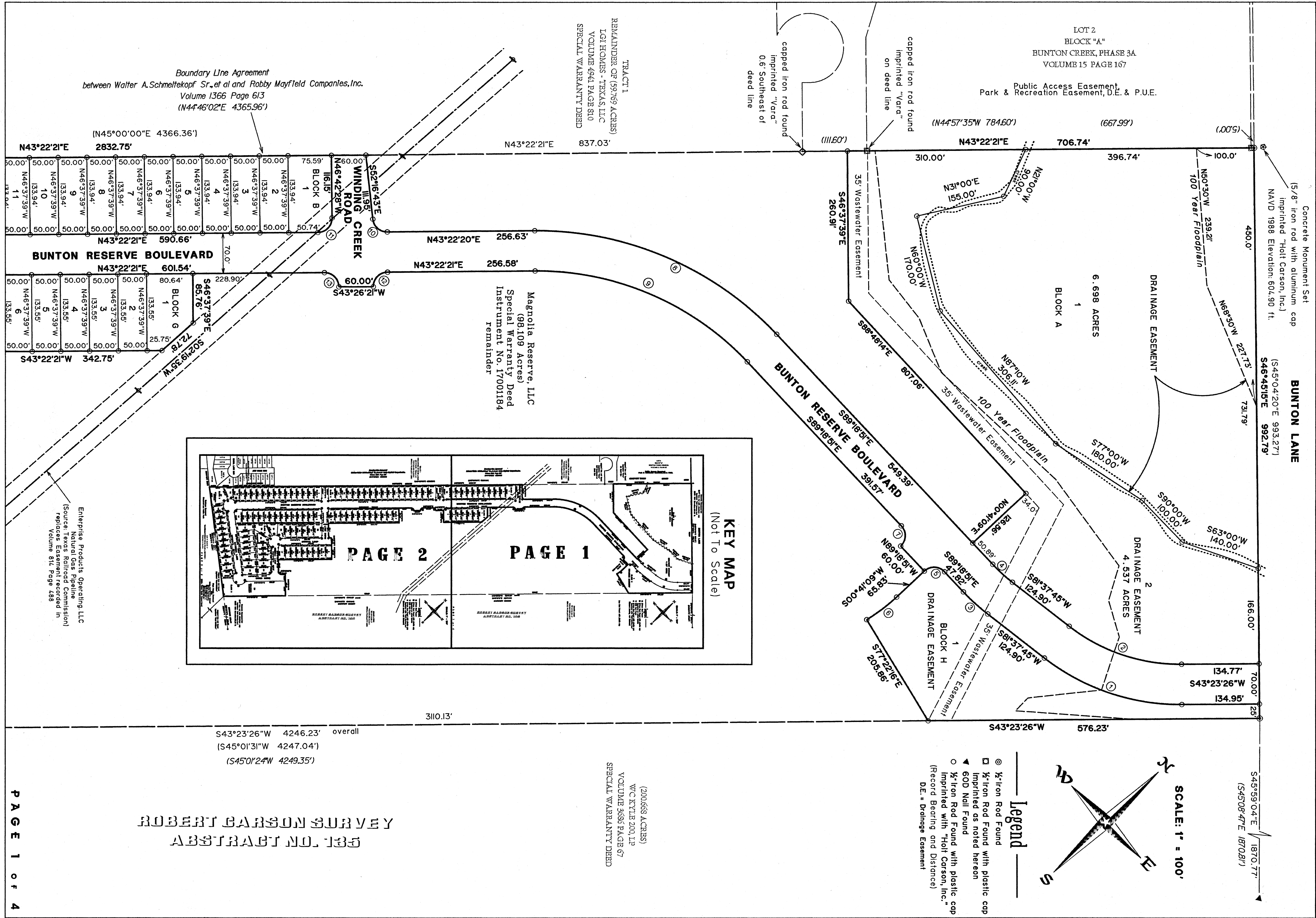
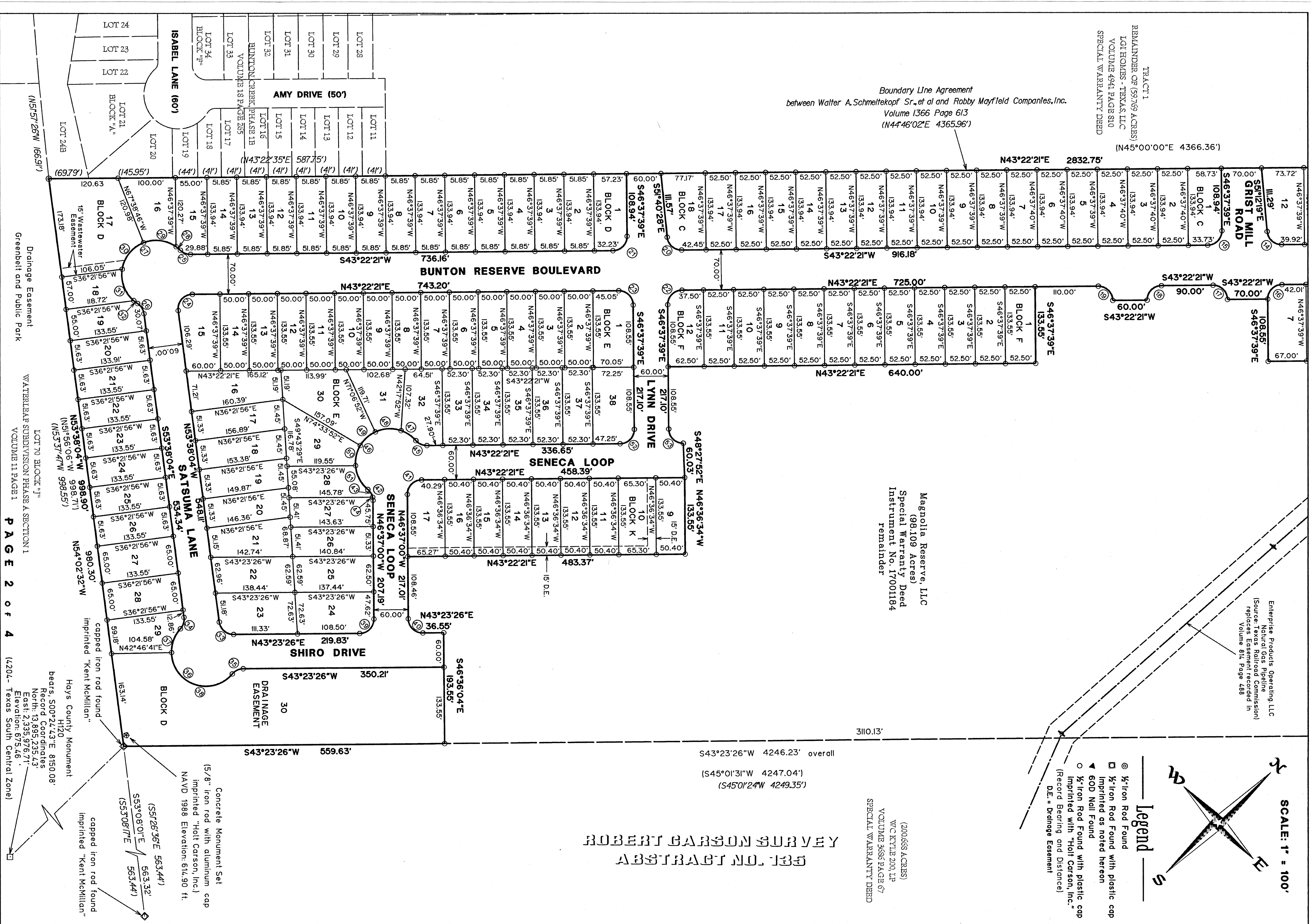




BUNTON CREEK RESERVE PHASE 1

(N45°00'00"E 4366.36')

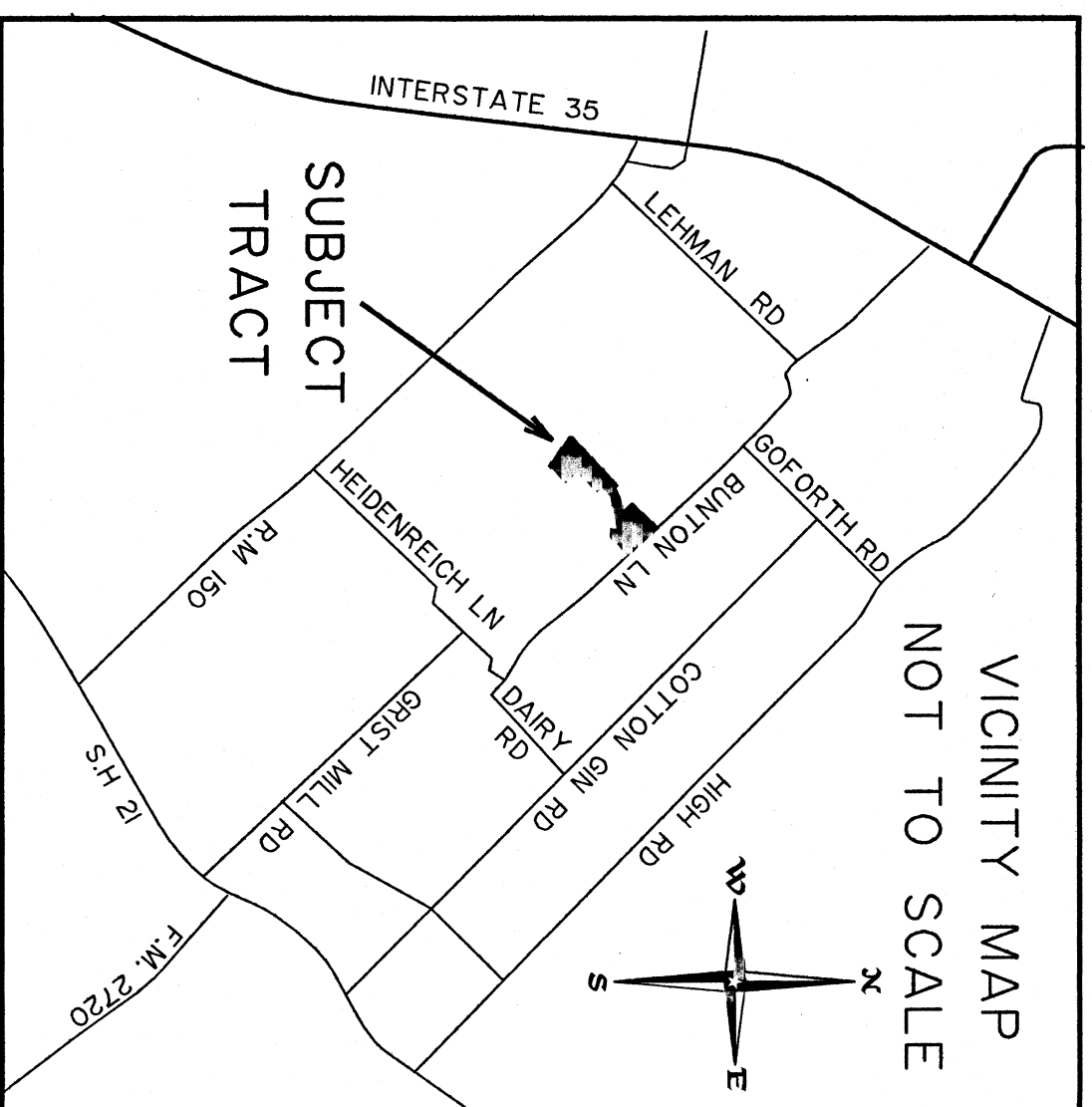
between Walter A.Schmeltkopf Sr.,et al and Robby Mayfield Companies,Inc.
Volume 1366 Page 613
(N44°46'02"E 4365.96')



BUNTON CREEK RESERVE PHASE 1

CURVE DATA

① Δ= 38°14'.20" R= 385.00' T= 133.46' C= 252.20' A= 236.93' CB= N62°30'.36"E	② Δ= 36°14'.20" R= 315.00' T= 109.20' C= 206.35' A= 210.23' CB= S62°30'.35"W	③ Δ= 9°03'.24" R= 363.00' T= 28.75' C= 57.32' A= 57.36' CB= N86°09'.27"E	④ Δ= 9°03'.24" R= 293.00' T= 23.21' C= 46.27' A= 46.31' CB= S86°09'.28"W	⑤ Δ= 90°00'.01" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N45°41'.09"E	⑥ Δ= 12°02'.25" R= 310.00' T= 32.69' C= 65.02' A= 65.14' CB= N6°42'.21"E	⑦ Δ= 90°00'.00" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= S44°18'.51"E
⑧ Δ= 47°18'.49" R= 570.00' T= 249.70' C= 457.43' A= 470.69' CB= S67°01'.45"W	⑨ Δ= 47°18'.49" R= 500.00' T= 219.04' C= 401.26' A= 412.89' CB= N67°01'.45"E	⑩ Δ= 84°20'.57" R= 25.00' T= 22.65' C= 33.57' A= 36.80' CB= S85°32'.48"W	⑪ Δ= 90°04'.49" R= 25.00' T= 25.04' C= 35.38' A= 39.30' CB= S1°40'.04"E	⑫ Δ= 90°04'.49" R= 25.00' T= 25.04' C= 35.38' A= 39.30' CB= N1°40'.04"W	⑬ Δ= 89°55'.11" R= 25.00' T= 24.96' C= 35.33' A= 39.23' CB= N88°19'.56"E	⑭ Δ= 85°25'.20" R= 25.00' T= 23.08' C= 33.92' A= 37.27' CB= S86°05'.00"W
⑮ Δ= 89°59'.59" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= S1°37'.39"E	⑯ Δ= 89°59'.59" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N1°37'.39"W	⑰ Δ= 90°00'.00" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°22'.21"E	⑱ Δ= 90°00'.01" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°22'.21"E	⑲ Δ= 90°00'.01" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°22'.21"E	⑳ Δ= 84°57'.12" R= 25.00' T= 22.89' C= 33.76' A= 37.07' CB= S85°50'.56"W	㉑ Δ= 89°59'.59" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= S1°37'.39"E
㉒ Δ= 89°59'.59" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N1°37'.39"W	㉓ Δ= 90°00'.01" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°22'.21"E	㉔ Δ= 97°00'.24" R= 25.00' T= 28.26' C= 37.45' A= 42.33' CB= N5°07'.52"W	㉕ Δ= 45°05'.57" R= 25.00' T= 10.38' C= 19.17' A= 8.41' CB= S66°55'.19"W	㉖ Δ= 49°40'.48" R= 25.00' T= 11.57' C= 21.00' A= 21.68' CB= S78°28'.27"E	㉗ Δ= 191°47'.08" R= 60.00' T= N/A C= 119.37' A= 200.84' CB= S7°25'.17"E	㉘ Δ= 9°18'.39" R= 60.00' T= 4.89' C= 9.74' A= 9.75' CB= S83°48'.58"W
㉙ Δ= 56°48'.24" R= 60.00' T= 32.24' C= 57.08' A= 59.49' CB= S50°45'.26"W	㉚ Δ= 59°24'.09" R= 60.00' T= 34.23' C= 59.46' A= 62.21' CB= S7°20'.51"E	㉛ Δ= 58°14'.05" R= 60.00' T= 33.42' C= 58.39' A= 60.98' CB= S66°09'.58"E	㉜ Δ= 8°01'.50" R= 60.00' T= 4.21' C= 8.40' A= 8.41' CB= N80°42'.04"E	㉝ Δ= 82°58'.31" R= 25.00' T= 22.11' C= 33.12' A= 35.20' CB= S84°52'.41"W	㉞ Δ= 49°40'.48" R= 25.00' T= 11.57' C= 21.00' A= 21.68' CB= S28°47'.40"E	㉟ Δ= 49°40'.47" R= 25.00' T= 11.57' C= 21.00' A= 21.68' CB= N18°33'.02"E
㊱ Δ= 182°20'.06" R= 60.00' T= N/A C= 119.98' A= 190.94' CB= N84°52'.41"E	㊲ Δ= 43°16'.04" R= 60.00' T= 23.80' C= 44.24' A= 45.31' CB= S26°36'.18"E	㊳ Δ= 139°04'.02" R= 60.00' T= 160.76' C= 112.43' A= 145.63' CB= N63°14'.39"E	㊴ Δ= 89°59'.30" R= 25.00' T= 25.00' C= 35.35' A= 39.27' CB= N1°36'.19"W	㊵ Δ= 90°00'.30" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°23'.41"E	㊶ Δ= 89°59'.20" R= 25.00' T= 11.57' C= 35.35' A= 39.27' CB= N1°57'.20"W	㊷ Δ= 49°40'.47" R= 25.00' T= 11.57' C= 21.00' A= 21.68' CB= S71°27'.23"E
㊸ Δ= 36°46'.22" R= 25.00' T= 8.31' C= 15.77' A= 16.05' CB= S77°54'.36"E	㊹ Δ= 12°54'.25" R= 25.00' T= 2.83' C= 5.63' A= 5.63' CB= S53°04'.12"E	㊺ Δ= 49°40'.47" R= 25.00' T= 11.57' C= 21.00' A= 21.68' CB= S68°12'.44"W	㊻ Δ= 189°20'.55" R= 60.00' T= N/A C= 119.60' A= 198.29' CB= S1°37'.20"E	㊼ Δ= 30°07'.05" R= 60.00' T= 16.14' C= 31.18' A= 31.54' CB= S77°59'.36"W	㊽ Δ= 44°02'.55" R= 60.00' T= 24.27' C= 45.00' A= 46.13' CB= S40°54'.35"W	㊾ Δ= 34°19'.16" R= 60.00' T= 18.53' C= 35.41' A= 35.94' CB= S1°43'.30"W
㊿ Δ= 35°12'.49" R= 60.00' T= 19.04' C= 36.30' A= 36.88' CB= S33°02'.33"E	① Δ= 45°38'.49" R= 60.00' T= 25.25' C= 46.55' A= 47.80' CB= S73°28'.22"E	② Δ= 89°59'.59" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= S1°37'.39"E	③ Δ= 90°00'.01" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°22'.21"E	④ Δ= 90°00'.01" R= 25.00' T= 25.00' C= 35.36' A= 39.27' CB= N88°22'.21"E	⑤ Δ= 89°57'.12" R= 25.00' T= 22.89' C= 33.76' A= 37.07' CB= S85°50'.56"W	⑥ Δ= 85°25'.20" R= 25.00' T= 23.08' C= 33.92' A= 37.27' CB= S86°05'.00"W



DATE: APRIL 5, 2017
TOTAL ACREAGE: 47.378
SURVEY: ROBERT CARSON SURVEY, ABSTRACT NO. 135
NO. OF SINGLE FAMILY LOTS: 125
PUBLIC ACCESS, PUBLIC UTILITY,
PARKLAND AND DRAINAGE EASEMENT LOTS: 4
NUMBER OF BLOCKS: 9
TOTAL NUMBER OF LOTS: 129
F.E.M.A. MAP NO. 48209C 0405 F HAYS COUNTY, TEXAS DATED: SEPTEMBER 2, 2005
PLAT DATE: APRIL 5, 2017

GENERAL NOTES:

1. ALL STREETS, DRAINAGE STRUCTURES AND PERMANENT EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF KYLE STANDARDS.
2. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN APPROVED PUBLIC WATER SUPPLY SYSTEM.
3. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN APPROVED WASTEWATER DISPOSAL SYSTEM.
4. A PORTION OF THIS SUBDIVISION IS WITHIN ZONE AE (100 YEAR FLOOD PLAIN) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL No. 48209C 0405F, DATED SEPTEMBER 2, 2005.
6. UTILITY SERVICE:
 - WATER: COUNTY LINE S.U.D.
 - WASTEWATER: CITY OF KYLE
 - ELECTRIC: PEDERNALES ELECTRIC COOPERATIVE, INC.
 - GAS: ENTER
 - SCHOOL: HAYS COUNTY I.S.D.

6. ELEVATION BENCHMARKS:
 - A. $\frac{3}{4}$ " IRON ROD SET WITH AN ALUMINUM CAP IN CONCRETE NEAR NORTHWEST CORNER OF SUBDIVISION, AS SHOWN HEREON.
 - ELEVATION = 604.90'
 - B. $\frac{3}{8}$ " IRON ROD SET WITH AN ALUMINUM CAP IN CONCRETE NEAR SOUTHEAST CORNER OF SUBDIVISION, AS SHOWN HEREON.
 - ELEVATION = 614.90'

7. NO OBJECTS, INCLUDING BUILDINGS, ACCESSORY BUILDINGS, FENCING OR LANDSCAPING SHALL BE ALLOWED TO BE PLACED OR ERECTED WITHIN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF KYLE.
8. PROPERTY OWNER SHALL ALLOW ACCESS TO DRAINAGE AND UTILITY EASEMENTS FOR INSPECTION, REPAIR, MAINTENANCE AND RECONSTRUCTION AS MAY BE NECESSARY.
9. DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE HOMEOWNER OR HIS/HER ASSIGNS.
10. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF BUNTON CREEK BOULEVARD, WINDING CREEK ROAD, GRIST MILL ROAD, LYNN DRIVE, SENECA LOOP, SATSUMA LANE, SHIRO DRIVE.
- THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED.
11. THIS SUBDIVISION IS LOCATED WITHIN THE BUNTON CREEK WATERSHED.
12. A FIFTEEN FEET (15') PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET RIGHTS-OF-WAY.
13. ACCESS TO CORNER LOTS IS LIMITED TO FRONT STREET ONLY.
14. ALL SIDEWALKS WILL BE CONSTRUCTED TO MEET OR EXCEED 2010 ADA STANDARDS.
15. A FIVE FEET (5') WIDE PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG EACH SIDE LINE OF ALL LOTS. A TEN FEET (10') WIDE PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG THE REAR LINE OF ALL LOTS.

KNOW ALL MEN BY THESE PRESENTS:
THAT, MAGNOLIA RESERVE, LLC, OWNER OF ALL OF THAT CERTAIN 98.109 ACRE TRACT OF LAND OUT OF THE ROBERT CARSON SURVEY ABSTRACT No. 135 IN HAYS COUNTY, TEXAS, AS CONVEYED TO IT BY SPECIAL WARRANTY DEED RECORDED IN INSTRUMENT No. 1700184 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE A 47.378 ACRE PORTION OF SAID TRACT TO BE KNOWN AS

BUNTON CREEK RESERVE PHASE I

IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

CHRIS WREN REGISTERED AGENT
MAGNOLIA RESERVE, LLC
3440 RILEY FUZZELL ROAD
SUITE 160
SPRING, TEXAS 77386

STATE OF TEXAS:
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____

NOTARY PUBLIC
PRINTED NAME:
MY COMMISSION EXPIRES

LIENHOLDER'S ACKNOWLEDGEMENT

LIENHOLDER _____

REVIEWED BY: _____

CITY ENGINEER _____

REVIEWED BY: _____

DIRECTOR OF PUBLIC WORKS _____

CITY OF KYLE:
CERTIFICATE OF APPROVAL:
APPROVED AND AUTHORIZED TO BE RECORDED ON THE _____ DAY OF _____
20____ BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KYLE.

CHAIRPERSON _____

THE STATE OF TEXAS
THE COUNTY OF HAYS
I, LIZ GONZALEZ, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK _____ M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN DOCUMENT No. _____

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____ A.D. 20____

LIZ GONZALEZ COUNTY CLERK
HAYS COUNTY, TEXAS.

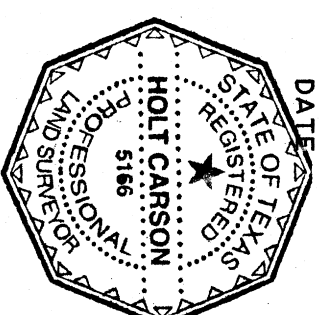
STATE OF TEXAS
COUNTY OF TRAVIS

I, HOLT CARSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS, TO PRACTICE THE PROFESSION OF SURVEYING. HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, THAT IS WAS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SET OR FOUND AS SHOWN HEREON.

SURVEYED BY: _____

6-02-2017

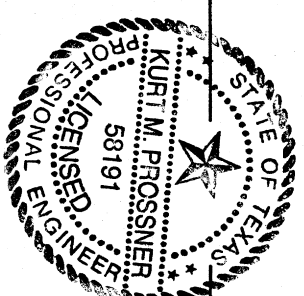
HOLT CARSON
REGISTERED PROFESSIONAL LAND SURVEYOR No. 5166
HOLT CARSON, INC.
1904 FORTVIEW ROAD
AUSTIN, TEXAS 78704
FIRM REGISTRATION 10050700



STATE OF TEXAS:
COUNTY OF TRAVIS:
I, KURT M. PROSSNER, P.E., DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.
THE 100 YEAR FLOODPLAIN WILL BE CONTAINED WITHIN THE DRAINAGE EASEMENTS SHOWN HEREON.

ENGINEERING BY: _____

KURT M. PROSSNER P.E. 58191
PROSSNER AND ASSOCIATES
13377 POND SPRINGS ROAD
AUSTIN, TEXAS 78729



DATE 6/6/17

BUNTON CREEK RESERVE PHASE 1