

BENCHMARK:

LA1 BM100801-01:
SQUARE CUT SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE.
ELEVATION = 742.72 FEET

BENCHMARK 080410-01:
SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLERS AND THE WEST LINE OF KYLE PARKWAY.
ELEVATION=776.53'

BENCHMARK 100801-02:
SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON
ELEVATION=741.71'

BENCHMARK 080410-03:
MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY.
ELEVATION=760.14'

BENCHMARK 080410-04: SQUARE SET ON TOP OF CURB
ELEVATION=744.14'

LEGAL DESCRIPTION:

6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS.

Plum VUE Apartments, Kyle, Texas				
Existing Site Data Table				
Item	SF	AC	%	
Total Site	304,924	7.000	100.00	
Building Area	0	0.000	0.00	
Sidewalk Area	0	0.000	0.00	
Pavement/Drives	0	0.000	0.00	
Total IC	0	0.000	0.00	
Landscape	0	0.000	0.00	
Proposed Site Data Table				
Item	SF	AC	%	
Total Site	304,924	7.000	100.00	
Building Area	73,800	1.694	24.20	
Parking Garage	7,662	0.176	2.51	
Sidewalk Area	18,112	0.416	5.94	
Pavement/Drives	117,942	2.708	38.68	
Total Impervious Cover	217,516	4.993	71.33	
Allowable Imperv Cover	243,939	5.600	80.00	
Landscape Area	87,408	2.007	28.67	

PLUM CREEK VUE		
PARKING:		
REQUIREMENTS	NUMBER OF UNITS	TOTAL SPACES REQUIRED
1.5 SPACES PER 1 BEDROOM UNIT	96	144 SPACES
2 SPACES PER 2 BEDROOM UNIT	72	144 SPACES
2.5 SPACES PER 3 BEDROOM UNIT	12	30 SPACES
5 SPACES PER 1000 SQ.FT. OF LEASING AREA	-	4 SPACES
TOTAL PARKING SPACES REQUIRED		322 SPACES
5% REDUCTION ALLOWED FOR PROVIDING COVERED AND SECURED BICYCLE PARKING RACKS.		306 SPACES
HANDICAP SPACES REQUIRED:		8 SPACES
PROVIDED		
OPEN PARKING SPACES	123 SPACES	
HANDICAPPED (VAN ACCESSIBLE)		4(2) SPACES
GARAGES	25 SPACES	
HANDICAPPED		1 SPACE
COVERED CARPORTS	190 SPACES	
HANDICAPPED (VAN ACCESSIBLE)		3(2) SPACES
TOTAL PARKING SPACES PROVIDED	338 SPACES	
HANDICAPPED		8 SPACES
AVERAGE SPACES PER UNIT PROVIDED		1.9 SPACES

PROJECT SCOPE:
THIS PROJECT IS TO CREATE A RESIDENTIAL APARTMENTS COMPLEX WITH AN ASSOCIATED CLUB HOUSE, PARKING, UTILITIES, AND LANDSCAPING. STORM WATER FROM THIS PROJECT WILL BE ROUTED OFFSITE TO EXISTING WATER QUALITY AND DETENTION FACILITIES.

NO.	DESCRIPTION	DATE

Scale:

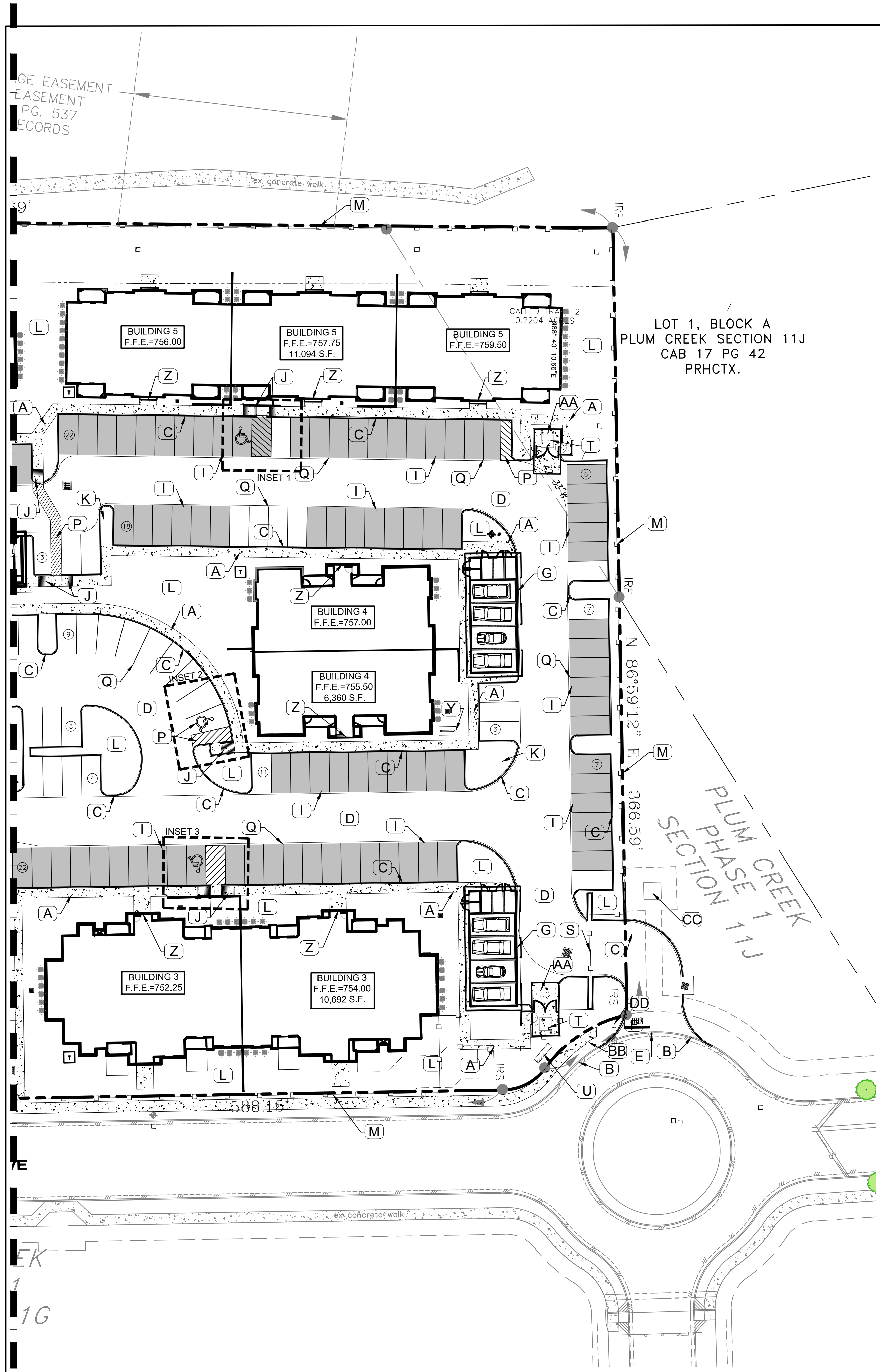
Design Team: **R.I./B.O.**

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OF **33**

NSEW Project No:
0310-0002

City Project No:
00000

MATCHLINE SEE SHEET 6
SITE PLAN - A



SITE NOTE LEGEND:

- (A) CONCRETE SIDEWALK (4.5' TYPICAL) SEE DETAIL SHEET.
- (B) EXISTING CONCRETE PAVEMENT /ASPHALT/ CURB & GUTTER TO REMAIN.
- (C) CURB & GUTTER. SEE DETAIL.
- (D) CONCRETE PAVEMENT. SEE PAVEMENT SECTION DETAIL ON GRADING PLAN SHEET.
- (E) SAW CUT AND REMOVE EXISTING PAVEMENT. TIE NEW CONCRETE TYPE II DRIVEWAY TO EXISTING BEGIN INTEGRAL CURB AND GUTTER.
- (F) TYPE II DRIVEWAY. SEE PAVING PLAN AND DETAIL SHEET.
- (G) GARAGE PARKING. (SEE ARCHITECTURAL PLANS)
- (H) POOL AREA.
- (I) COVERED PARKING.
- (J) ACCESSIBLE RAMP. SEE DETAIL SHEET.
- (K) PROPOSED FIRE HYDRANT.
- (L) LANDSCAPE AREA
- (M) WROUGHT IRON FENCE. SEE LANDSCAPE PLANS.
- (N) ACCESSIBLE PARKING SIGN. SEE DETAIL SHEET.
- (O) ACCESSIBLE VAN PARKING SIGN. SEE DETAIL SHEET.
- (P) ACCESSIBLE PAVEMENT STRIPING. SEE DETAIL SHEET.
- (Q) 4" WHITE PAVEMENT STRIPING. SEE DETAIL SHEET.
- (R) FIRE LANE STRIPING. SEE FIRE PROTECTION DETAIL SHEET.
- (S) GATE ENTRANCE.
- (T) DUMPSTER LOCATION. SEE DETAIL SHEET 26.
- (U) MONUMENT SIGN. (BY OTHERS) SEPARATE PERMIT.
- (V) WHEEL STOP. SEE DETAIL SHEET.
- (W) ENTRANCE KEY PAD.
- (X) MAILBOX LOCATION.SEE ARCHITECTURAL PLANS.
- (Y) BIKE RACK. SEE DETAIL SHEET.
- (Z) FRONT DOOR LOCATION.
- (AA) HEAVY DUTY CONCRETE. SEE GRADING PLAN SHEET.
- (BB) STOP SIGN. SEE DETAIL SHEET.
- (CC) EXISTING TRANSFORMER PAD.
- (DD) STOP BAR PAVEMENT MARKING.

SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPE.
2. REFERENCE ARCHITECTURAL / MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
3. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
4. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING APPURTENANCES, BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXITS.
5. IRRIGATION SLEEVES SHALL BE SET 14" BELOW GRADE AT PAVED DRIVEWAYS OR SIDEWALK AREAS. THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGES TO EXISTING UTILITIES.
6. ALL EASEMENTS ARE SHOWN ON THIS PLAN, AS DISCOVERED DURING TITLE SURVEY RESEARCH.
7. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING REVIEW DEPARTMENT.
8. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL OR BUILDING PERMIT APPROVAL.
9. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE CITY CODE.
10. ADDITIONAL ELECTRICAL EASEMENTS MAY BE REQUIRED AT A LATER DATE.
11. MOTOR OPERATED GATES INSTALLED ACROSS FIRE ACCESS RODWAYS SHALL BE EQUIPPED WITH GATE OPERATORS COMPLYING WITH UL 325 AND ASTM F2200. AN APPROVED MEANS OF OPENING THE MOTOR-OPERATED GATE IN THE EVENT UTILITY POWER IS LOST OR DISCONNECTED IS REQUIRED. AN APPROVED FIRE DEPARTMENT KNOX KEY SWITCH, INSTALLED AT AN APPROVED LOCATION, SHALL BE PROVIDED TO OVERRIDE ANY ACCESS CONTROL FEATURE.
12. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
13. A 24" DRIVE ISLE MUST BE MAINTAINED FOR FIRE ACCESS.
14. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY (R.O.W.) LINE
---	---	CURB & GUTTER
---	---	LIP OF GUTTER
---	---	"NO PARKING/FIRE LANE"
---	---	CONCRETE SIDEWALKS
---	---	GRATE INLET
---	---	CURB INLET (SIZE VARIES)
---	---	TRANSFORMER (SIZE VARIES)
---	---	FIRE HYDRANT
---	---	RETAINING WALL
---	---	SITE LIGHTING
---	---	SIGN
---	---	WHEEL STOP
---	---	RAMP
---	---	DUMPSTER
---	---	BIKE RACK
---	---	TREE TO BE SAVED

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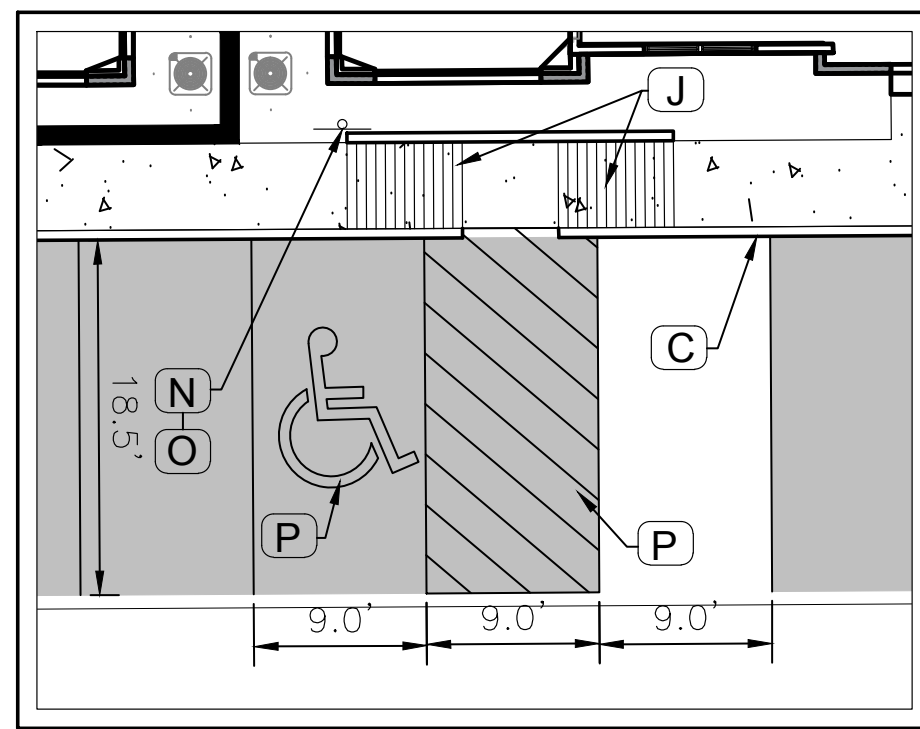
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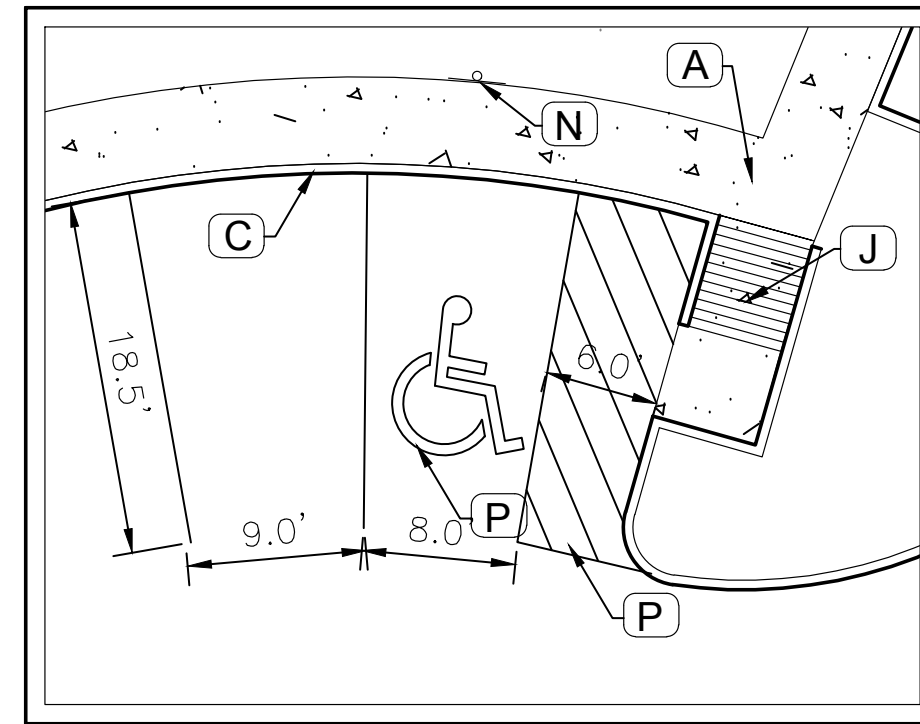
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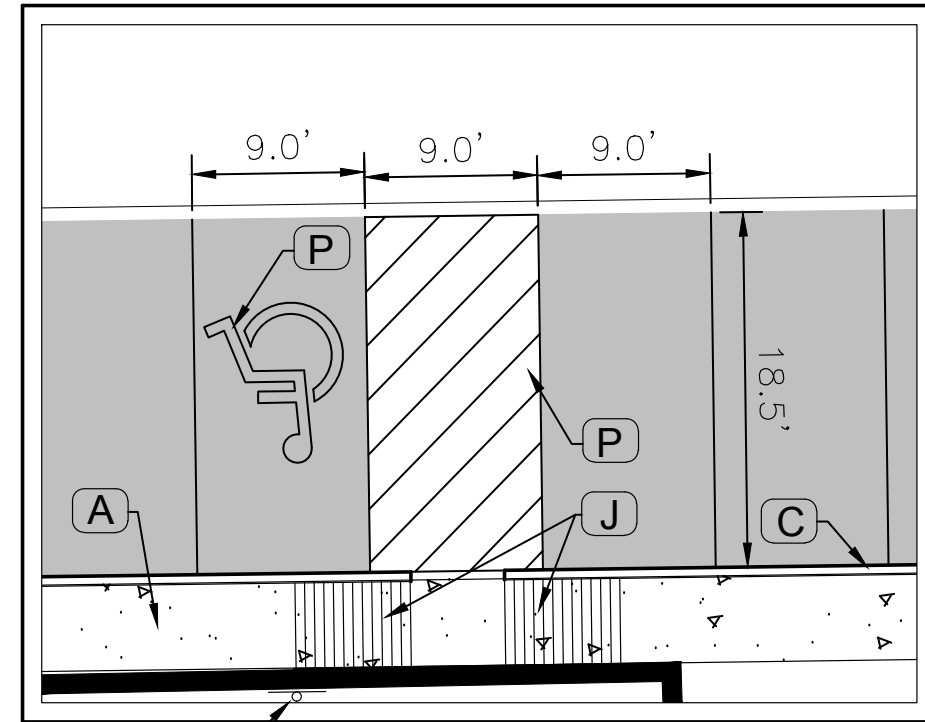
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INSET1
SCALE:1"=10'



INSET 2
SCALE:1"=10'



INSET 3
SCALE:1"=10'

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Design Team: **R.I./B.O.**

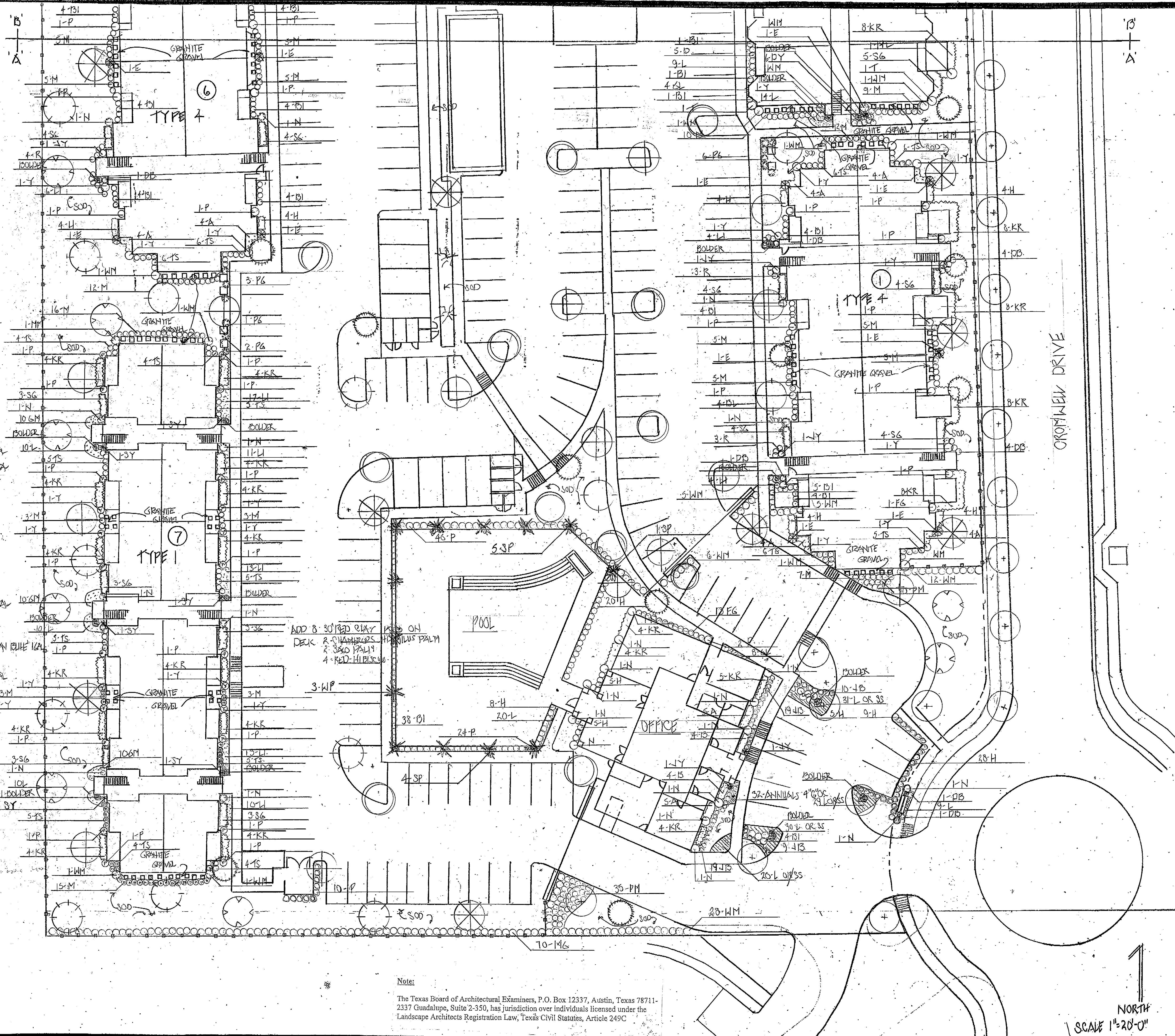
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TREE & PLANT LEGEND

- + SOUTHERN LIVE OAK - QUERCUS VIRGINIANA - 4" CAL
- SOUTHERN LIVE OAK - QUERCUS VIRGINIANA 3" CAL
- CHINQUAPIN OAK - QUERCUS MUhlenBERGII 3" CAL
- CEDAR ELM - ILLINOIS CRASSIFOLIA 3" CAL
- MEXICAN STAMORE - PLATANUS MEXICANA 3" CAL
- TEXAS ASH - FRAXINUS TEXENSIS 3" CAL
- ✱ DRAGON TREE - DRACOPAN - LACUNOSTOMA INDOICA 8" TALL
- ✱ SANDPARK TREE - EUPHETIA ANACHA 3" CAL
- DESERT KIWDO - CHILARIS LINEARIS 8" CAL
- WM SOUTHERN WAX MYRTLE - MYRTICA CERIFERA 76A
- DM DWARF WAX MYRTLE - MYRTICA CERIFERA DOTS DWARF 36A
- MA MAIDEN GRASS - MISONANTHUS GRACILIMIS 36A
- PM PINK MUHLY GRASS - MUHLENBERGIA CAPILLARIS 36A
- M MUHLY GRASS - MUHLENBERGIA LINDHEIMERI 36A
- LA LANTANA - LANTANA CANADENSIS 36A
- LI LILY TURF - LIRIOPE MUSEARI 16A
- LI MEXICAN PENNANT - RUSSIA KATIE 16A
- P6 PAMPAS GRASS - CORIDARIA SELWYANA 36A
- P6 PURPLE FOUNTAIN GRASS - PENNISTEMUM SETICERUM 'RUBRUM' 36A
- SG SEA GREEN HUMPER - HUMPERIS CHINENSIS 'SEA GREEN' 36A
- GM GOLF COAST MUHLY GRASS - MUHLENBERGIA CAPILLARIS 16A
- N NELLIE K-HOLT - ILEX X 'NELLIE K-HOLT' 30 CAL
- T TORULOSA HUMPER - TORULOSA HUMPER 36A
- A ABELIA - ABELIA GRANDIFLORA 36A
- BI BI-COLOR IRISODIOLITES - (MORAE) 36A
- D FLAX - DIANELLA TASMATICA VIRGATA 36A
- Y YALPON - ILEX VOMITORIA 16A
- DY DWARF YALPON - ILEX VOMITORIA NANA 36A
- TS TEXAS SAGE - LITHOPHYLLUM FRUTICOSUM 36A
- H DWARF INDIAN HAWTHORN - RAPIDOLPHS INDOICA CLARA PINK 36A
- MI MEXICAN BUSH SAGE - SALVIA LEUCANTHA 36A
- SS SCARLET SAGE - SALVIA CRASSI - RED
- R PROSTRATE DWARF ROSEMARY - ROSEMARINUS OFFICINALIS TUSCAN BLUE 16A
- KR KNOCK OUT ROSE - ROSA X KNOCK OUT DOUBLE RED 36A
- DB DWARF BOUTERBUSH - OLESTERION CITRINUM 'HOLE JOHN' 36A
- B DWARF BURFORD HOLT - ILEX CORNUTA BURFORDI - 36A
- P HAWAIIAN JASMINE - JASMINUM HUMILI 36A
- SY SIFT LEAF YUCCA - 36A
- ML MOUNTAIN LAUREL - LAUREL - 36A
- LY JAPANESE YEW - YEW - 36A
- L NEW GOLD LANTANA - LANTANA CANADENSIS 'NEW GOLD' 16A
- MP MOUNTAIN PALM - PALM - 36A
- MP MEDITERRANEAN FAN PALM - CHAMPAEUS HUMILIS 36A
- SA SAGO PALM - CYCAS REVOLUTA 16A
- H HIBISCUS - HIBISCUS ROSA-SINENSIS 'RED' 36A
- E GOLD STAR ESPRANZA - PACOMIA STANS 'GOLD STAR' 36A
- PP PALM - PALM - 36A
- SP TEXAS SAGO PALM - SAGO PALM - 8" CAL
- JS JAPANESE BUSHWOOD - BUSHWOOD - 36A



Note:

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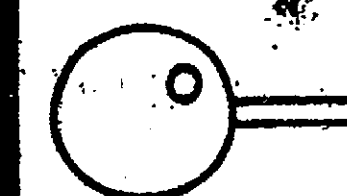
of

DATE: 1/9/17



The Shik Company
LANDSCAPE ARCHITECT

2880 KATY HOSKAY C/O. RD. KATY, TEXAS 77499
817-384-8008



Landscape Design

PLUM CREEK VUE APARTMENTS

KYLE, TEXAS 78640

CROMWELL @ DORMAN LANE

SHEET 31

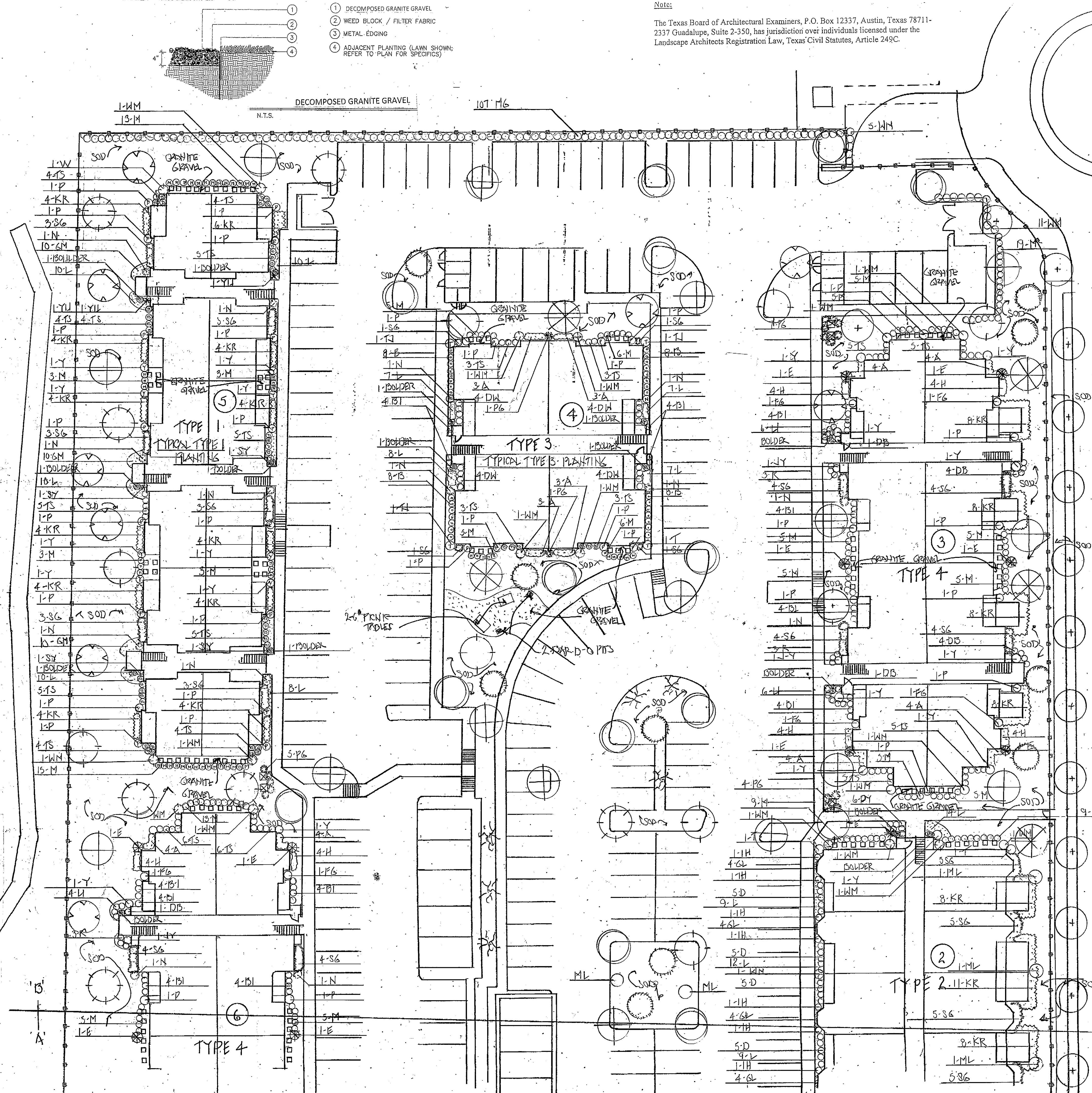
NORTH

SCALE 1"=20'-0"

01. Perform all work in accordance with all applicable laws, codes and regulations required by authorities having jurisdiction over such work and provide for all inspections and permits required by Federal, State and Local authorities in utility, transportation and installation of materials.
02. The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical cables, TV, etc.) and any aerial easements prior to the start of any planting work.
03. All plant materials shall possess the following minimum qualities:
 - A. Plants shall be nursery grown, in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve (12) months.
 - B. Plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be free of disease, insect pests, eggs or larvae.
 - C. All plants shall be true of species and variety and shall conform to measurements (caliper size and trunk heights) as specified on the drawings.
 - D. Container grown stock when specified shall be grown in the containers in which delivered for at least six (6) months, but not over two (2) years. Samples must prove no root bound conditions exist.
 - E. Caliper measurements shall be taken at a point on the trunk six (6) inches above natural ground line for trees up to four (4) inches in caliper.
04. Planting:
 - A. Bed areas shall have positive drainage away from the building and be four (4) inches below weep holes.
 - B. Bed areas shall be covered with two (3) inches compost and graded before planting.
 - C. Plants shall be planted one (1) inch to one and one half (1 1/2) inches higher than existing soil.
 - D. Plants shall be top dressed with two (2) inches of hardwood mulch.
05. Grading:
 - A. All grading shall result in positive drainage away from the building.
 - B. Area drains shall be added to obtain drainage where positive drainage has not occurred.
 - C. Existing soil can be used or any native soils including bank sand.
 - D. All areas shall be hand raked smooth and all debris including any soil materials one (1) inch and larger shall be removed.
 - E. Sodding or seeding should begin as soon as grading is complete to prevent weed growth.
06. Sodding or Seeding:
 - A. Shall begin as soon as grading is complete.
 - B. Watering of grass areas shall begin immediately after laying of sod or seedline is complete.



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CROOKLE DRIVE