



OVERALL SITE PLAN

**Plum Creek VUE  
Apartments**  
4624 CROMWELL DRIVE  
KYLE, TEXAS 78640

NO.	DESCRIPTION	DATE

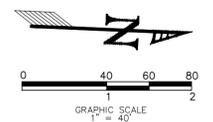
Scale: \_\_\_\_\_

Design Team: **R.I./B.O.**

SHEET  
**5**  
OF **33**

NSEW Project No:  
**0310-0002**

City Project No:  
**00000**



EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY (R.O.W.) LINE
---	---	CURB & GUTTER
---	---	LIP OF GUTTER
---	---	"NO PARKING/FIRE LANE"
---	---	CONCRETE SIDEWALKS
---	---	FIRE HYDRANT
---	---	RETAINING WALL
---	---	SITE LIGHTING
---	---	SIGN
---	---	WHEEL STOP
---	---	RAMP
---	---	DUMPSTER
---	---	BIKE RACK
---	---	TREE TO BE SAVED
---	---	WATER LINE
---	---	FIRE HOSE
---	---	"FIRE LANE/TOW AWAY ZONE"
---	---	WATER VALVE
---	---	FIRE DEPARTMENT LOCATION
---	---	KNOX BOX LOCATION

**BENCHMARK:**

LAI 8M100801-01:  
SQUARE CUT SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE.  
ELEVATION = 742.72 FEET

BENCHMARK 080410-01:  
SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLERS AND THE WEST LINE OF KYLE PARKWAY.  
ELEVATION=776.53'

BENCHMARK 100801-02:  
SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON  
ELEVATION=741.71'

BENCHMARK 080410-03:  
MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY.  
ELEVATION=760.14'

BENCHMARK 080410-04: SQUARE SET ON TOP OF CURB  
ELEVATION=744.14'

**LEGAL DESCRIPTION:**

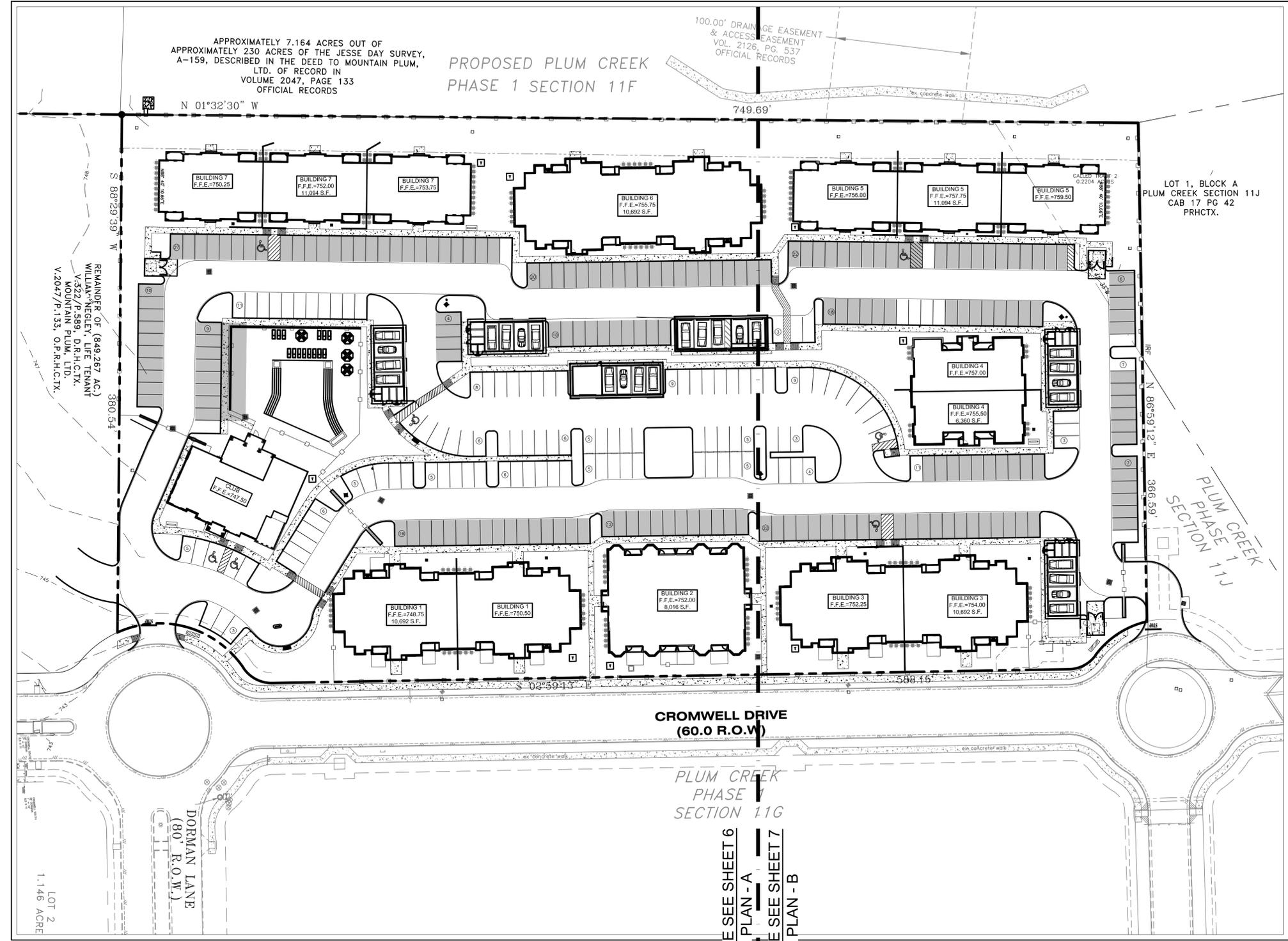
6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS.

Plum VUE Apartments, Kyle, Texas			
Existing Site Data Table			
Item	SF	AC	%
Total Site	304,924	7,000	100.00
Building Area	0	0.000	0.00
Sidewalk Area	0	0.000	0.00
Pavement/Drives	0	0.000	0.00
Total IC	0	0.000	0.00
Landscape	0	0.000	0.00
Proposed Site Data Table			
Item	SF	AC	%
Total Site	304,924	7,000	100.00
Building Area	73,800	1,694	24.20
Parking Garage	7,662	0.176	2.51
Sidewalk Area	18,112	0.418	5.94
Pavement/Drives	117,942	2,708	38.88
Total Impervious Cover	217,516	4,993	71.33
Allowable Imperv Cover	243,939	5,600	80.00
Landscape Area	87,408	2,007	28.67

PLUM CREEK VUE		
REQUIREMENTS	NUMBER OF UNITS	TOTAL SPACES REQUIRED
1.5 SPACES PER 1 BEDROOM UNIT	96	144 SPACES
2 SPACES PER 2 BEDROOM UNIT	72	144 SPACES
2.5 SPACES PER 3 BEDROOM UNIT	12	30 SPACES
5 SPACES PER 1000 SQ. FT. OF LEASING AREA	-	4 SPACES
TOTAL PARKING SPACES REQUIRED		322 SPACES
5% REDUCTION ALLOWED FOR PROVIDING COVERED AND SECURED BICYCLE PARKING RACKS.		306 SPACES
HANDICAP SPACES REQUIRED	8 SPACES	
PROVIDED		
OPEN PARKING SPACES	123 SPACES	
HANDICAPPED (VAN ACCESSIBLE)	4(2) SPACES	
GARAGES	25 SPACES	
HANDICAPPED	1 SPACE	
COVERED CARPORTS	190 SPACES	
HANDICAPPED (VAN ACCESSIBLE)	3(2) SPACES	
TOTAL PARKING SPACES PROVIDED	338 SPACES	
HANDICAPPED	8 SPACES	
AVERAGE SPACES PER UNIT PROVIDED	1.9 SPACES	

**PROJECT SCOPE:**  
THIS PROJECT IS TO CREATE A RESIDENTIAL APARTMENTS COMPLEX WITH AN ASSOCIATED CLUB HOUSE, PARKING, UTILITIES, AND LANDSCAPING. STORM WATER FROM THIS PROJECT WILL BE ROUTED OFFSITE TO EXISTING WATER QUALITY AND DETENTION FACILITIES.

MATCHLINE SEE SHEET 6  
SITE PLAN - A  
MATCHLINE SEE SHEET 7  
SITE PLAN - B



Drawing: N:\THE PROJECTS\0310-0002\Drawings\Sheet010-0002-Plum VUE.dwg  
Last Modified: Jun 20, 2017, 14:28  
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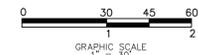
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		CURB & GUTTER
		"NO PARKING/FIRE LANE"
		CONCRETE SIDEWALKS
		GRATE INLET
		CURB INLET (SIZE VARIES)
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		RETAINING WALL
		SITE LIGHTING
		SIGN
		WHEEL STOP
		RAMP
		DUMPSTER
		BIKE RACK
		TREE TO BE SAVED

**BENCHMARK:**

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SQUARE SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE. ELEVATION = 742.72 FEET

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BENCHMARK 080410-04: SQUARE SET ON TOP OF CURB ELEVATION=744.14'

**LEGAL DESCRIPTION:**

6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS.

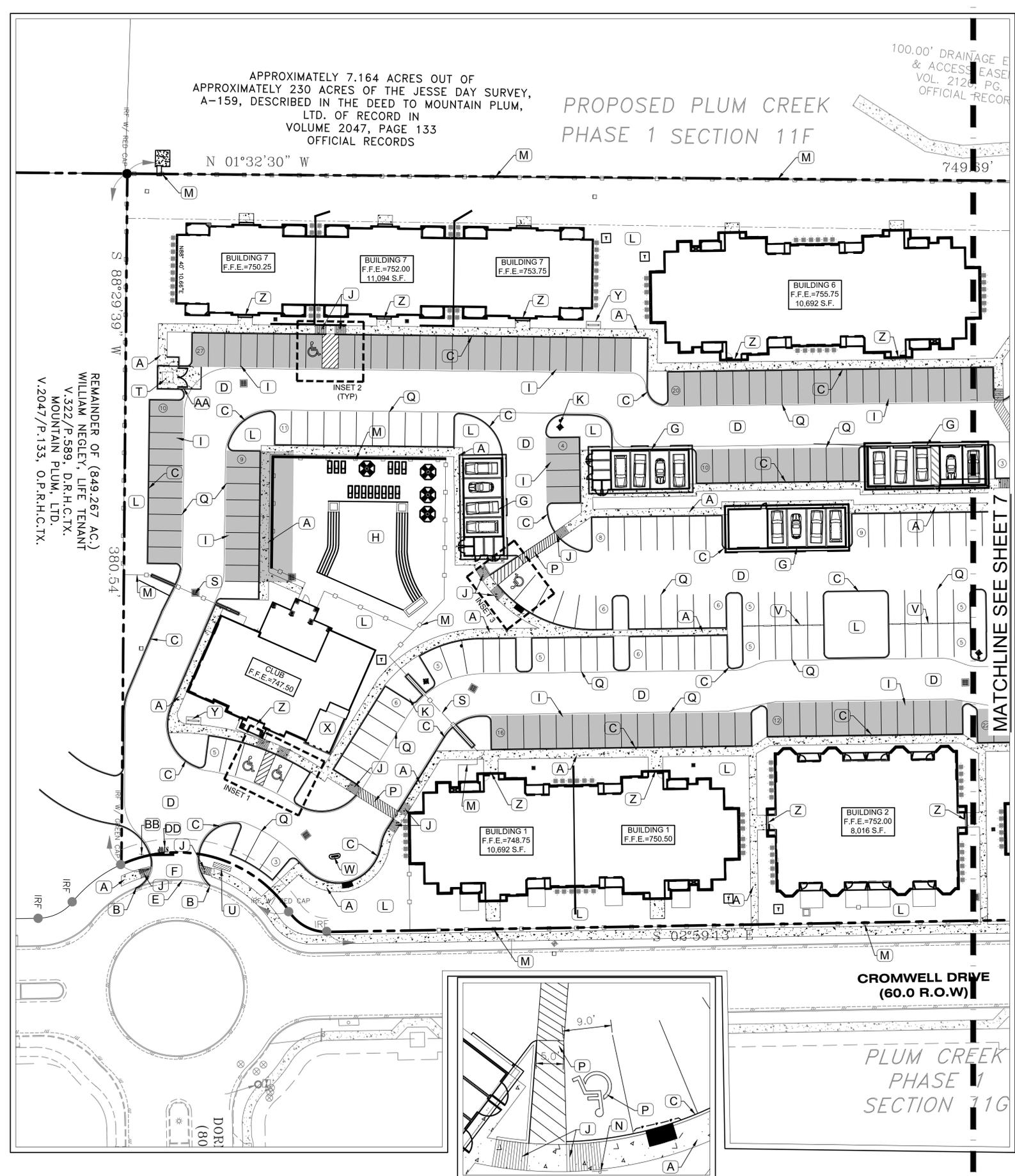
**SITE NOTE LEGEND:**

- (A)** CONCRETE SIDEWALK (4.5' TYPICAL) SEE DETAIL SHEET.
- (B)** EXISTING CONCRETE PAVEMENT /ASPHALT/ CURB & GUTTER TO REMAIN.
- (C)** CURB & GUTTER. SEE DETAIL.
- (D)** CONCRETE PAVEMENT. SEE PAVEMENT SECTION DETAIL ON GRADING PLAN SHEET.
- (E)** SAW CUT AND REMOVE EXISTING PAVEMENT. TIE NEW CONCRETE TYPE II DRIVEWAY TO EXISTING BEGIN INTEGRAL CURB AND GUTTER.
- (F)** TYPE II DRIVEWAY. SEE PAVING PLAN AND DETAIL SHEET.
- (G)** GARAGE PARKING. (SEE ARCHITECTURAL PLANS)
- (H)** POOL AREA.
- (I)** COVERED PARKING.
- (J)** ACCESSIBLE RAMP. SEE DETAIL SHEET.
- (K)** PROPOSED FIRE HYDRANT.
- (L)** LANDSCAPE AREA
- (M)** WROUGHT IRON FENCE. SEE LANDSCAPE PLANS.
- (N)** ACCESSIBLE PARKING SIGN, SEE DETAIL SHEET.
- (O)** ACCESSIBLE VAN PARKING SIGN, SEE DETAIL SHEET.
- (P)** ACCESSIBLE PAVEMENT STRIPING, SEE DETAIL SHEET.
- (Q)** 4" WHITE PAVEMENT STRIPING. SEE DETAIL SHEET.
- (R)** FIRE LANE STRIPING. SEE FIRE PROTECTION DETAIL SHEET.
- (S)** GATE ENTRANCE.
- (T)** DUMPSTER LOCATION. SEE DETAIL SHEET 26.
- (U)** MONUMENT SIGN. (BY OWNER) SEPARATE PERMIT.
- (V)** WHEEL STOP. SEE DETAIL SHEET.
- (W)** ENTRANCE KEY PAD.
- (X)** MAILBOX LOCATION. SEE ARCHITECTURAL PLANS.
- (Y)** BIKE RACK. SEE DETAIL SHEET.
- (Z)** FRONT DOOR LOCATION.
- (AA)** HEAVY DUTY CONCRETE. SEE GRADING PLAN SHEET.
- (BB)** STOP SIGN. SEE DETAIL SHEET.
- (CC)** EXISTING TRANSFORMER PAD.
- (DD)** STOP BAR PAVEMENT MARKING.

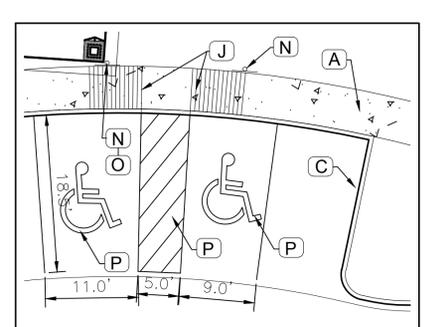
**SITE NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPE.
2. REFERENCE ARCHITECTURAL / MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
3. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
4. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING APPURTENANCES, BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXITS.
5. IRRIGATION SLEEVES SHALL BE SET 14" BELOW GRADE AT PAVED DRIVEWAYS OR SIDEWALK AREAS.
6. THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGES TO EXISTING UTILITIES.
7. ALL EASEMENTS ARE SHOWN ON THIS PLAN, AS DISCOVERED DURING TITLE SURVEY RESEARCH.
8. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING REVIEW DEPARTMENT.
9. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL OR BUILDING PERMIT APPROVAL.
10. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE CITY CODE.
11. ADDITIONAL ELECTRICAL EASEMENTS MAY BE REQUIRED AT A LATER DATE.
12. MOTOR OPERATED GATES INSTALLED ACROSS FIRE ACCESS ROADWAYS SHALL BE EQUIPPED WITH GATE OPERATORS COMPLYING WITH UL 325 AND ASTM F2200. AN APPROVED MEANS OF OPENING THE MOTOR-OPERATED GATE IN THE EVENT UTILITY POWER IS LOST OR DISCONNECTED IS REQUIRED. AN APPROVED FIRE DEPARTMENT KNOX KEY SWITCH, INSTALLED AT AN APPROVED LOCATION, SHALL BE PROVIDED TO OVERRIDE ANY ACCESS CONTROL FEATURE.
13. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
14. A 24' DRIVE ISLE MUST BE MAINTAINED FOR FIRE ACCESS.
15. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.

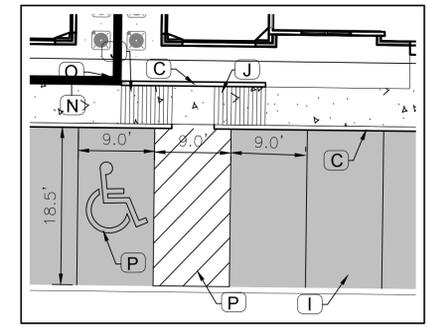
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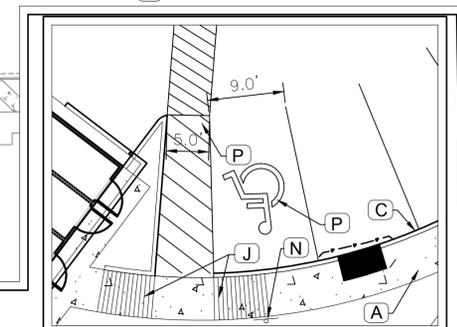
MATCHLINE SEE SHEET 7  
SITE PLAN - B



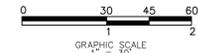
INSET 1  
SCALE: 1"=10'



INSET 2 (TYP.)  
SCALE: 1"=10'



INSET 3  
SCALE: 1"=10'



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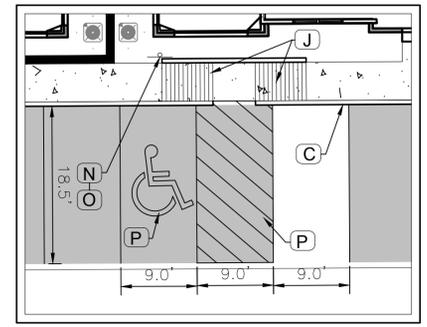
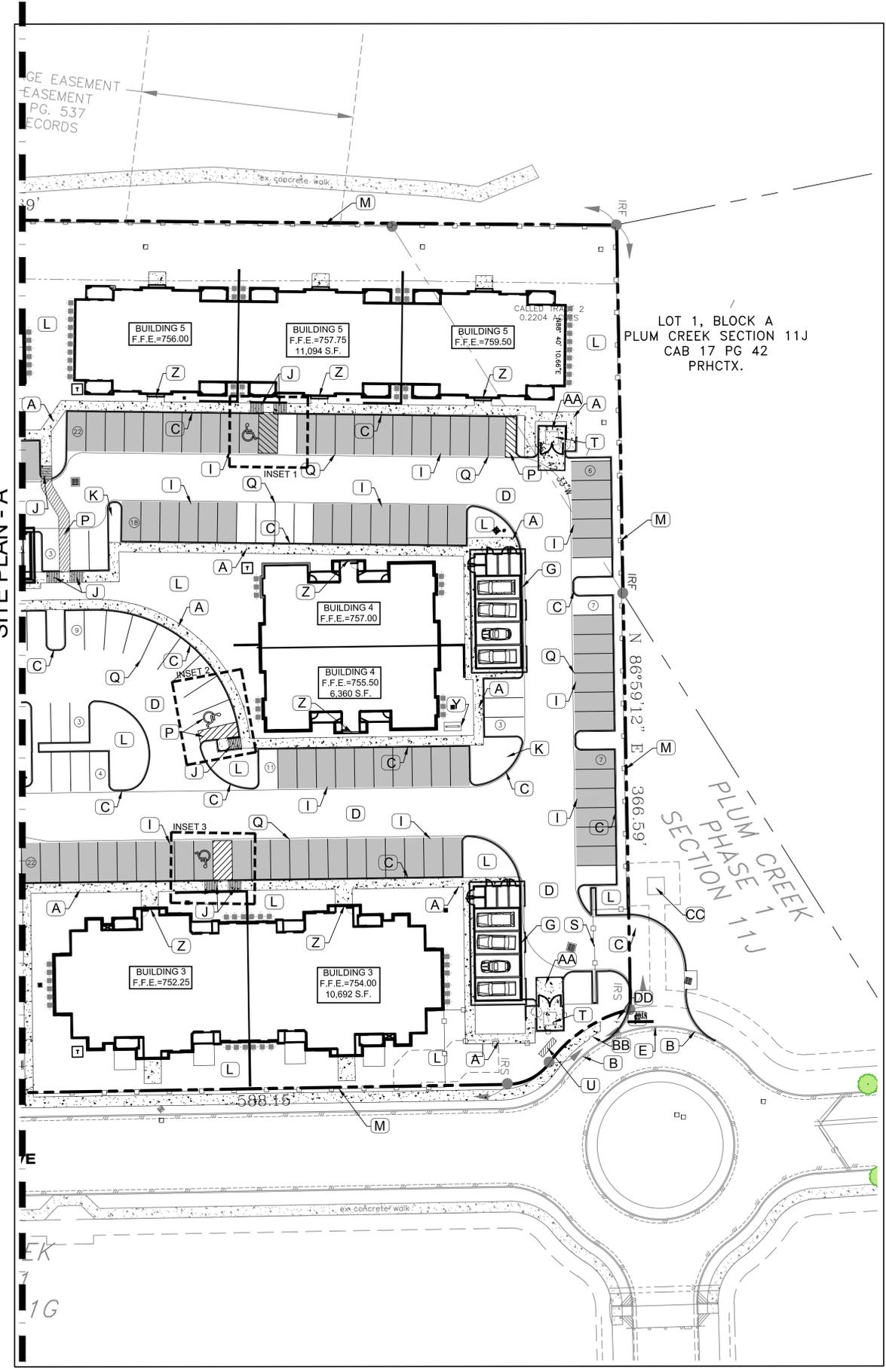
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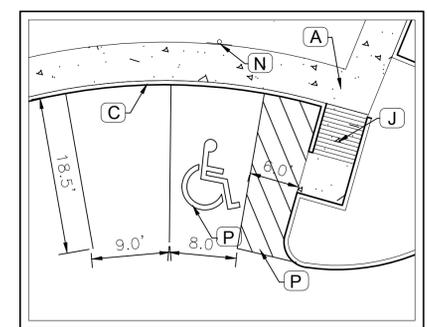
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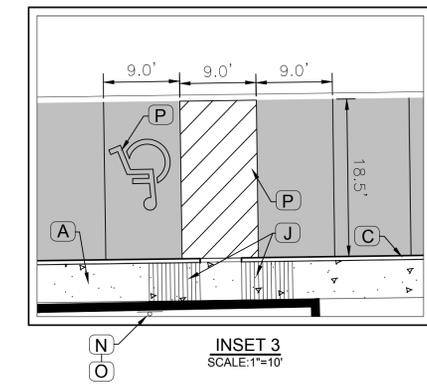
MATCHLINE SEE SHEET 6  
SITE PLAN - A



INSET 1  
SCALE: 1"=10'



INSET 2  
SCALE: 1"=10'



INSET 3  
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