RC
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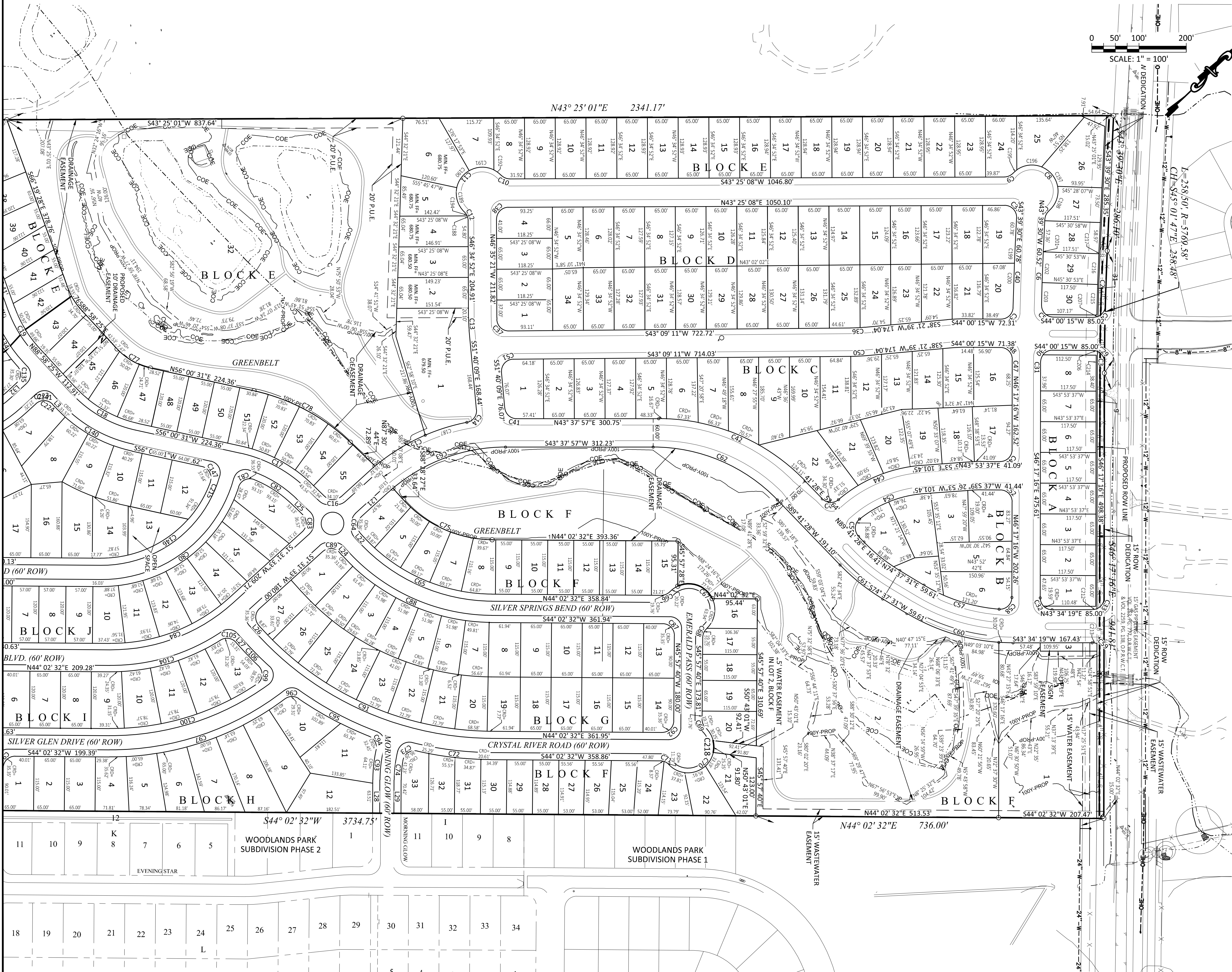
SHEET
3
OF 4

Project No.:
1636-002

SITE PLAN SHEET 1

DOUCET-CHAN

-A Division of Doucet & Associates, Inc.-
Civil Engineering - Entitlements - Surveying/Mapping
7401 B. Highway 71 W, Suite 160
Austin, Texas 78735, Phone: (512)-583-2600
www.doucetengineers.com
Firm Registration Number: 3937



CONTRACTOR NOTES:
EXISTING UNDERGROUND & OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTH PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL CONSIDER PROPOSED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

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SITE PLAN SHEET 2

COOL SPRINGS
KYLE, TEXAS

PRELIMINARY SUBDIVISION PLAN
UPDATE

